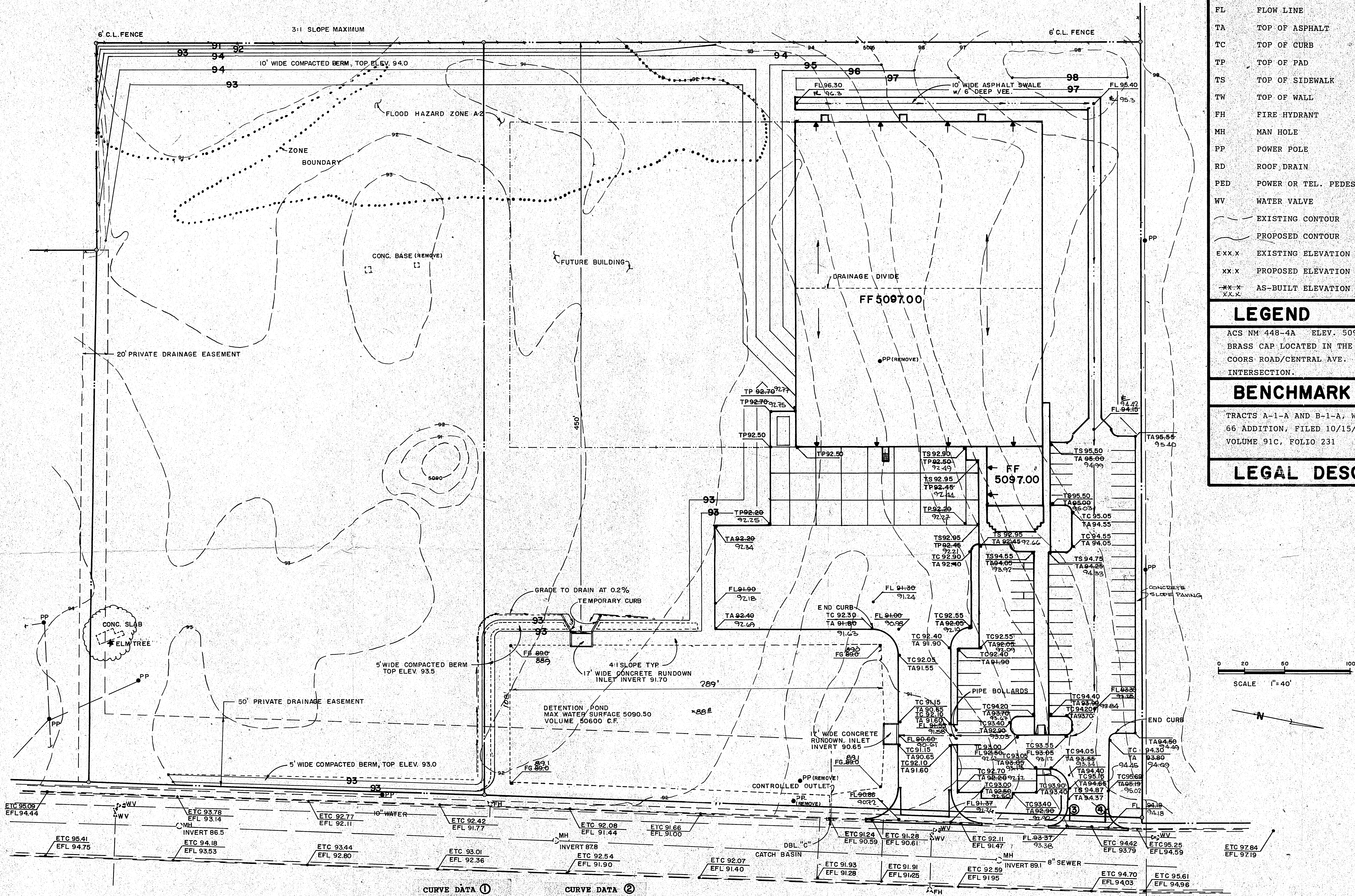




TBM	TEMPORARY BENCH MARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
TA	TOP OF ASPHALT
TC	TOP OF CURB
TP	TOP OF PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
MH	MAN HOLE
PP	POWER POLE
RD	ROOF DRAIN
PED	POWER OR TEL. PEDESTAL
WV	WATER VALVE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
EXX.X	EXISTING ELEVATION
XX.X	PROPOSED ELEVATION
XX.X	AS-BUILT ELEVATION

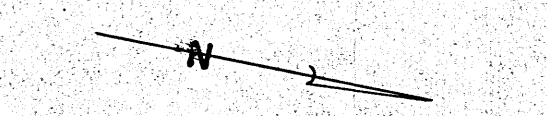
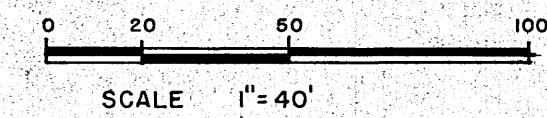
LEGEND

ACS NM 448-4A ELEV. 5091.89
BRASS CAP LOCATED IN THE
COORS ROAD/CENTRAL AVE.
INTERSECTION.

BENCHMARK

TRACTS A-1-A AND B-1-A, WEST
66 ADDITION, FILED 10/15/91
VOLUME 91C, FOLIO 231

LEGAL DESC.



DELTA	= 92°02'53"	
RADIUS	= 25.00'	
ARC	= 40.16'	
TANGENT	= 25.91'	
POINT	FL	TC
0	91.96	92.36
1/4	91.43	91.93
1/2	91.06	91.56
3/4	90.74	91.24
1	90.54	91.21

DELTA	= 87°57'07"	
RADIUS	= 25.00'	
ARC	= 38.38'	
TANGENT	= 24.12'	
POINT	FL	TC
0	91.82	92.49
1/4	91.72	92.39
1/2	91.79	92.29
3/4	92.02	92.52
1	92.37	92.87

DELTA	= 92°02'53"	
RADIUS	= 15.00'	
ARC	= 24.10'	
TANGENT	= 15.55'	
POINT	FL	TC
0	93.47	93.97
1/4	93.38	93.88
1/2	93.21	93.71
3/4	92.96	93.46
1	92.72	93.39

DELTA	= 87°57'07"	
RADIUS	= 15.00'	
ARC	= 23.03'	
TANGENT	= 14.47'	
POINT	FL	TC
0	94.43	95.10
1/4	94.38	95.05
1/2	94.40	95.00
3/4	94.82	95.02
1	94.69	95.19

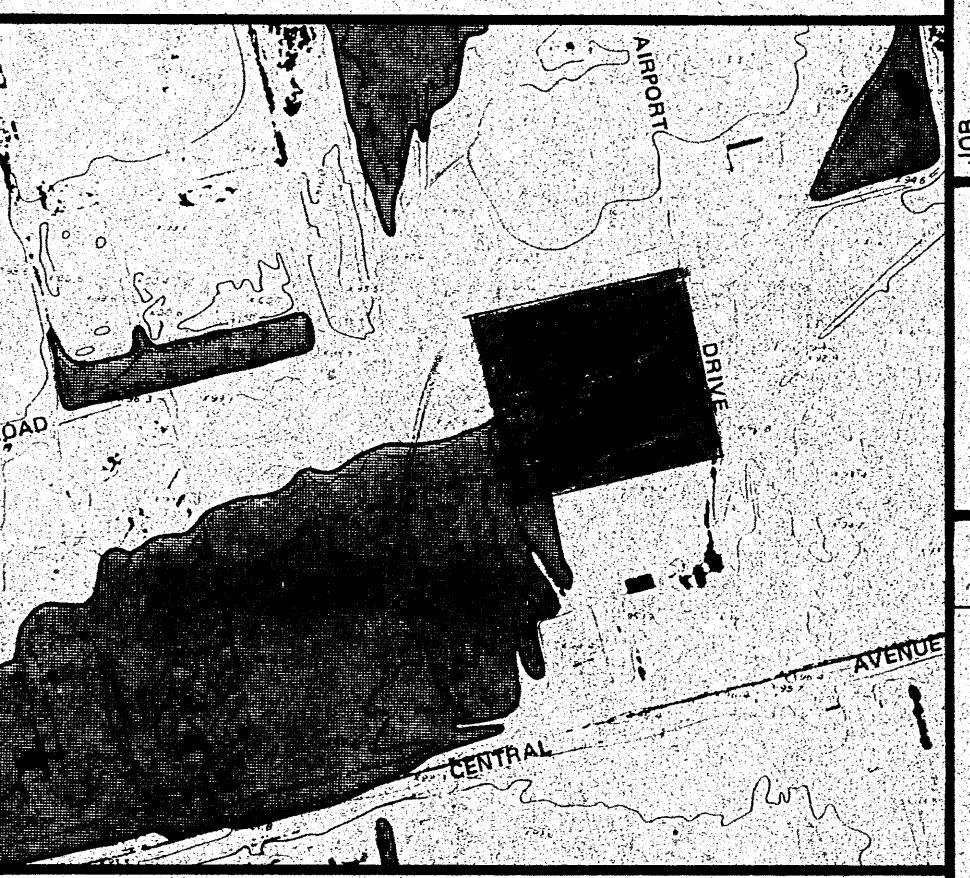
I, Jean J. Bordenave, hereby certify the as-built elevations shown hereon were obtained on December 3, 1992 and that the grading and drainage of the site is in substantial compliance with the City approved grading and drainage plan K10/D21A, except that the asphalt swale along the north and west sides of the building is not in place.

I, JEAN J. BORDENAVE, HEREBY CERTIFY THE AS-BUILT DATA SHOWN IN THE PHASE II POND AND THE ASPHALT SWALE TOGETHER WITH THE DATA CERTIFIED ON 12/04/92 IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN.

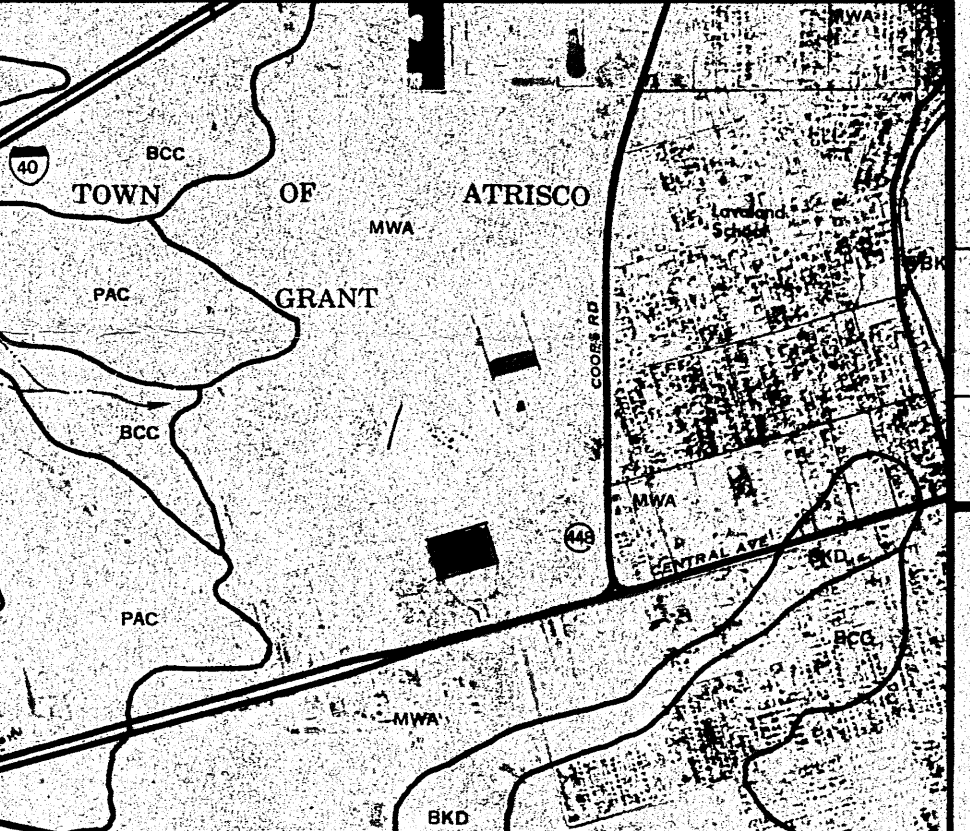
- The drainage facilities shown on these plans are based on phased construction of the West 66 Addition. All flows from the subdivision are to be routed to the pond shown in the initial building phase. See the "Conceptual Grading and Drainage Plan, Central/Airport Business Park" for phasing/grading requirements.
- Phase I ponding is shown on the next sheet. Phase II ponding is shown this sheet. Phase I ponding is a retention condition and assumes that the Airport Drive Storm Drain is not in place. Phase II ponding is detention condition and assumes that the Airport Drive Storm Drain is available as an outfall.
- When the Airport Drive Storm Drain is available the Phase I pond shall be converted to a Phase II pond by:
 - regarding the pond to the dimension and elevation shown on this sheet,
 - constructing a concrete runoff from the earth surface to the southwest portion of the pond and
 - constructing a controlled outlet and connecting pipe from the pond to the Airport Drive Storm Drain.

DRAINAGE NOTES - PHASE II

VICINITY MAP K-10



FEMA FHBM NO. 27



SCS SOILS MAP NO. 30

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

CONSTRUCTION NOTES

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.

EROSION CONTROL

GRADING AND DRAINAGE PLAN - DETENTION POND ZANIOS FOODS

BORDENAVE DESIGNS
P.O. BOX 91194
ALBUQUERQUE, NM 87199-1194
(505) 823-1344

FILE	9025	DATE	10/91
JOB	9214	DESIGNED	JJB
		DRAWN	NET
		REVIEWED	JJB



NO.	DATE	REVISIONS
1	05/06/92	COMBINE PONDS
2	02/15/92	RELOCATE DRIVEWAY & POND
3	02/15/92	REDUCE OFFICE & WAREHOUSE
4	10/11/91	ADD EARTH GRADING ALONG WEST BDRY.
5	10/11/91	REMOVE RETENTION POND, ADD CONC VALLEY