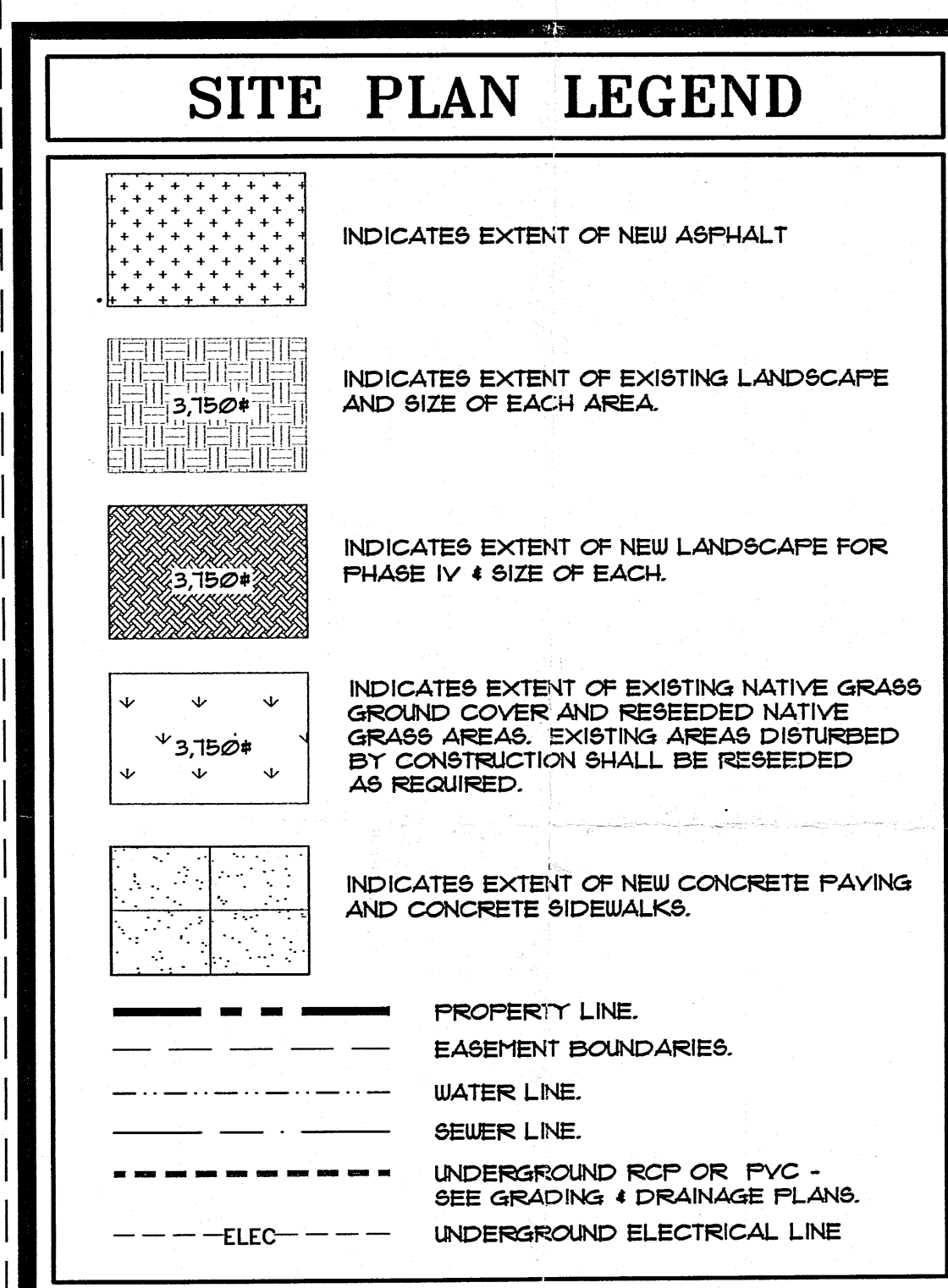
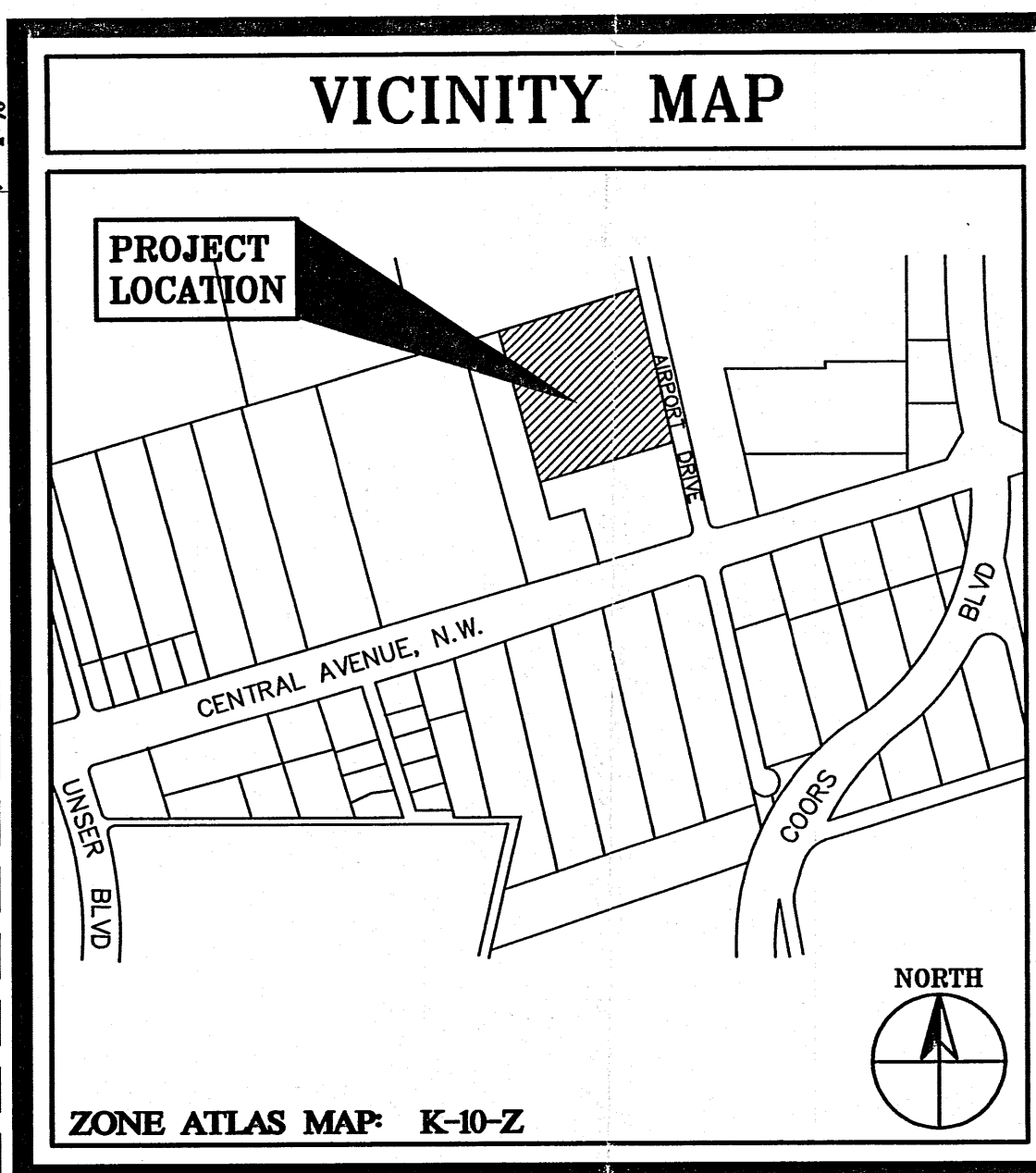
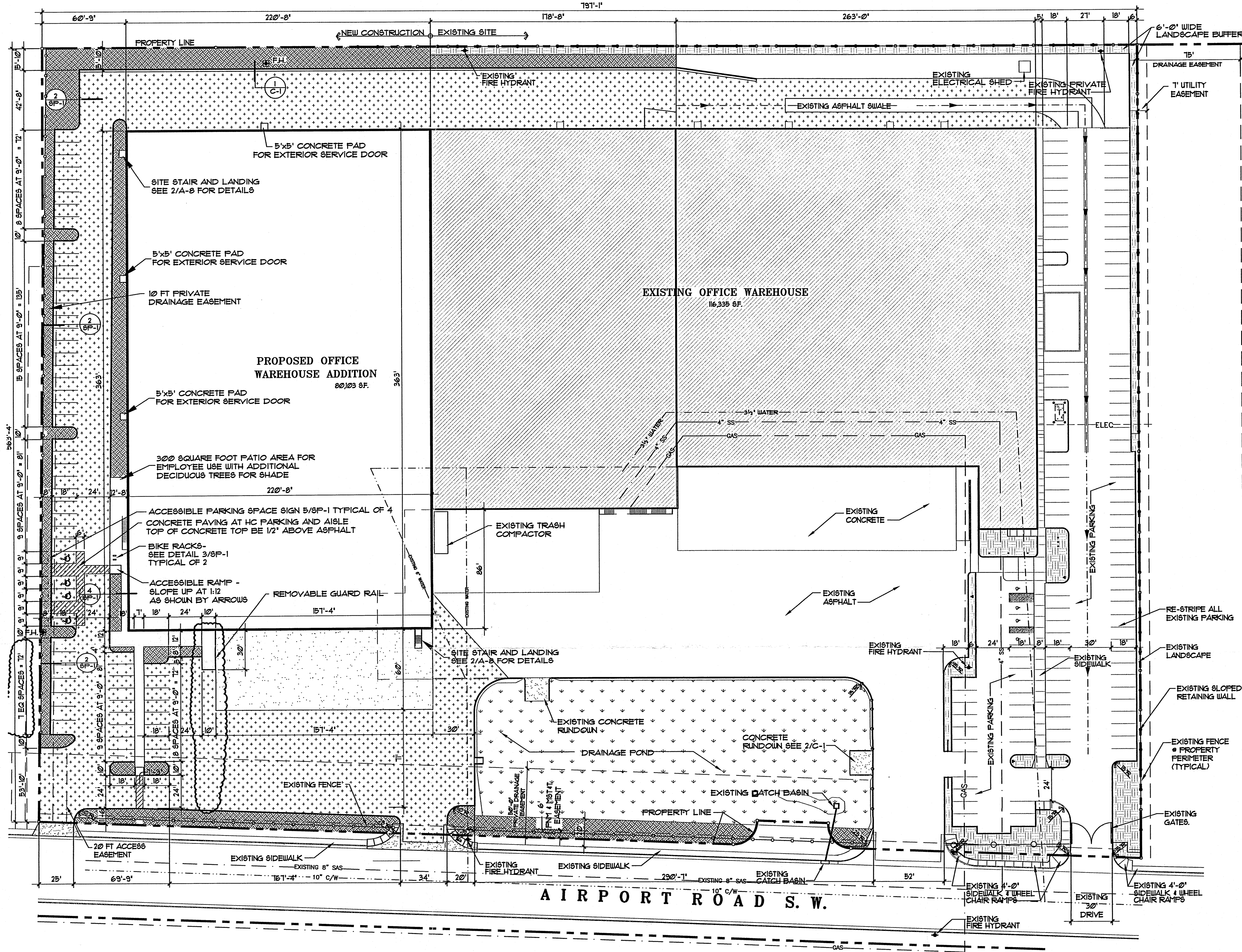




PROJECT INFORMATION

PROJECT: ZANIOS FOODS - PHASE FOUR OFFICE WAREHOUSE ADDITION

LOCATION: 221 AIRPORT ROAD, N.W. ALBUQUERQUE, NEW MEXICO

OWNER: JIM ZANIOS 221 AIRPORT ROAD, N.W. ALBUQUERQUE, NEW MEXICO

ARCHITECT: CLAUDIO VIGIL ARCHITECTS 1801 RIO GRANDE BOULEVARD, N.W., SUITE 2 ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: TRACT A-1-A-1-A, WEST 66 ADDITION.

ZONING ATLAS MAP: K-10-Z

ZONING CLASSIFICATION: SU-2 FOR IP USES.

BUILDING FUNCTION: OFFICE AND WAREHOUSE BUILDING.

CONSTRUCTION TYPE: TYPE II-N WITH 100% AUTOMATIC FIRE SPRINKLER SYSTEM. SEPARATION ON ALL FOUR SIDES OVER 60' ALLOWABLE AREA = UNLIMITED

OCCUPANCY GROUP: GROUP B OCCUPANCY - OFFICE GROUP S-1 OCCUPANCY - WAREHOUSE

TOTAL BUILDING AREA: EXISTING BUILDING = 116,335 SQUARE FEET NEW ADDITION = 80,103 SQUARE FEET TOTAL SQUARE FOOTAGE = 196,438 SQUARE FEET

TOTAL LOT AREA: 460,551 SQUARE FEET, 10.6 ACRES

NET LOT AREA: 264,311 SQUARE FEET

TOTAL PARKING/PAVED AREA: EXISTING PAVED AREA = 16,434 SQUARE FEET NEW PAVED AREA = 64,533 SQUARE FEET TOTAL PAVED AREA = 140,967 SQUARE FEET

TOTAL LANDSCAPE AREA REQUIRED: 39,648 SQUARE FEET

TOTAL LANDSCAPE AREA PROVIDED: EXISTING LANDSCAPE AREA = 12,153 SQUARE FEET EXISTING NATIVE GRASS = 6,940 SQUARE FEET NEW LANDSCAPE AREA = 30,615 SQUARE FEET TOTAL LANDSCAPE AREA = 103,708 SQUARE FEET

PERCENTAGE OF SITE LANDSCAPED: 22.5 PERCENT

LANDSCAPE TO PARKING AREA RATIO: 0.71 TO 1

PARKING ANALYSIS:

EXISTING 1st FLOOR OFFICE - 4,863/1200 = 24 SPACES

EXISTING 2nd FLOOR OFFICE - 5,583/1200 = 20 SPACES

EXISTING WAREHOUSE AREA - 10,931/1200 = 55 SPACES

NEW 1st FLOOR OFFICE - 23,000/1200 = 12 SPACES

NEW 2nd FLOOR OFFICE - 23,000/1200 = 8 SPACES

NEW WAREHOUSE AREA - 11,823/1200 = 33 SPACES

TOTAL PARKING SPACES REQUIRED = 159 PARKING SPACES

TOTAL PARKING SPACES PROVIDED = 164 PARKING SPACES

103 SPACES EXISTING + 61 SPACES NEW = 164 SPACES (INCLUDES 8 ACCESSIBLE PARKING SPACES)

PARKING SPACE SIZES:

REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG.

ACCESSIBLE PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG AND A 5'-0" OR A 9'-0" ACCESS AISLE

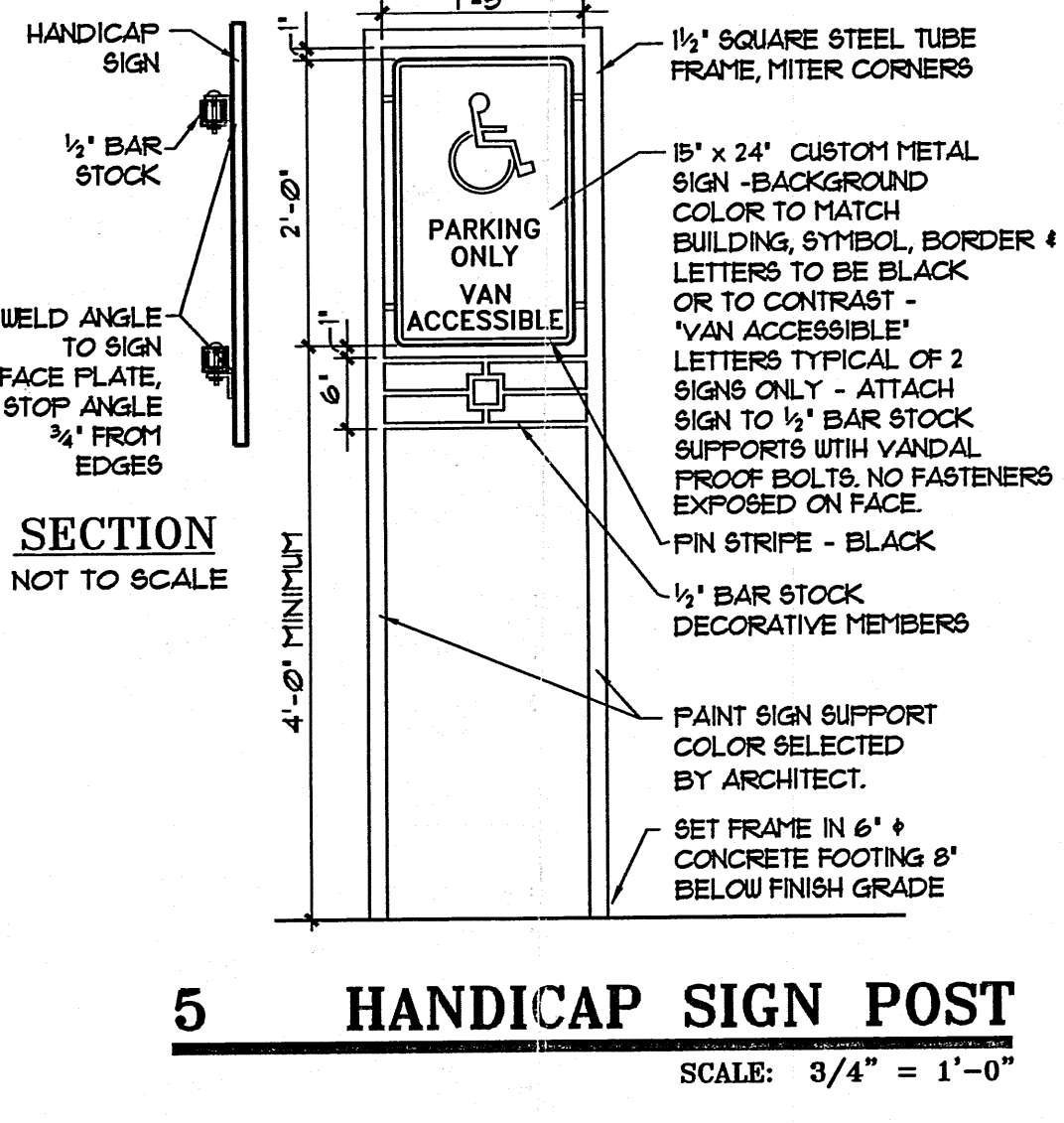
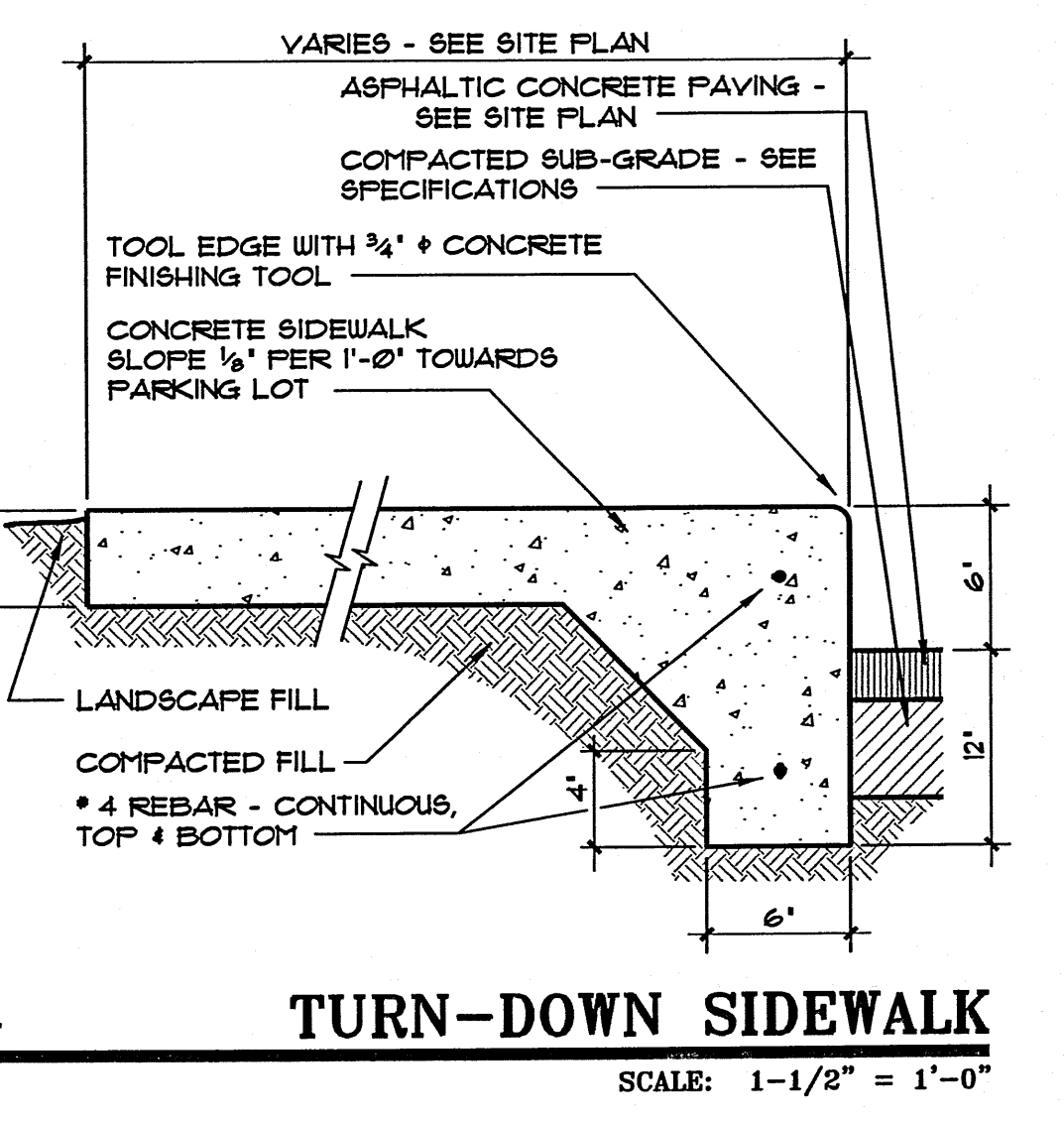
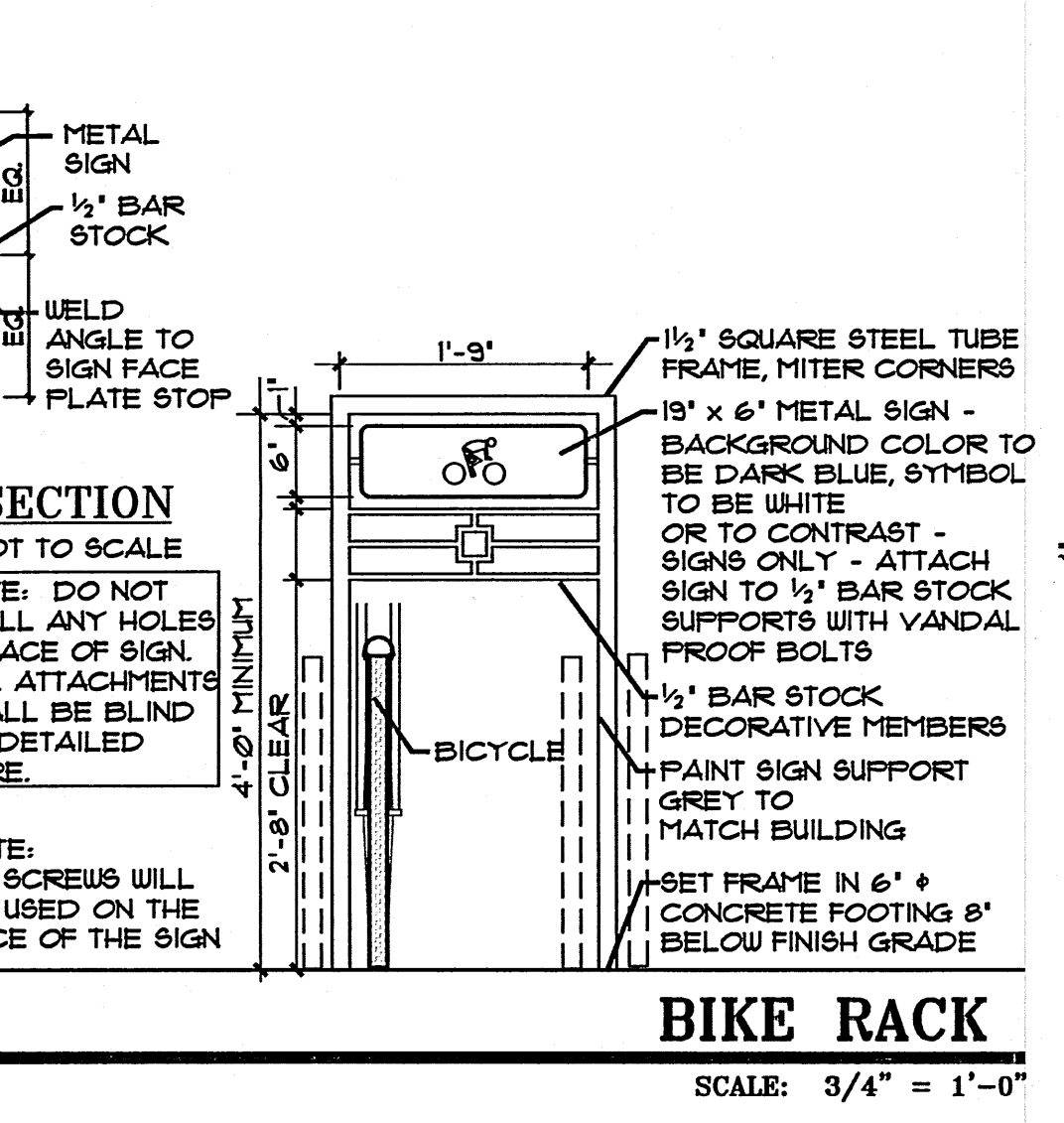
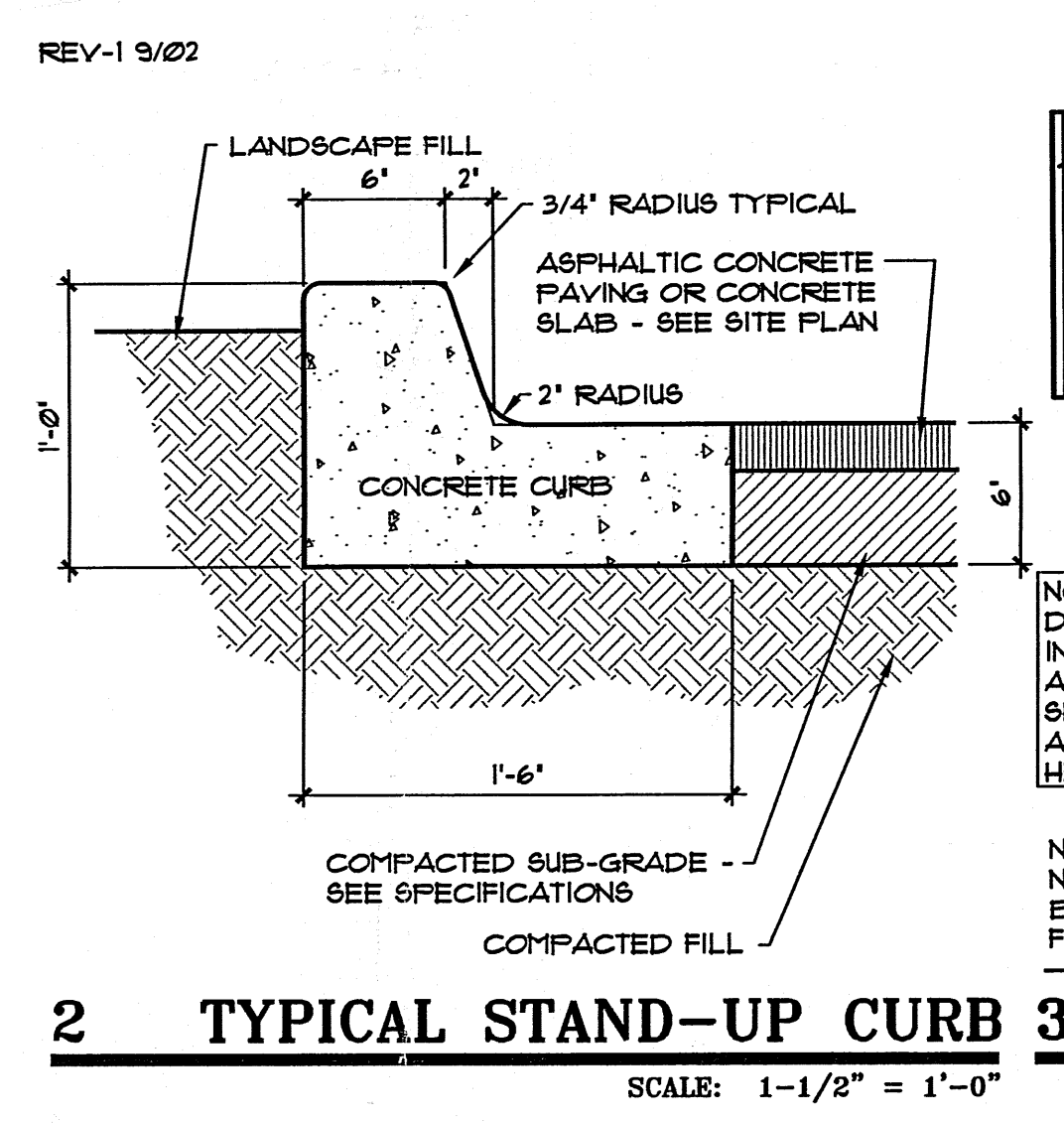
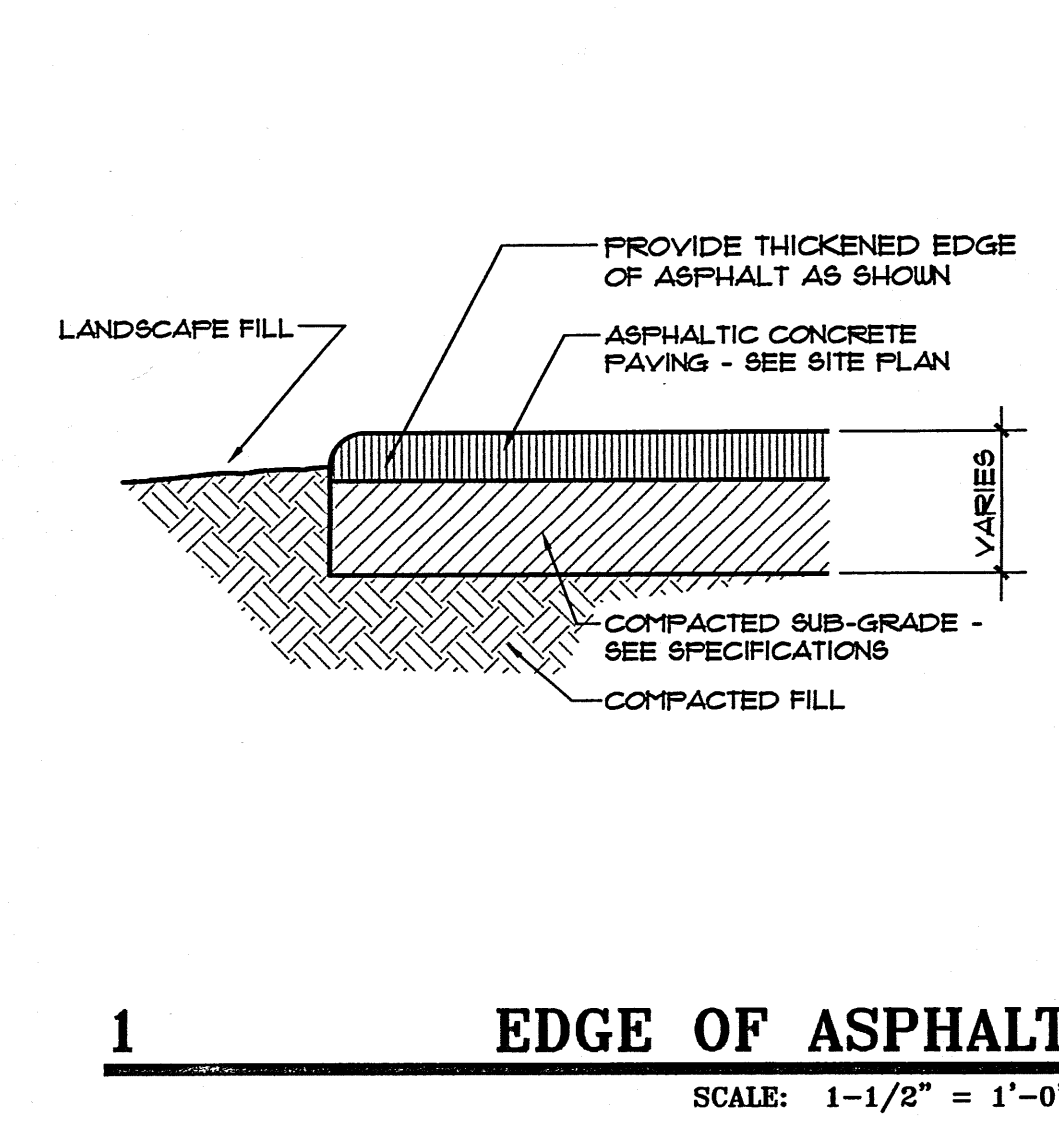
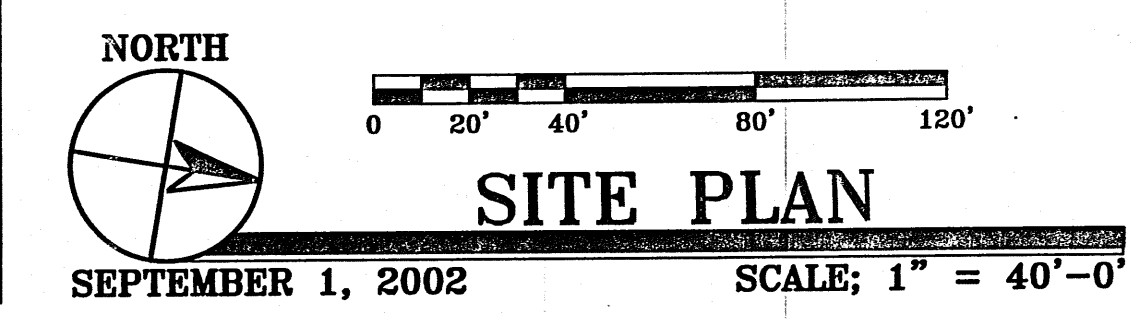
BICYCLE SPACES:

REQUIRED PARKING SPACES = 159/20 = 7.95 SPACES

TOTAL BICYCLE SPACES REQUIRED = 8 BICYCLE SPACES

TOTAL BICYCLE SPACES PROVIDED = 8 BICYCLE SPACES (2 BIKE RACK AT 4 BICYCLES PER RACK)

CITY REFERENCE NUMBERS: Z-92-96-1, DRB-92-303, DRB-91-209



CLAUDIO VIGIL ARCHITECTS

ZANIOS FOODS

PHASE IV

NEW OFFICE WAREHOUSE ADDITION

221 AIRPORT DRIVE, N.W.

ALBUQUERQUE, NEW MEXICO

SHEET

SP-1

PROJECT NUMBER 01055

OWNERSHIP OF INSTRUMENTS OF SERVICE

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