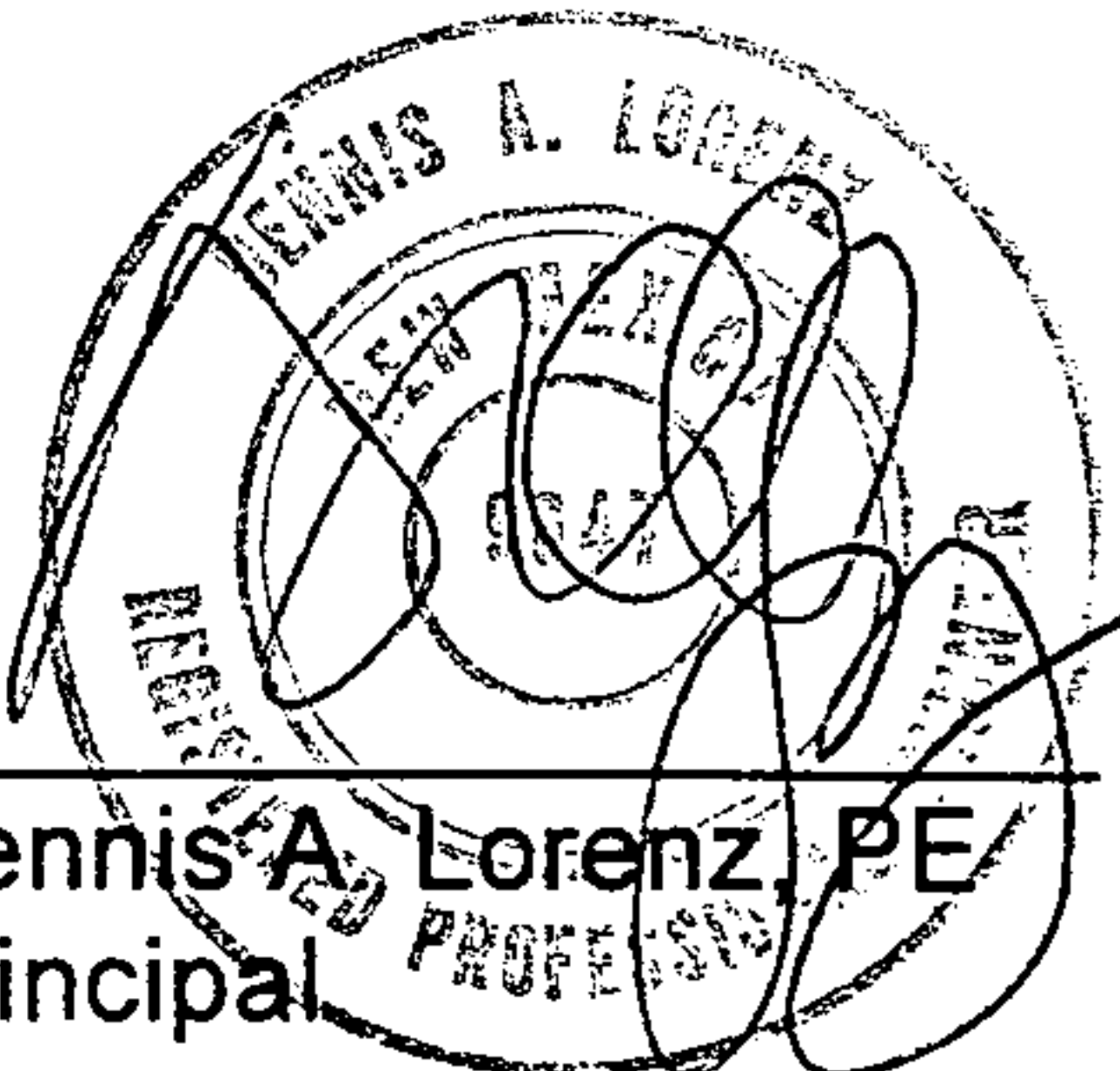


**DRAINAGE REPORT**  
**FOR**  
**DON GRADY REALTY**  
**LOT 2-B**  
**ATRISCO BUSINESS PARK**  
Albuquerque, New Mexico

Prepared by:

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Dennis A. Lorenz, PE  
Principal  
6-28-01

Revised June 2001

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## **PROJECT DESCRIPTION**

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Drainage Report outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the development of the property into a commercial office/warehouse for Don Grady realty. Paving, landscaping, utility, grading, and drainage improvements will be provided to support the project.

## **SITE DESCRIPTION**

The project site is approximately 4.507 acres in size and located on Airport Drive and north of Bluewater Road (Figure 1). The site is presently described as Lot 2-B, Tract A, Unit 2, Atrisco Business Park. The site is bounded on the north by unimproved Lot 1, on the east by Elastimold, on the south by Lot 2-A, and on the west by Airport Drive. The property is presently undeveloped. On-site topography slopes from north to south at approximately 2 percent. The site is well vegetated with native grasses.

## **EXISTING CONDITIONS**

The site is undeveloped and drains southerly in sheet flow fashion to a depression located on lot 2-A along Airport Drive. The site is affected by one off-site basin from the north. Basin A (Figure 3) is a 7.41-acre site that encompasses Lot 1 and drains through the site to the depression located on lot 2-A.

As shown by FIRM panel 35001C0329D (Figure 2), the project site is within a designated 100-year flood hazard zone.

## **SUMMARY OF EXISTING DRAINAGE PLANS**

Per the Atrisco Business Park Master Drainage Plan, prepared by Easterling and Associates, Inc., 10-22-93, the allowable discharge for this site is 0.11 cfs per acre, or  $(4.507) 0.11 = 0.496$  cfs. An existing storm drain located in Airport Drive has a capacity of 67 cfs, which equates to a unit discharge of 0.11 cfs per acre. There are four existing drop inlets on Airport Drive north of Bluewater Road.

## PROPOSED CONDITIONS

As shown by the Plan, the project consists of the development of the property into a commercial office/warehouse facility for Don Grady Realty. Paving, landscaping, and drainage improvements will be constructed as necessary to support the project. The Plan shows the elevations required to properly grade and construct the recommended improvements. The direction of the drainage flows are given by flow arrows.

As shown by the basin map (Figure 3) the site has been broken up into two drainage basins and impacted by one off site drainage basin.

Basin A is a 7.41-acre off-site basin to the north of the site and encompasses Lot 1. Basin B is 4.70 acres and includes the project site as well as a small portion of Lot 2-A. Basin C is 2.72 acres and includes the remainder of Lot 2-A.

In accordance with the Masterplan, this report recommends that each basin build a detention pond along Airport Drive. These ponds will be connected such that Basin A will flow into Pond A. Pond A will discharge at a controlled rate into pond B that will also accept flows from Basin B-1. Pond B will discharge at a controlled rate to Pond C. Pond C accepts flows from Basins B-2 and C and will discharge at a controlled rate to the existing public storm system per the approved Drainage Masterplan.

Basin A is currently undeveloped and this report recommends the construction of a 11,818 cf temporary retention pond. A temporary berm will be built along the eastern and southern property lines to contain this flow on site until the site is developed. For future development this plan recommends a 42,775 cf detention pond with a 4" culvert releasing at a controlled rate of 0.76 cfs into Pond B on Lot 2-B.

Basin B-1 will discharge into a 6,320-cf detention pond (Pond B). This pond will be built along Airport Drive and accept controlled discharge from the future detention Pond A on Lot 1 through a 4" culvert. The ponding system will discharge through a 12-inch culvert to Pond C.

Basins B-2 and C will drain to a 20,621-cf detention pond (Pond C). This pond will be built on the western edge of Lot 2-A along Airport Drive. Pond C will discharge at a controlled rate to the existing public storm system per the approved Drainage Masterplan.

The Plan provides details for the construction of each pond. Construction of the future detention ponds should only be accomplished after a subsequent review by City Hydrology Staff to verify the criteria and details necessary to obtain grading and SO 19 permits.



## **FLOODPLAIN MANAGEMENT**

The site is impacted by a mapped 100-year floodplain (see Figure 2). With the development of this site the floodplain will be relocated to permanent detention ponds to be constructed along Airport Road. The eastern portion of the floodplain that encumbers the Elastimold site will not be altered. The Elastimold site was developed with retention ponds that supplement the existing floodplain volume by providing additional storage for developed flows from the improved areas of the property. The project site will be constructed on imported engineered fill that will prohibit the eastern portion of the mapped floodplain at the Elastimold site from entering the subject site.

Upon completion of construction a Letter of Map Revision will be requested from FEMA to remove the mapped floodplain from the project site.

## **TEMPORARY EROSION CONTROL PLAN**

1. Temporary Erosion Control is required to limit the discharge of sediment into the public street and/or storm drainage system and to protect adjacent properties from excess runoff during construction. After the initial site clearing, the temporary erosion control facilities should be constructed to direct excess runoff and sediment to the detention pond sites.
2. Earthen erosion control berms or silt fencing should then be placed along the downstream project boundaries to direct runoff to the ponding areas, per the Phase One Plan (Sheet C-2).
3. The contractor is required to obtain a Topsoil Disturbance Permit from Environmental Health prior to beginning any earthwork operations.
4. It is the contractor's responsibility to properly maintain all temporary erosion control facilities during the construction phase of the project.

## **CALCULATIONS**

The calculations contained herein define the 100-year/6-hour design storm falling within the project area under existing and developed conditions. The hydrology is per "Chapter 22, Development Process Manual, Vol. 2", 1997 revision. Calculations are provided to demonstrate the capacity and function of all proposed storm drainage infrastructures.

# MAPS

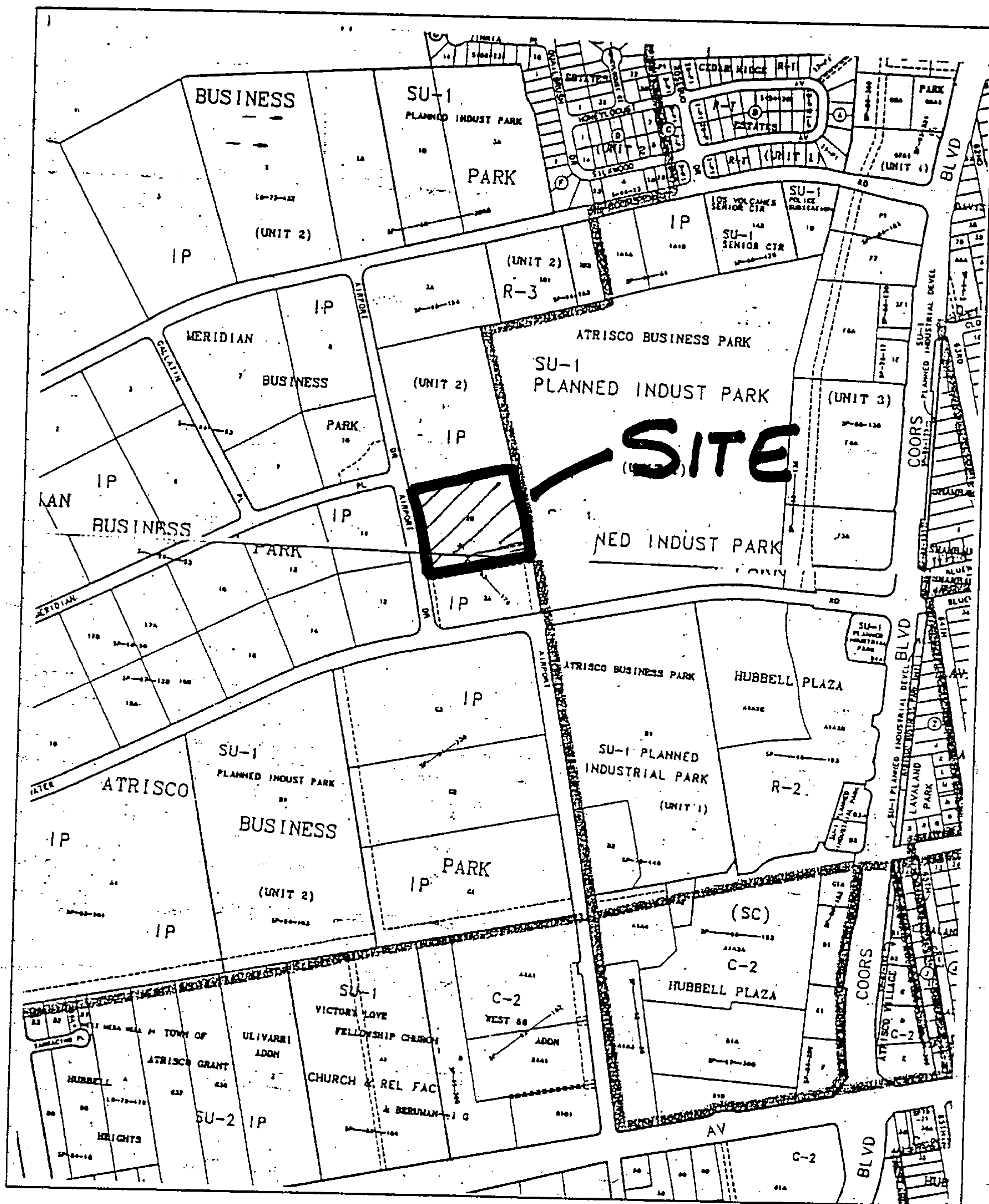


FIGURE 1  
LOCATION MAP



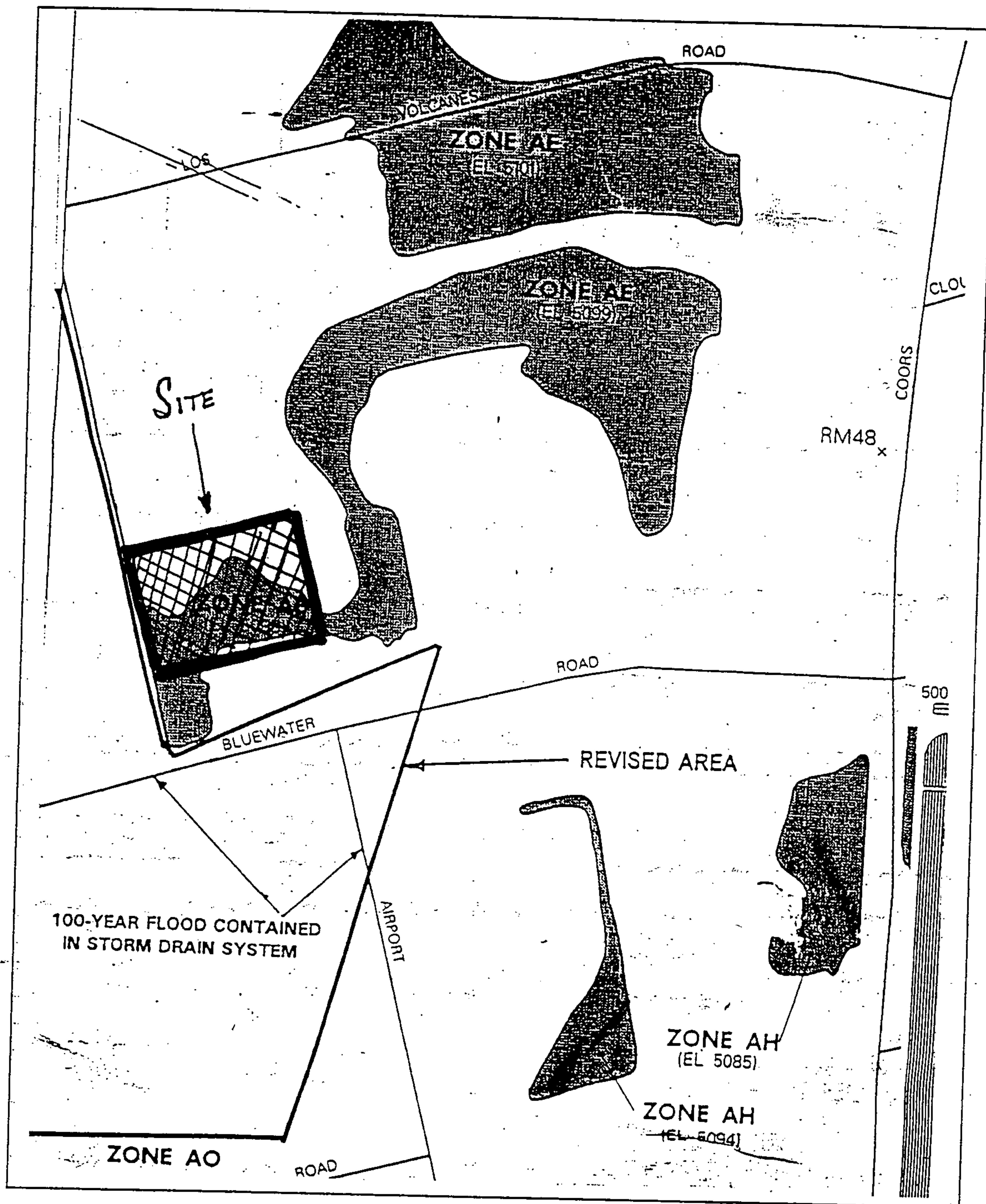


FIGURE 2  
FLOOD-INSURANCE RATE MAP



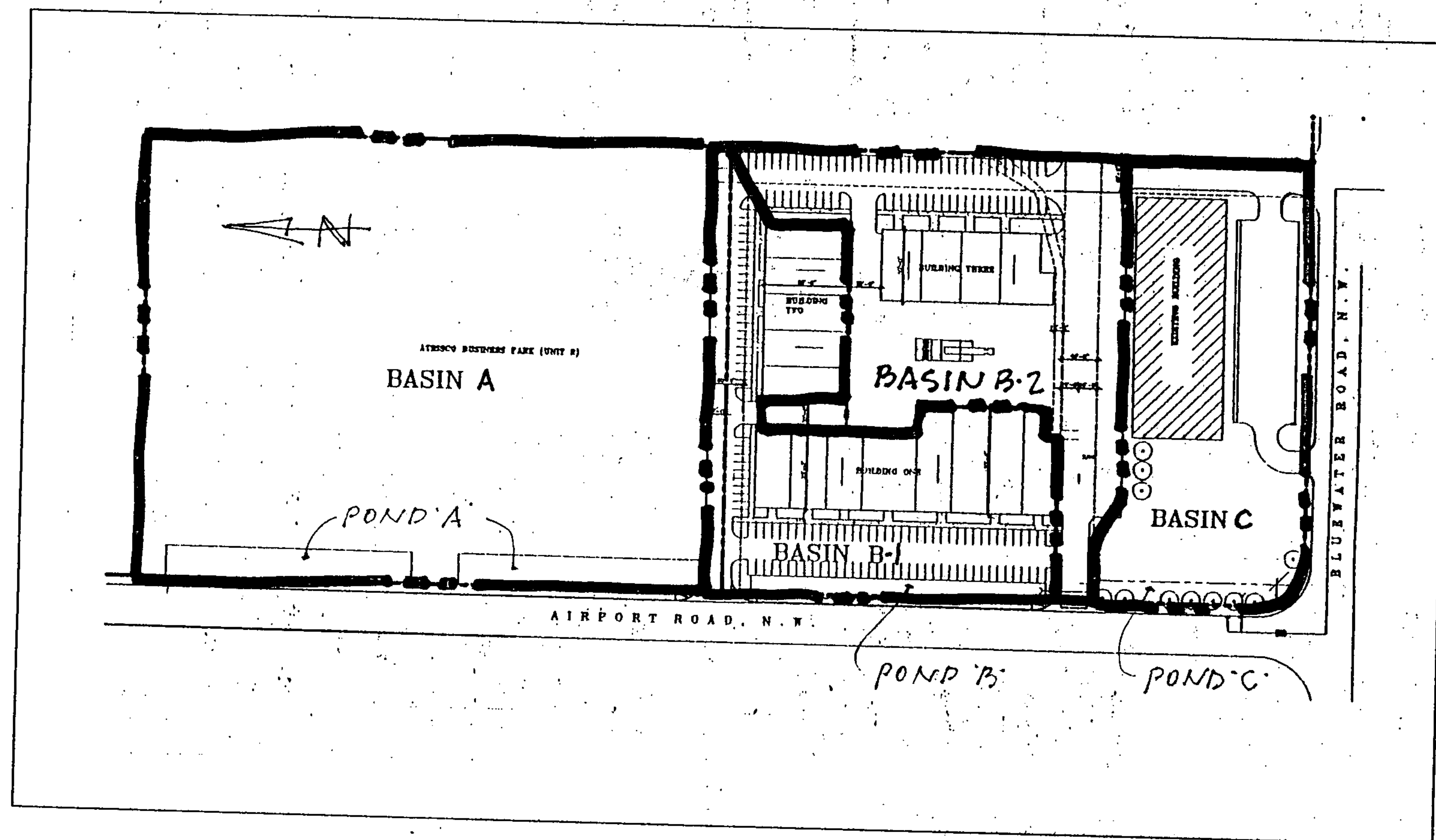
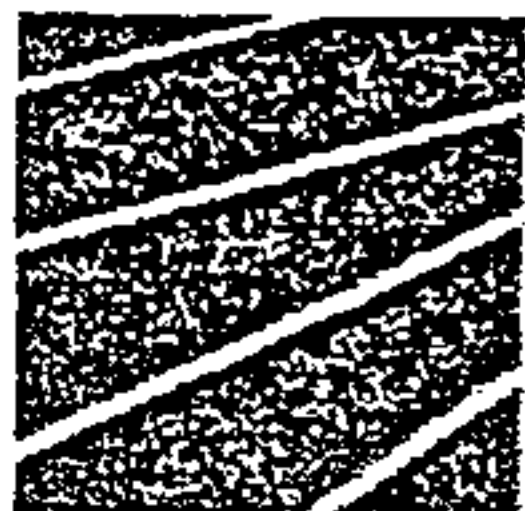


FIGURE 3  
BASIN MAP

## CALCULATIONS

# INFRASTRUCTURE CAPACITIES



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① POND 'A' DESIGN

$$A = 7.41 \text{ AC}$$

$$\text{PER DMP } Q_{\text{OUT}} = 0.11 \text{ CFS/AC } (7.41) = 0.82 \text{ CFS}$$

ROUTE BASIN THRU DETENTION POND TO  
BASIN 'B', POND 'B':

USE 4" POND OUTLET

ROUTE - RES DATA

ELEV	Q <sub>OUT</sub>	STORAGE
95.2	0 CFS	0 AF
96.2	0.38	0.2870
97.2	0.57	0.5739
98.2	0.71	0.8661
99.2	0.82	1.1478

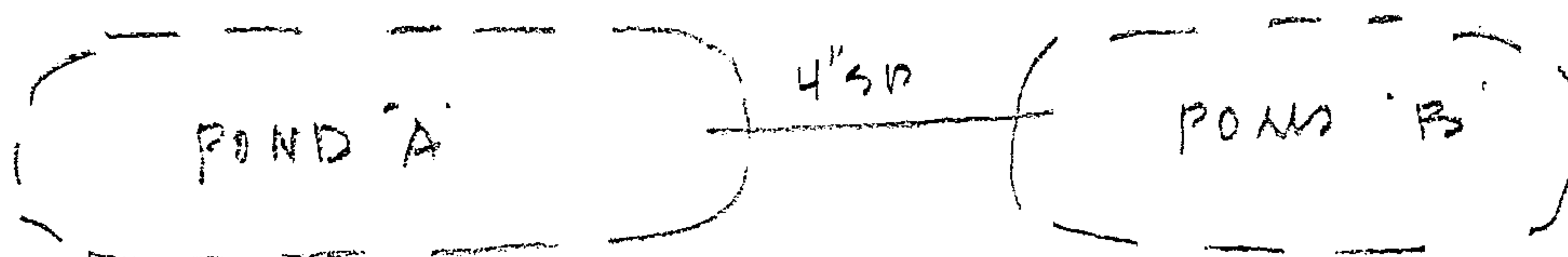
PER HYD:

$$Q_{\text{OUT}} = 0.76 \text{ CFS}$$

$$WSE = 98.6$$

$$VOL = 0.9820 \text{ AF}$$

$$= 42,725 \text{ CF}$$







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② POND 'B' DESIGN

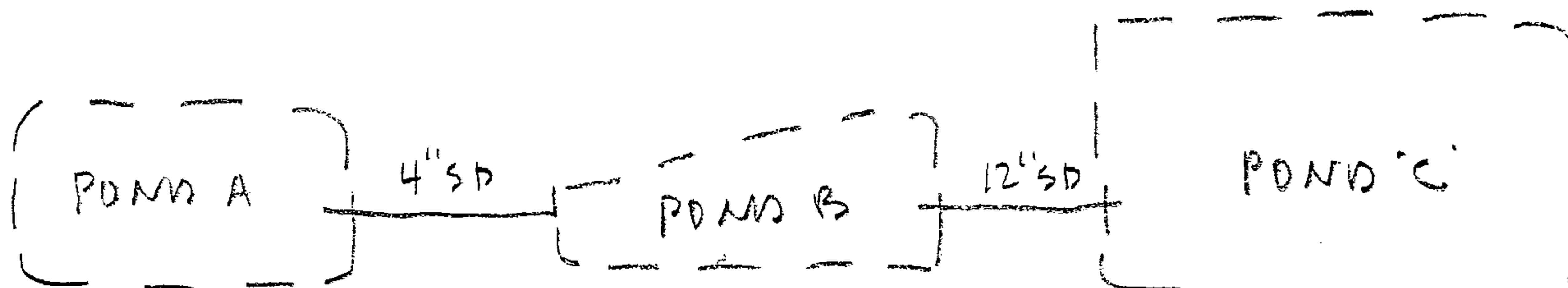
ROUTE POND 'A' OUT + BASIN B-1 THRU  
POND 'B'. DISCHARGE RATE TO BE LIMITED  
AT POND 'C'

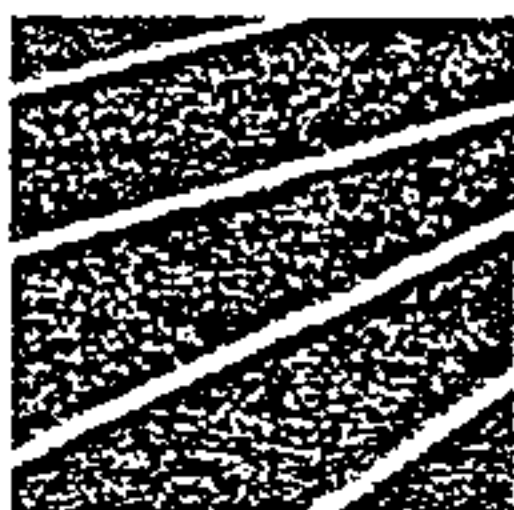
USE 12" CULVERT TO POND 'C'

ROUT RES DATA

ELEV	QOUT	STORAGE
96.4	0 CFS	0
97	1.20	0.0116 AF
98	3.96	0.07714
98.4	4.63	0.2004

PER AHYWD: QOUT = 4.33 CFS  
WSE = 98.2  
VOL = 0.1451 AF  
= 6320 CF



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### (3) POND C DESIGN

ROUTE POND B + BASINS B-2 + C THRU  
POND C TO AIRPORT SD.

PER DMP  $Q_{OUT} = 0.11 \text{ CFS} (AC(14.83)) = 1.63 \text{ CFS}$

USE 6" OUTLET TO EXIST INLET

#### ROUTE RES - DATA

ELEV	Q <sub>OUT</sub>	STORAGE
93	0	0
94	0.82 CFS	0.0843 AF
95	1.25	0.1975
96	1.57	0.3418
97	1.83	0.5194
98	2.06	0.7326

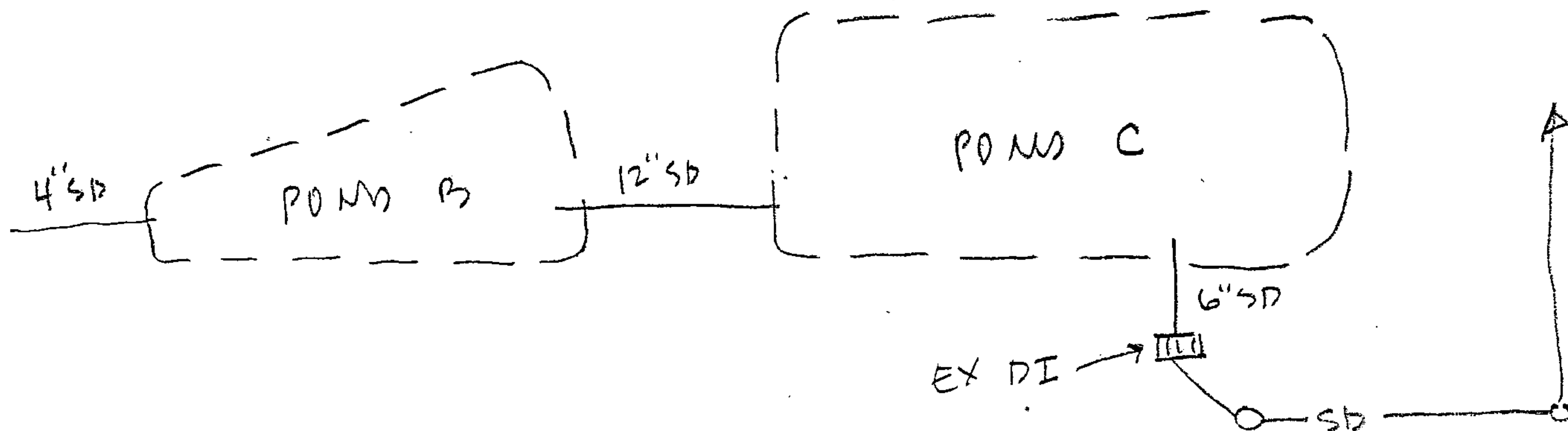
PER. AHYMO:

$Q_{OUT} = 1.76 \text{ CFS}$  (VERY CLOSE).

WSE = 96.8

VOL = 0.4734 AF

= 20,621 CF





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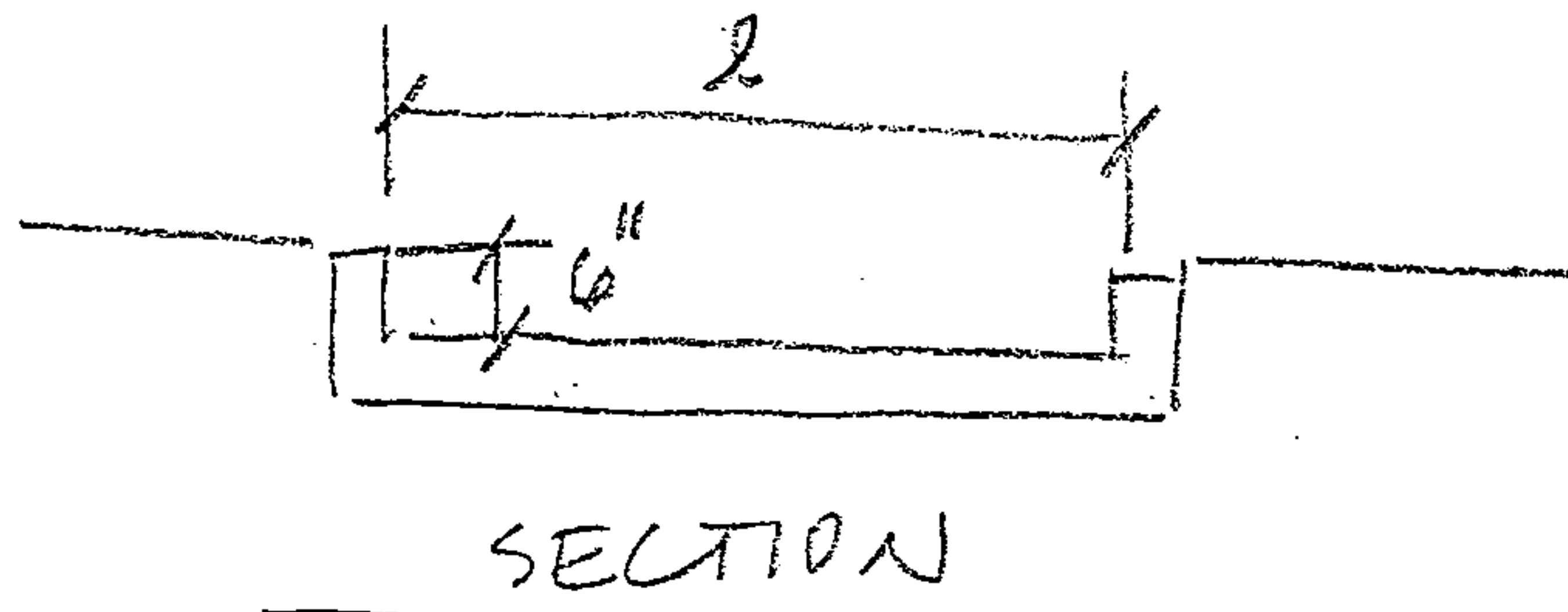
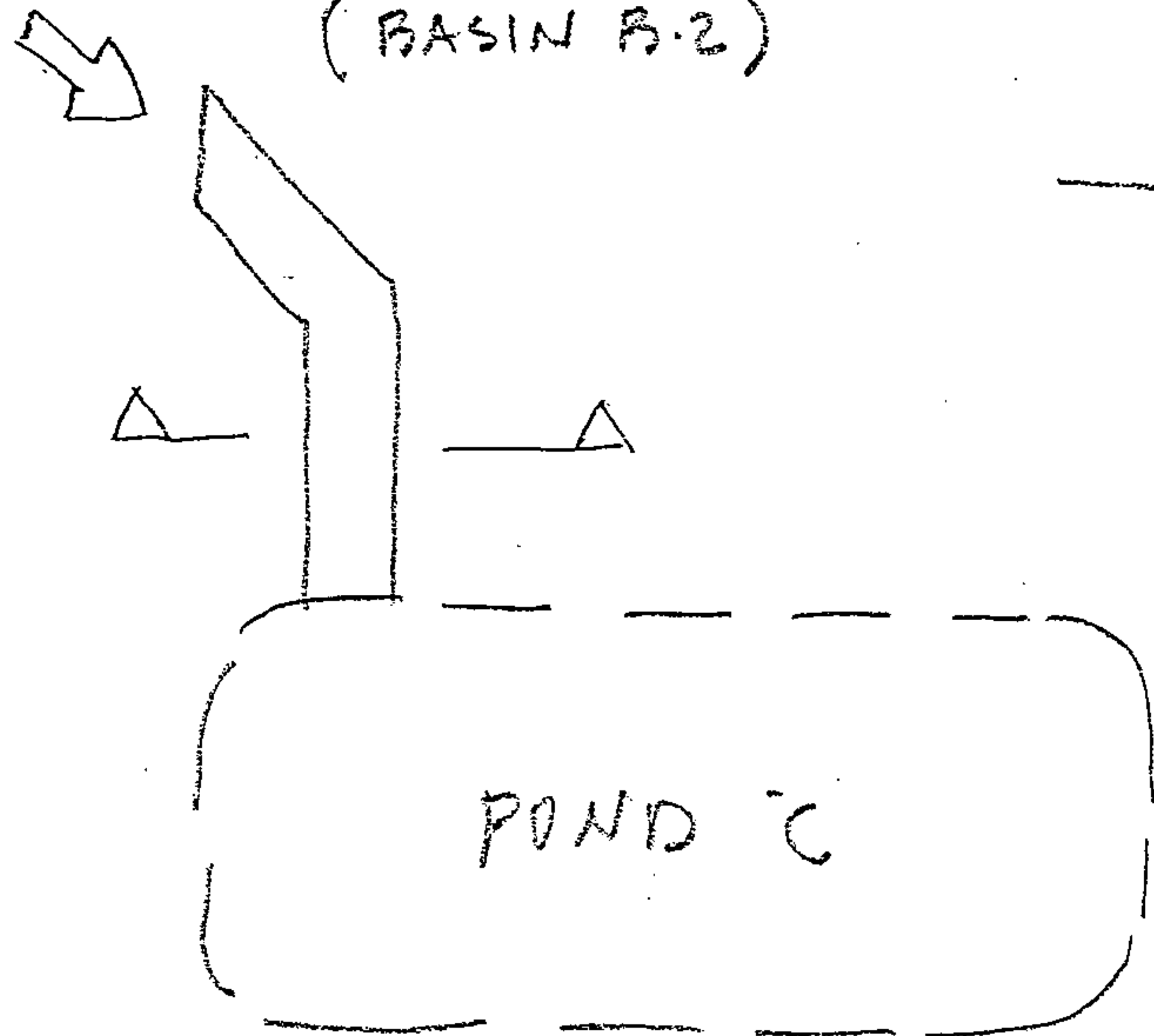
GRADY

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④ POND 'C' INLET CHANNEL

$Q_{100} = 8.7 \text{ CFS}$   
(BASIN B.2)



⑤ WEIR FLOW

WEIRS

Enter up to 10 weirs.  
Enter <Return> only for flowrate and length to end.

FLOWRATE (CFS)	LENGTH (FT)	COEFF (-)	HEAD (FT)
8.70	9.8	2.500	0.50

⑥ CHANNEL FLOW

MAN-MADE CHANNELS

VARIABLES LIST:

Y - FLOW DEPTH  
Q - FLOWRATE

B - CHANNEL BOTTOM WIDTH  
M - CHANNEL SIDE SLOPE

S - CHANNEL SLOPE  
N - CHANNEL ROUGHNESS

VARIABLE TO BE SOLVED (Y, Q, B, M, S OR N) ? Y

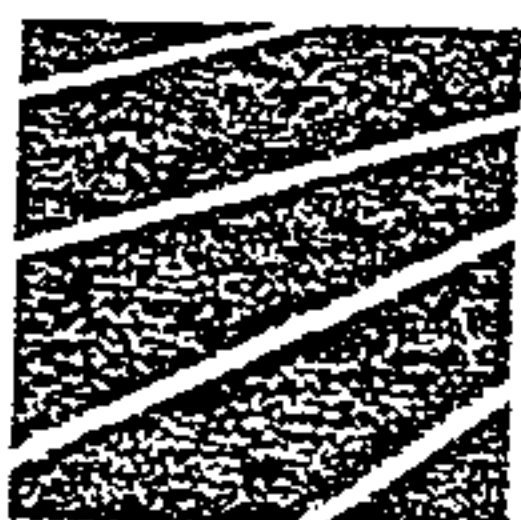
Q (CFS) ? 8.7  
B (FT) ? 10  
M (FT/FT) ? 0  
S (FT/FT) ? .01  
N (FT<sup>1/6</sup>) ? .013

RESULTS

=====

V=	0.22 FT
A=	2.17 SF
P=	10.43 FT
V=	4.01 FPS
F=	1.52

SUPER-CRITICAL FLOW



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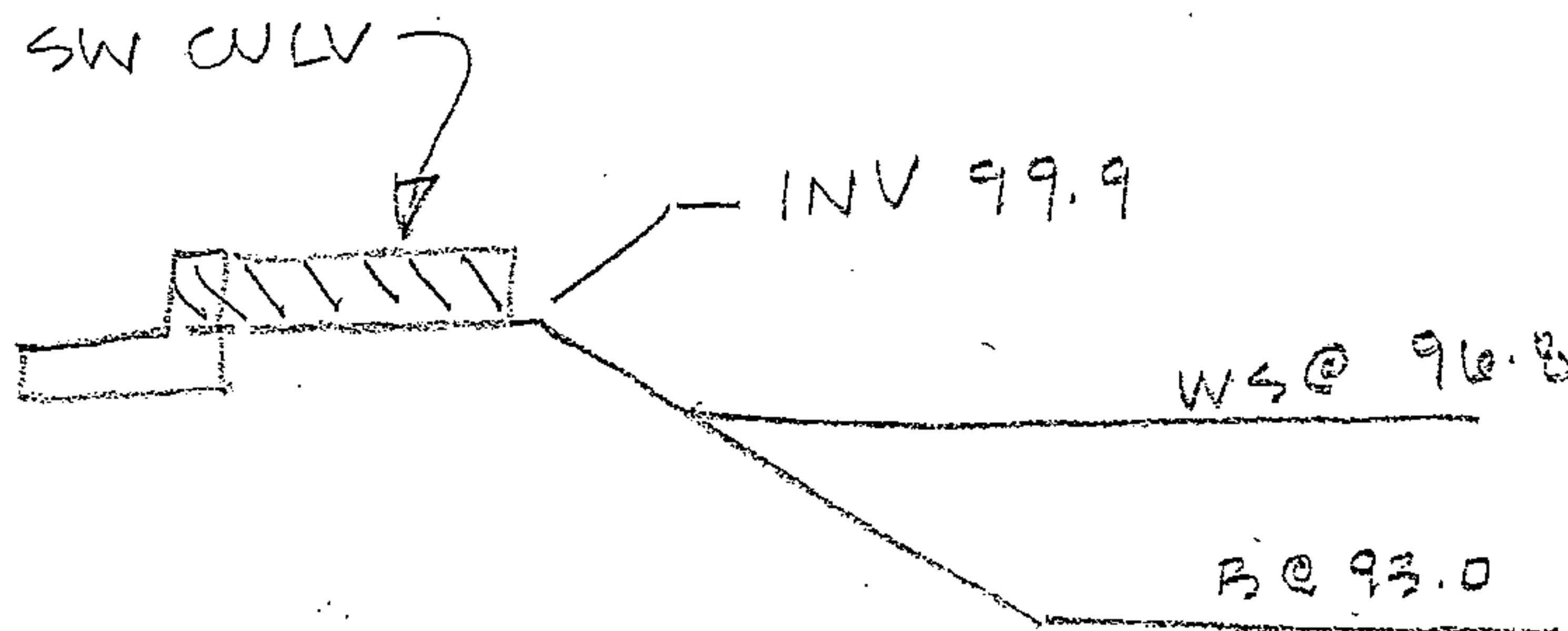
6-19-01

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⑤ POND 'C' OVERFLOW SPILLWAY

$$Q_{100} (\text{POND 'C' INFLOW}) = 21.88 \text{ CFS}$$



SECTION

MAN-MADE CHANNELS

VARIABLES LIST:

Y - FLOW DEPTH  
Q - FLOWRATE

B - CHANNEL BOTTOM WIDTH  
M - CHANNEL SIDE SLOPE

S - CHANNEL SLOPE  
N - CHANNEL ROUGHNESS

VARIABLE TO BE SOLVED (Y, Q, B, M, S OR N) ? Q

Y (FT) ? .67  
B (FT) ? 2  
M (FT/FT) ? 0  
S (FT/FT) ? .02  
N (FT<sup>1/6</sup>) ? .013

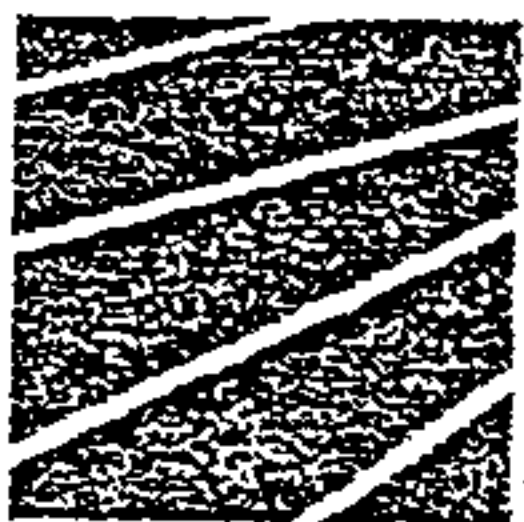
RESULTS

Q= 11.78 CFS  
A= 1.34 SF  
P= 3.34 FT  
V= 8.79 FPS  
F= 1.89

SUPER-CRITICAL FLOW

USE 2.24" SW CULVERTS





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⑥ INTERIM RETENTION POND

① BASIN A

$$A = 7.41 \text{ AC}$$

UNDEV CONDITIONS

$$Q_{100} = 9.6 \text{ CFS}$$

$$V_{100} = 0.2717 \text{ AF}$$

$$= \underline{11,835 \text{ CF}} \Rightarrow \text{PROVIDED}$$

② PHASE ONE TEMP SED POND

SIZE POND FOR 10-YR EVENT

PRECIP ZONE 1.

$$P_{360} = 2.2''$$

$$E_{10YR} = 0.44''$$

$$\text{AREA PHASE TWO} = 3.50 \text{ AC}$$

$$\text{VOL (10 YR)} = 3.50(0.44)/12 = \underline{\underline{5590 \text{ CF}}}$$

**AHYMO FILES**

```

*****
*
*               ATRISCO BUSINESS PARK
*               PROJECT HYDROLOGY
*****
START          TIME=0.0  PUNCH CODE=0
RAINFALL       TYPE=1  RAIN QUARTER=0.0  RAIN ONE=1.87
               RAIN SIX=2.20  RAIN DAY=2.66  DT=0.03333 HRS
* UNDEVELOPED BASIN A - 7.41 ACRES
COMPUTE NM HYD ID=1  HYD NO=EX-BASIN-A  DA=0.0116 SQ MI
               PER A=100  PER B=0  PER C=0  PER D=0
               TP=0.1333 HR  MASS RAIN=-1
PRINT HYD      ID=1  CODE=20
* DEVELOPED BASIN A - 7.41 ACRES
COMPUTE NM HYD ID=2  HYD NO=DEV-BASIN-A  DA=0.0116 SQ MI
               PER A=0  PER B=6  PER C=9  PER D=85
               TP=0.1333 HR  MASS RAIN=-1
PRINT HYD      ID=2  CODE=20
* UNDEVELOPED BASIN B - 4.70 ACRES
COMPUTE NM HYD ID=3  HYD NO=EX-BASIN-B  DA=0.00734 SQ MI
               PER A=100  PER B=0  PER C=0  PER D=0
               TP=0.1333 HR  MASS RAIN=-1
PRINT HYD      ID=3  CODE=20
* DEVELOPED BASIN B - 4.70 ACRES
COMPUTE NM HYD ID=4  HYD NO=DEV-BASIN-B  DA=0.00734 SQ MI
               PER A=0  PER B=6  PER C=9  PER D=85
               TP=0.1333 HR  MASS RAIN=-1
PRINT HYD      ID=4  CODE=20
* UNDEVELOPED BASIN C - 2.72 ACRES
COMPUTE NM HYD ID=5  HYD NO=DEV-BASIN-C  DA=0.00425 SQ MI
               PER A=0  PER B=38  PER C=6  PER D=56
               TP=0.1333 HR  MASS RAIN=-1
PRINT HYD      ID=5  CODE=20
* DEVELOPED BASIN B1 - 2.57 ACRES
COMPUTE NM HYD ID=6  HYD NO=DEV-BASIN-B1  DA=0.00402 SQ MI
               PER A=0  PER B=6  PER C=9  PER D=85
               TP=0.1333 HR  MASS RAIN=-1
PRINT HYD      ID=6  CODE=20
* DEVELOPED BASIN B2 - 2.13 ACRES
COMPUTE NM HYD ID=7  HYD NO=DEV-BASIN-B2  DA=0.00332 SQ MI
               PER A=0  PER B=6  PER C=9  PER D=85
               TP=0.1333 HR  MASS RAIN=-1
PRINT HYD      ID=7  CODE=20
*****
* ROUTE DEVELOPED BASIN A THROUGH DETENTION POND A TO ON-SITE POND B
* ALLOWABLE DISCHARGE IS 0.11 CFS/AC OR 0.82 CFS (4" PIPE)
*****
ROUTE RESERVOIR ID=8  HYD NO=POND-A-OUT  INFLOW ID=2  CODE=10
                OUT (CFS)  STORAGE (AC-FT)  ELEV (FT)
                0          0              95.2
                0.38       0.2870         96.2
                0.57       0.5739         97.2
                0.71       0.8661         98.2

```

```

0.82      1.1478      99.2
PRINT HYD      ID=8 CODE=20
* ADD POND A OUT TO BASIN B-1
ADD HYD      ID=9 HYD NO=POND-B-IN ID I=6 ID II=8
PRINT HYD      ID=9 CODE=20
*****
* ROUTE POND A AND DEVELOPED BASIN B-1 THROUGH DETENTION POND B TO DETENTION
* POND C PER DMP. (12" PIPE)
*****
ROUTE RESERVOIR      ID=10 HYD NO=POND-B-OUT INFLOW ID=9 CODE=10
OUT (CFS)      STORAGE (AC-FT)      ELEV (FT)
0              0              96.4
1.20          0.0116          97.0
3.96          0.0771          98.0
4.63          0.2004          98.4
PRINT HYD      ID=10 CODE=20
* ADD POND B OUT TO BASINS B-2 AND C
ADD HYD      ID=11 HYD NO=POND-C-IN ID I=5 ID II=7
PRINT HYD      ID=11 CODE=20
ADD HYD      ID=12 HYD NO=POND-C-IN ID I=10 ID II=11
PRINT HYD      ID=12 CODE=20
*****
* ROUTE POND B AND DEVELOPED BASINS B-2 AND C THROUGH DETENTION POND C TO
* AIRPORT SD PER DMP. ALLOWABLE DISCHARGE IS 0.11 CFS/AC OR 1.63 CFS (6" PIPE)
*****
ROUTE RESERVOIR      ID=13 HYD NO=POND-C-OUT INFLOW ID=11 CODE=10
OUT (CFS)      STORAGE (AC-FT)      ELEV (FT)
0              0              93.0
0.82          0.0843          94.0
1.25          0.1975          95.0
1.57          0.3418          96.4
1.83          0.5194          97.0
2.06          0.7326          98.0
PRINT HYD      ID=13 CODE=20
FINISH

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[illegible]

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- Version: 1997.02d

RUN DATE (MON/DAY/YR) = 06/19/2001

START TIME (HR:MIN:SEC) = 13:22:13

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\*\*\*\*\*  
\* ATRISCO BUSINESS PARK  
\* PROJECT HYDROLOGY  
\*\*\*\*\*

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RAIN SIX=2.20 RAIN DAY=2.66 DT=0.03333 HRS

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DT = .033330 HOURS END TIME = 5.999400 HOURS

.0000	.0016	.0033	.0050	.0067	.0085	.0103
.0122	.0141	.0160	.0180	.0201	.0222	.0243
.0266	.0289	.0312	.0337	.0362	.0388	.0415
.0443	.0472	.0502	.0534	.0567	.0601	.0637
.0675	.0715	.0758	.0809	.0865	.0924	.1050
.1334	.1771	.2398	.3254	.4379	.5814	.7600
.9780	1.1804	1.2649	1.3363	1.3997	1.4575	1.5106
1.5600	1.6061	1.6493	1.6900	1.7284	1.7646	1.7989
1.8314	1.8623	1.8915	1.9193	1.9456	1.9518	1.9576
1.9630	1.9682	1.9732	1.9780	1.9825	1.9869	1.9912
1.9953	1.9993	2.0031	2.0068	2.0104	2.0140	2.0174
2.0207	2.0240	2.0272	2.0303	2.0333	2.0363	2.0392
2.0420	2.0448	2.0475	2.0502	2.0528	2.0554	2.0580
2.0605	2.0629	2.0653	2.0677	2.0700	2.0723	2.0746
2.0768	2.0790	2.0812	2.0833	2.0855	2.0875	2.0896
2.0916	2.0936	2.0956	2.0976	2.0995	2.1014	2.1033
2.1051	2.1070	2.1088	2.1106	2.1124	2.1141	2.1159
2.1176	2.1193	2.1210	2.1227	2.1244	2.1260	2.1276
2.1292	2.1308	2.1324	2.1340	2.1355	2.1371	2.1386
2.1401	2.1416	2.1431	2.1446	2.1460	2.1475	2.1489
2.1504	2.1518	2.1532	2.1546	2.1560	2.1573	2.1587
2.1600	2.1614	2.1627	2.1640	2.1654	2.1667	2.1680
2.1692	2.1705	2.1718	2.1731	2.1743	2.1756	2.1768
2.1780	2.1792	2.1804	2.1817	2.1829	2.1840	2.1852
2.1864	2.1876	2.1887	2.1899	2.1910	2.1922	2.1933
2.1944	2.1956	2.1967	2.1978	2.1989	2.2000	

\* UNDEVELOPED BASIN A - 7.41 ACRES

COMPUTE NM HYD ID=1 HYD NO=EX-BASIN-A DA=0.0116 SQ MI  
PER A=100 PER B=0 PER C=0 PER D=0  
TP=0.1333 HR MASS RAIN=-1

K = .163684HR TP = .133300HR K/TP RATIO = 1.227936 SHAPE CONSTANT, N = 2.899764  
UNIT PEAK = 23.804 CFS UNIT VOLUME = .9990 B = 273.54 P60 = 1.8700  
AREA = .011600 SQ MI IA = .65000 INCHES INF = 1.67000 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

PRINT HYD

ID=1 CODE=20

HYDROGRAPH FROM AREA EX-BASIN-A

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	1.333	.0	2.666	.2	4.000	.0		
.667	.0	2.000	.9	3.333	.1				

RUNOFF VOLUME = .43925 INCHES = .2717 ACRE-FEET  
PEAK DISCHARGE RATE = 9.63 CFS AT 1.533 HOURS BASIN AREA = .0116 SQ. MI.

\* DEVELOPED BASIN A - 7.41 ACRES

COMPUTE NM HYD ID=2 HYD NO=DEV-BASIN-A DA=0.0116 SQ MI  
PER A=0 PER B=6 PER C=9 PER D=85  
TP=0.1333 HR MASS RAIN=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420  
UNIT PEAK = 38.928 CFS UNIT VOLUME = .9991 B = 526.28 P60 = 1.8700  
AREA = .009860 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

K = .115917HR TP = .133300HR K/TP RATIO = .869594 SHAPE CONSTANT, N = 4.085532  
UNIT PEAK = 4.7100 CFS UNIT VOLUME = .9975 B = 360.83 P60 = 1.8700  
AREA = .001740 SQ MI IA = .41000 INCHES INF = .99800 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

PRINT HYD

ID=2 CODE=20

HYDROGRAPH FROM AREA DEV-BASIN-A

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	2.000	7.1	4.000	.2	5.999	.2		
.667	.0	2.666	.6	4.666	.2	6.666	.0		
1.333	8.6	3.333	.2	5.333	.2				

RUNOFF VOLUME = 1.79793 INCHES = 1.1123 ACRE-FEET  
PEAK DISCHARGE RATE = 30.39 CFS AT 1.500 HOURS BASIN AREA = .0116 SQ. MI.

\* UNDEVELOPED BASIN B - 4.70 ACRES

COMPUTE NM HYD ID=3 HYD NO=EX-BASIN-B DA=0.00734 SQ MI  
PER A=100 PER B=0 PER C=0 PER D=0  
TP=0.1333 HR MASS RAIN=-1

K = .163684HR TP = .133300HR K/TP RATIO = 1.227936 SHAPE CONSTANT, N = 2.899764

UNIT PEAK = 15.062 CFS UNIT VOLUME = .9987 B = 273.54 P60 = 1.8700  
 AREA = .007340 SQ MI IA = .65000 INCHES INF = 1.67000 INCHES PER HOUR  
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

PRINT HYD ID=3 CODE=20

# HYDROGRAPH FROM AREA EX-BASIN-B

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	1.333	.0	2.666	.1	4.000	.0		
.667	.0	2.000	.6	3.333	.0				

RUNOFF VOLUME = .43925 INCHES = .1720 ACRE-FEET  
 PEAK DISCHARGE RATE = 6.10 CFS AT 1.533 HOURS BASIN AREA = .0073 SQ. MI.

\* DEVELOPED BASIN B - 4.70 ACRES  
 COMPUTE NM HYD ID=4 HYD NO=DEV-BASIN-B DA=0.00734 SQ MI  
 PER A=0 PER B=6 PER C=9 PER D=85  
 TP=0.1333 HR MASS RAIN=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420  
 UNIT PEAK = 24.632 CFS UNIT VOLUME = .9989 B = 526.28 P60 = 1.8700  
 AREA = .006239 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR  
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

K = .115917HR TP = .133300HR K/TP RATIO = .869594 SHAPE CONSTANT, N = 4.085532  
 UNIT PEAK = 2.9803 CFS UNIT VOLUME = .9957 B = 360.83 P60 = 1.8700  
 AREA = .001101 SQ MI IA = .41000 INCHES INF = .99800 INCHES PER HOUR  
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

PRINT HYD ID=4 CODE=20

# HYDROGRAPH FROM AREA DEV-BASIN-B

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	2.000	4.5	4.000	.1	5.999	.1		
.667	.0	2.666	.4	4.666	.1	6.666	.0		
1.333	5.5	3.333	.1	5.333	.1				

RUNOFF VOLUME = 1.79793 INCHES = .7038 ACRE-FEET  
 PEAK DISCHARGE RATE = 19.24 CFS AT 1.500 HOURS BASIN AREA = .0073 SQ. MI.

\* UNDEVELOPED BASIN C - 2.72 ACRES  
 COMPUTE NM HYD ID=5 HYD NO=DEV-BASIN-C DA=0.00425 SQ MI  
 PER A=0 PER B=38 PER C=6 PER D=56



TP=0.1333 HR MASS RAIN=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420  
UNIT PEAK = 9.3964 CFS UNIT VOLUME = .9982 B = 526.28 P60 = 1.8700  
AREA = .002380 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

K = .127566HR TP = .133300HR K/TP RATIO = .956982 SHAPE CONSTANT, N = 3.692513  
UNIT PEAK = 4.6872 CFS UNIT VOLUME = .9973 B = 334.12 P60 = 1.8700  
AREA = .001870 SQ MI IA = .47955 INCHES INF = 1.19273 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

PRINT HYD ID=5 CODE=20

HYDROGRAPH FROM AREA DEV-BASIN-C

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	2.000	1.9	4.000	.0	5.999	.0		
.667	.0	2.666	.2	4.666	.0	6.666	.0		
1.333	2.1	3.333	.1	5.333	.0				

RUNOFF VOLUME = 1.41096 INCHES = .3198 ACRE-FEET  
PEAK DISCHARGE RATE = 9.22 CFS AT 1.500 HOURS BASIN AREA = .0043 SQ. MI.

\* DEVELOPED BASIN B1 - 2.57 ACRES

COMPUTE NM HYD ID=6 HYD NO=DEV-BASIN-B1 DA=0.00402 SQ MI  
PER A=0 PER B=6 PER C=9 PER D=85  
TP=0.1333 HR MASS RAIN=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420  
UNIT PEAK = 13.490 CFS UNIT VOLUME = .9985 B = 526.28 P60 = 1.8700  
AREA = .003417 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

K = .115917HR TP = .133300HR K/TP RATIO = .869594 SHAPE CONSTANT, N = 4.085532  
UNIT PEAK = 1.6323 CFS UNIT VOLUME = .9921 B = 360.83 P60 = 1.8700  
AREA = .000603 SQ MI IA = .41000 INCHES INF = .99800 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

PRINT HYD ID=6 CODE=20

HYDROGRAPH FROM AREA DEV-BASIN-B1

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	2.000	2.5	4.000	.1	5.999	.1		
.667	.0	2.666	.2	4.666	.1	6.666	.0		

1.333 3.0 3.333 .1 5.333 .1

RUNOFF VOLUME = 1.79793 INCHES = .3855 ACRE-FEET  
PEAK DISCHARGE RATE = 10.54 CFS AT 1.500 HOURS BASIN AREA = .0040 SQ. MI.

\* DEVELOPED BASIN B2 - 2.13 ACRES  
COMPUTE NM HYD ID=7 HYD NO=DEV-BASIN-B2 DA=0.00332 SQ MI  
PER A=0 PER B=6 PER C=9 PER D=85  
TP=0.1333 HR MASS RAIN=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420  
UNIT PEAK = 11.141 CFS UNIT VOLUME = .9984 B = 526.28 P60 = 1.8700  
AREA = .002822 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

K = .115917HR TP = .133300HR K/TP RATIO = .869594 SHAPE CONSTANT, N = 4.085532  
UNIT PEAK = 1.3480 CFS UNIT VOLUME = .9903 B = 360.83 P60 = 1.8700  
AREA = .000498 SQ MI IA = .41000 INCHES INF = .99800 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330

PRINT HYD ID=7 CODE=20

# HYDROGRAPH FROM AREA DEV-BASIN-B2

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	2.000	2.0	4.000	.0	5.999	.1		
.667	.0	2.666	.2	4.666	.0	6.666	.0		
1.333	2.5	3.333	.1	5.333	.0				

RUNOFF VOLUME = 1.79793 INCHES = .3184 ACRE-FEET  
PEAK DISCHARGE RATE = 8.71 CFS AT 1.500 HOURS BASIN AREA = .0033 SQ. MI.

\*\*\*\*\*  
\* ROUTE DEVELOPED BASIN A THROUGH DETENTION POND A TO ON-SITE POND B  
\* ALLOWABLE DISCHARGE IS 0.11 CFS/AC OR 0.82 CFS (4" PIPE)  
\*\*\*\*\*

ROUTE RESERVOIR ID=8 HYD NO=POND-A-OUT INFLOW ID=2 CODE=10 .  
OUT (CFS) STORAGE (AC-FT) ELEV (FT)  
0 0 95.2  
0.38 0.2870 96.2  
0.57 0.5739 97.2  
0.71 0.8661 98.2  
0.82 1.1478 99.2

\* \* \* \* \*

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
.00	.00	95.20	.000	.00
.33	.00	95.20	.000	.00
.67	.00	95.20	.000	.00
1.00	.00	95.20	.000	.00
1.33	8.63	95.35	.042	.06
1.67	15.44	97.38	.625	.59
2.00	7.14	98.29	.890	.72
2.33	1.53	98.59	.975	.75
2.67	.63	98.61	.982	.76
3.00	.33	98.58	.973	.75
3.33	.22	98.53	.960	.75
3.67	.18	98.48	.945	.74
4.00	.16	98.42	.929	.73
4.33	.16	98.37	.914	.73
4.67	.16	98.31	.898	.72
5.00	.16	98.26	.882	.72
5.33	.17	98.20	.867	.71
5.67	.19	98.15	.853	.70
6.00	.20	98.11	.839	.70
6.33	.02	98.05	.823	.69
6.67	.00	97.99	.804	.68
7.00	.00	97.92	.786	.67
7.33	.00	97.86	.767	.66
7.67	.00	97.80	.749	.65
8.00	.00	97.74	.731	.65
8.33	.00	97.68	.713	.64
8.67	.00	97.62	.696	.63
9.00	.00	97.56	.679	.62
9.33	.00	97.50	.662	.61
9.67	.00	97.44	.645	.60
10.00	.00	97.39	.629	.60
10.33	.00	97.33	.612	.59
10.67	.00	97.28	.596	.58
11.00	.00	97.22	.580	.57
11.33	.00	97.17	.565	.56
11.67	.00	97.11	.549	.55
12.00	.00	97.06	.534	.54
12.33	.00	97.01	.519	.53
12.67	.00	96.96	.505	.52
13.00	.00	96.91	.490	.51
13.33	.00	96.86	.476	.51
13.67	.00	96.81	.463	.50
14.00	.00	96.76	.449	.49
14.33	.00	96.72	.436	.48
14.67	.00	96.67	.423	.47
15.00	.00	96.63	.410	.46
15.33	.00	96.58	.397	.45
15.67	.00	96.54	.385	.44
16.00	.00	96.50	.373	.44

16.33	.00	96.46	.361	.43
16.67	.00	96.42	.349	.42
17.00	.00	96.38	.338	.41
17.33	.00	96.34	.326	.41
17.66	.00	96.30	.315	.40
18.00	.00	96.26	.304	.39
18.33	.00	96.22	.294	.38

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
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18.66	.00	96.19	.283	.37
19.00	.00	96.15	.273	.36
19.33	.00	96.12	.263	.35
19.66	.00	96.08	.254	.34

PEAK DISCHARGE = .755 CFS - PEAK OCCURS AT HOUR 2.60  
 MAXIMUM WATER SURFACE ELEVATION = 98.611  
 MAXIMUM STORAGE = .9820 AC-FT INCREMENTAL TIME= .033330HRS

PRINT HYD ID=8 CODE=20

#### HYDROGRAPH FROM AREA POND-A-OUT

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	4.000	.7	7.999	.6	11.999	.5	15.998	.4
.667	.0	4.666	.7	8.666	.6	12.665	.5	16.665	.4
1.333	.1	5.333	.7	9.332	.6	13.332	.5	17.332	.4
2.000	.7	5.999	.7	9.999	.6	13.999	.5	17.998	.4
2.666	.8	6.666	.7	10.666	.6	14.665	.5	18.665	.4
3.333	.7	7.333	.7	11.332	.6	15.332	.5	19.331	.3

RUNOFF VOLUME = 1.40157 INCHES = .8671 ACRE-FEET  
 PEAK DISCHARGE RATE = .76 CFS AT 2.600 HOURS BASIN AREA = .0116 SQ. MI.

\* ADD POND A OUT TO BASIN B-1  
 ADD HYD ID=9 HYD NO=POND-B-IN ID I=6 ID II=8  
 PRINT HYD ID=9 CODE=20

#### HYDROGRAPH FROM AREA POND-B-IN

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	4.000	.8	7.999	.6	11.999	.5	15.998	.4
.667	.0	4.666	.8	8.666	.6	12.665	.5	16.665	.4
1.333	3.0	5.333	.8	9.332	.6	13.332	.5	17.332	.4
2.000	3.2	5.999	.8	9.999	.6	13.999	.5	17.998	.4
2.666	1.0	6.666	.7	10.666	.6	14.665	.5	18.665	.4
3.333	.8	7.333	.7	11.332	.6	15.332	.5	19.331	.3

RUNOFF VOLUME = 1.50356 INCHES = 1.2526 ACRE-FEET  
 PEAK DISCHARGE RATE = 10.94 CFS AT 1.500 HOURS BASIN AREA = .0156 SQ. MI.

\*\*\*\*\*  
 \* ROUTE POND A AND DEVELOPED BASIN B-1 THROUGH DETENTION POND B TO DETENTION  
 \* POND C PER DMP. (12" PIPE)  
 \*\*\*\*\*

ROUTE RESERVOIR ID=10 HYD NO=POND-B-OUT INFLOW ID=9 CODE=10  
 OUT (CFS) STORAGE (AC-FT) ELEV (FT)  
 0 0 96.4  
 1.20 0.0116 97.0  
 3.96 0.0771 98.0  
 4.63 0.2004 98.4

\* \* \* \* \*

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
.00	.00	96.40	.000	.00
.33	.00	96.40	.000	.00
.67	.00	96.40	.000	.00
1.00	.00	96.40	.000	.00
1.33	3.05	96.95	.011	1.09
1.67	5.95	98.20	.137	4.29
2.00	3.19	98.19	.135	4.28
2.33	1.28	98.00	.078	3.96
2.67	.97	97.29	.030	1.99
3.00	.86	97.01	.012	1.24
3.33	.82	96.83	.008	.86
3.67	.80	96.81	.008	.81
4.00	.79	96.80	.008	.79
4.33	.78	96.79	.008	.79
4.67	.78	96.79	.008	.78
5.00	.77	96.79	.007	.77
5.33	.77	96.79	.007	.77
5.67	.77	96.78	.007	.77
6.00	.77	96.78	.007	.77
6.33	.70	96.76	.007	.71
6.67	.68	96.74	.007	.69
7.00	.67	96.74	.007	.67
7.33	.66	96.73	.006	.67
7.67	.65	96.73	.006	.66
8.00	.65	96.72	.006	.65
8.33	.64	96.72	.006	.64
8.67	.63	96.72	.006	.63
9.00	.62	96.71	.006	.62
9.33	.61	96.71	.006	.62
9.67	.60	96.70	.006	.61
10.00	.60	96.70	.006	.60



10.33	.59	96.70	.006	.59
10.67	.58	96.69	.006	.58
11.00	.57	96.69	.006	.58
11.33	.56	96.68	.005	.57
11.67	.55	96.68	.005	.56
12.00	.54	96.67	.005	.55
12.33	.53	96.67	.005	.54
12.67	.52	96.66	.005	.53
13.00	.51	96.66	.005	.52
13.33	.51	96.65	.005	.51
13.67	.50	96.65	.005	.50
14.00	.49	96.65	.005	.49
14.33	.48	96.64	.005	.48
14.67	.47	96.64	.005	.47
15.00	.46	96.63	.004	.46
15.33	.45	96.63	.004	.46
15.67	.44	96.62	.004	.45
16.00	.44	96.62	.004	.44
16.33	.43	96.62	.004	.43
16.67	.42	96.61	.004	.42
17.00	.41	96.61	.004	.42
17.33	.41	96.60	.004	.41
17.66	.40	96.60	.004	.40
18.00	.39	96.60	.004	.39
18.33	.38	96.59	.004	.39

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
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18.66	.37	96.59	.004	.38
19.00	.36	96.58	.004	.37
19.33	.35	96.58	.003	.35
19.66	.34	96.57	.003	.34

PEAK DISCHARGE = 4.329 CFS - PEAK OCCURS AT HOUR 1.80  
 MAXIMUM WATER SURFACE ELEVATION = 98.220  
 MAXIMUM STORAGE = .1451 AC-FT INCREMENTAL TIME= .033330HRS

PRINT HYD ID=10 CODE=20

# HYDROGRAPH FROM AREA POND-B-OUT

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	4.000	.8	7.999	.6	11.999	.5	15.998	.4
.667	.0	4.666	.8	8.666	.6	12.665	.5	16.665	.4
1.333	1.1	5.333	.8	9.332	.6	13.332	.5	17.332	.4
2.000	4.3	5.999	.8	9.999	.6	13.999	.5	17.998	.4
2.666	2.0	6.666	.7	10.666	.6	14.665	.5	18.665	.4
3.333	.9	7.333	.7	11.332	.6	15.332	.5	19.331	.4

RUNOFF VOLUME = 1.49975 INCHES = 1.2494 ACRE-FEET  
 PEAK DISCHARGE RATE = 4.33 CFS AT 1.800 HOURS BASIN AREA = .0156 SQ. MI.

\* ADD POND B OUT TO BASINS B-2 AND C  
ADD HYD ID=11 HYD NO=POND-C-IN ID I=5 ID II=7  
PRINT HYD ID=11 CODE=20

HYDROGRAPH FROM AREA POND-C-IN

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	2.000	3.9	4.000	.1	5.999	.1		
.667	.0	2.666	.4	4.666	.1	6.666	.0		
1.333	4.6	3.333	.1	5.333	.1				

RUNOFF VOLUME = 1.58059 INCHES = .6381 ACRE-FEET  
PEAK DISCHARGE RATE = 17.93 CFS AT 1.500 HOURS BASIN AREA = .0076 SQ. MI.

ADD HYD ID=12 HYD NO=POND-C-IN ID I=10 ID II=11  
PRINT HYD ID=12 CODE=20

HYDROGRAPH FROM AREA POND-C-IN

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	4.000	.9	7.999	.6	11.999	.5	15.998	.4
.667	.0	4.666	.9	8.666	.6	12.665	.5	16.665	.4
1.333	5.7	5.333	.9	9.332	.6	13.332	.5	17.332	.4
2.000	8.2	5.999	.9	9.999	.6	13.999	.5	17.998	.4
2.666	2.3	6.666	.7	10.666	.6	14.665	.5	18.665	.4
3.333	1.0	7.333	.7	11.332	.6	15.332	.5	19.331	.4

RUNOFF VOLUME = 1.52614 INCHES = 1.8875 ACRE-FEET  
PEAK DISCHARGE RATE = 21.88 CFS AT 1.500 HOURS BASIN AREA = .0232 SQ. MI.

\*\*\*\*\*  
\* ROUTE POND B AND DEVELOPED BASINS B-2 AND C THROUGH DETENTION POND C TO  
\* AIRPORT SD PER DMP. ALLOWABLE DISCHARGE IS 0.11 CFS/AC OR 1.63 CFS (6" PIPE)  
\*\*\*\*\*

ROUTE RESERVOIR ID=13 HYD NO=POND-C-OUT INFLOW ID=11 CODE=10  
OUT (CFS) STORAGE (AC-FT) ELEV (FT)  
0 0 93.0  
0.82 0.0843 94.0  
1.25 0.1975 95.0  
1.57 0.3418 96.4  
1.83 0.5194 97.0  
2.06 0.7326 98.0

\* \* \* \* \*

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
---------------	-----------------	----------------	-------------------	------------------

.00	.00	93.00	.000	.00
.33	.00	93.00	.000	.00
.67	.00	93.00	.000	.00
1.00	.00	93.00	.000	.00
1.33	4.59	93.26	.022	.21
1.67	9.21	96.38	.340	1.57
2.00	3.93	96.79	.456	1.74
2.33	.88	96.82	.466	1.75
2.67	.36	96.71	.434	1.71
3.00	.18	96.58	.395	1.65
3.33	.12	96.44	.354	1.59
3.67	.09	96.13	.314	1.51
4.00	.08	95.77	.276	1.42
4.33	.08	95.42	.241	1.35
4.67	.08	95.09	.207	1.27
5.00	.09	94.81	.175	1.17
5.33	.09	94.56	.147	1.06
5.67	.10	94.33	.122	.96
6.00	.11	94.13	.100	.88
6.33	.01	93.93	.078	.76
6.67	.00	93.71	.060	.58
7.00	.00	93.54	.046	.45
7.33	.00	93.42	.035	.34
7.67	.00	93.32	.027	.26
8.00	.00	93.24	.021	.20
8.33	.00	93.19	.016	.15
8.67	.00	93.14	.012	.12
9.00	.00	93.11	.009	.09
9.33	.00	93.08	.007	.07
9.67	.00	93.06	.005	.05
10.00	.00	93.05	.004	.04
10.33	.00	93.04	.003	.03
10.67	.00	93.03	.002	.02
11.00	.00	93.02	.002	.02
11.33	.00	93.02	.001	.01
11.67	.00	93.01	.001	.01
12.00	.00	93.01	.001	.01
12.33	.00	93.01	.001	.01
12.67	.00	93.01	.000	.00

PEAK DISCHARGE = 1.763 CFS - PEAK OCCURS AT HOUR 2.17  
 MAXIMUM WATER SURFACE ELEVATION = 96.844  
 MAXIMUM STORAGE = .4734 AC-FT INCREMENTAL TIME= .033330HRS

PRINT HYD ID=13 CODE=20

HYDROGRAPH FROM AREA POND-C-OUT

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
.000	.0	3.333	1.6	6.666	.6	9.999	.0	13.332	.0
.667	.0	4.000	1.4	7.333	.3	10.666	.0	13.999	.0
1.333	.2	4.666	1.3	7.999	.2	11.332	.0		
2.000	1.7	5.333	1.1	8.666	.1	11.999	.0		
2.666	1.7	5.999	.9	9.332	.1	12.665	.0		

RUNOFF VOLUME = 1.58059 INCHES = .6381 ACRE-FEET  
 PEAK DISCHARGE RATE = 1.76 CFS AT 2.166 HOURS BASIN AREA = .0076 SQ. MI.

FINISH

NORMAL PROGRAM FINISH

END TIME (HR:MIN:SEC) = 13:22:13

# CITY OF ALBUQUERQUE



September 25, 2008

Steven K. Morrow, P.E.  
**Brasher & Lorenz Consulting Engineers**  
2201 San Pedro NE Bldg. 1 Ste. 1200  
Albuquerque, NM 87110

**Re: Grady West, 520 Airport Dr. NW,  
Approval of Permanent Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 01/27/2006 (K-10/D024)  
Certification dated 9/23/2008**

Based upon the information provided in your submittal received 9/23/2008, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Sincerely,

Albuquerque

NM 87103

Curtis A. Cherne, P.E.  
Senior Engineer-Hydrology, Planning Dept.  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk-Katrina Sigala  
File



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: GRADY WEST ZONE MAP/DRG. FILE # K10.124  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 231, TR A, UNIT 2, ATRISCO BUS PARK  
 CITY ADDRESS: 520 AIRPORT DR NW

ENGINEERING FIRM: BKASHER + LORENZ  
 ADDRESS: 2201 SAN PEDRO NE  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: D. LORENZ  
 PHONE: 888 6088  
 ZIP CODE: 87110

OWNER: GRADY WEST LLC  
 ADDRESS: PO BOX 30801  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: D. GRADY  
 PHONE: 889 8493  
 ZIP CODE: 87190

ARCHITECT: CLAUDIO VIGIL  
 ADDRESS: 1801 210 GRANDE NW  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: C. VIGIL  
 PHONE: 842.1113  
 ZIP CODE: 87104

SURVEYOR: ALDRICH LAND SURVEYING  
 ADDRESS: 4109 MONTGOMERY NE  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: TIM ALDRICH  
 PHONE: 884.1990  
 ZIP CODE: 87109

CONTRACTOR: GRADY WEST LLC  
 ADDRESS: PO BOX 30801  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: J. GRADY  
 PHONE: 884.8493  
 ZIP CODE: 87190

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

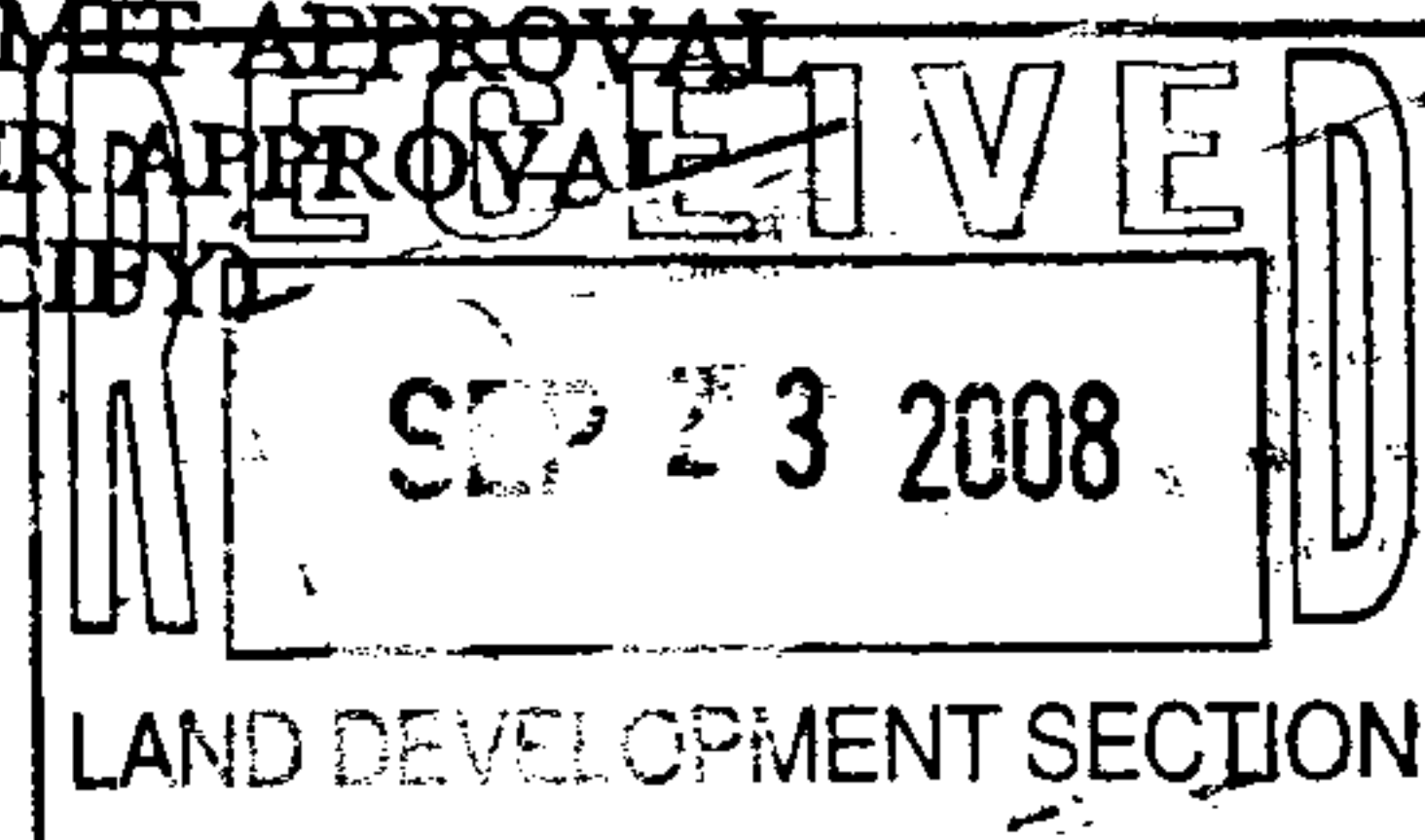
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SLA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES  
☒ NO  
☐ COPY PROVIDED

SUBMITTED BY: STEVEN K. MORROW



9.23.08

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



November 20, 2007

Dennis Lorenz, P.E.

**Brasher & Lorenz Consulting Engineers**  
2201 San Pedro NE Bldg. 1 Ste. 1200  
Albuquerque, NM 87110

**Re: Grady West, 520 Airport Dr. NW,  
Approval of Permanent Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 01/27/2006 (K-10/D024)  
Certification dated 11/19/2007**

Based upon the information provided in your submittal received 11/20/2007, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Sincerely,

Albuquerque

Timothy Sims  
Plan Checker-Hydrology, Planning Dept.  
Development and Building Services

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk-Katrina Sigala  
File



05558

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: GRADY WEST ZONE MAP/DRG. FILE # K10.D24  
 DRB#:        EPC#:        WORK ORDER#:       

LEGAL DESCRIPTION: LOT 2B1, TR A, UNIT 2, ATRISCO BUS PARK  
 CITY ADDRESS: 520 AIRPORT DR NW

ENGINEERING FIRM: BRAASHER + LORENZ  
 ADDRESS: 2201 SAN PEDRO NE  
 CITY, STATE: ALBU NM

CONTACT: D. LORENZ  
 PHONE: 888 6088  
 ZIP CODE: 87110

OWNER: GRADY WEST LLC  
 ADDRESS: PO BOX 30801  
 CITY, STATE: ALBU NM

CONTACT: D. GRADY  
 PHONE: 884 8493  
 ZIP CODE: 87190

ARCHITECT: CLAUDIO VIGIL  
 ADDRESS: 1801 120 GRANDE NW  
 CITY, STATE: ALBU NM

CONTACT: C. VIGIL  
 PHONE: 842.1113  
 ZIP CODE: 87104

SURVEYOR: ALDRICH LAND SURVEYING  
 ADDRESS: 4109 MONTGOMERY NE  
 CITY, STATE: ALBU NM

CONTACT: TIM ALDRICH  
 PHONE: 884.1990  
 ZIP CODE: 87109

CONTRACTOR: GRADY WEST LLC  
 ADDRESS: PO BOX 30801  
 CITY, STATE: ALBU NM

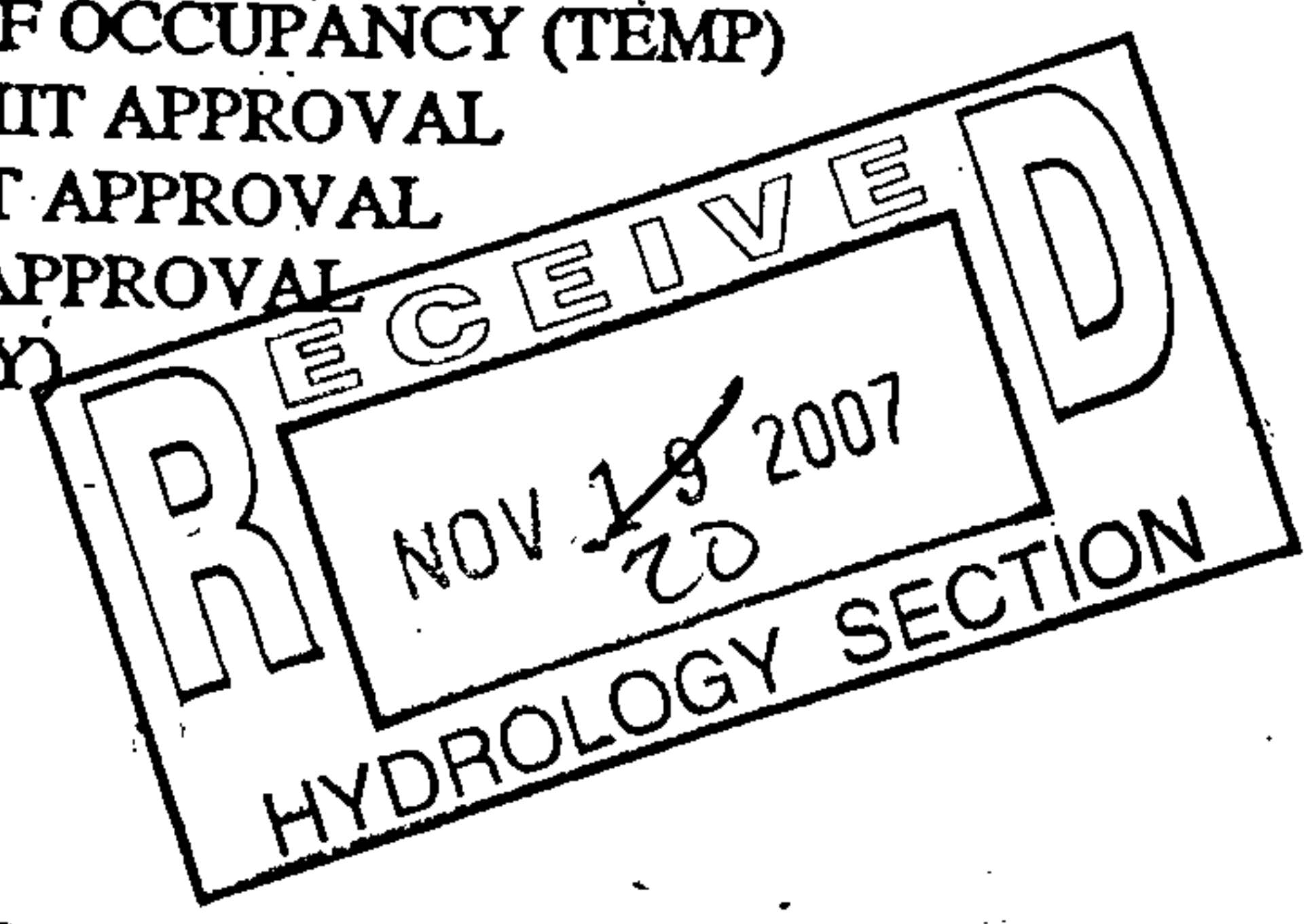
CONTACT: J. GRADY  
 PHONE: 884.8493  
 ZIP CODE: 87190

- TYPE OF SUBMITTAL:
- ☐ DRAINAGE REPORT
  - ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
  - ☐ DRAINAGE PLAN RESUBMITTAL
  - ☐ CONCEPTUAL G & D PLAN
  - ☐ GRADING PLAN
  - ☒ EROSION CONTROL PLAN
  - ☒ ENGINEER'S CERT (HYDROLOGY)
  - ☐ CLOMR/LOMR
  - ☐ TRAFFIC CIRCULATION LAYOUT
  - ☐ ENGINEER'S CERT (TCL)
  - ☐ ENGINEER'S CERT (DRB SITE PLAN)
  - ☐ OTHER

- CHECK TYPE OF APPROVAL SOUGHT:
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
  - ☐ PRELIMINARY PLAT APPROVAL
  - ☐ S. DEV. PLAN FOR SUB'D APPROVAL
  - ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
  - ☐ SECTOR PLAN APPROVAL
  - ☐ FINAL PLAT APPROVAL
  - ☐ FOUNDATION PERMIT APPROVAL
  - ☒ BUILDING PERMIT APPROVAL
  - ☒ CERTIFICATE OF OCCUPANCY (PERM)
  - ☐ CERTIFICATE OF OCCUPANCY (TEMP)
  - ☐ GRADING PERMIT APPROVAL
  - ☐ PAVING PERMIT APPROVAL
  - ☐ WORK ORDER APPROVAL
  - ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☒ NO  
☐ COPY PROVIDED

SUBMITTED BY: STEVEN K. MORRIS



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

ORIGINAL

EXHIBIT A  
TO SUBDIVISION IMPROVEMENT AGREEMENT  
DEVELOPMENT REVIEW BOARD  
REQUIRED INFRASTRUCTURE LISTING  
(LEGAL DESCRIPTION OF SUBDIVISION)

LOT 2B, TRACT A, ATRISCO BUSINESS PARK,  
UNIT 2

# 1000665

DRB Case No: .....  
DRC Project No.: .....  
Prelim. Plat Approved: N/A  
Prelim. Plat Expires: MA  
Site Plan Approved: 8-9-00  
Date Submitted: 8-9-00

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIZE	IMPROVEMENT	LOCATION	FROM	TO
<b>A. WATER (1)</b>				
10"	Waterline	20' waterline easement	Airport Rd	450' east

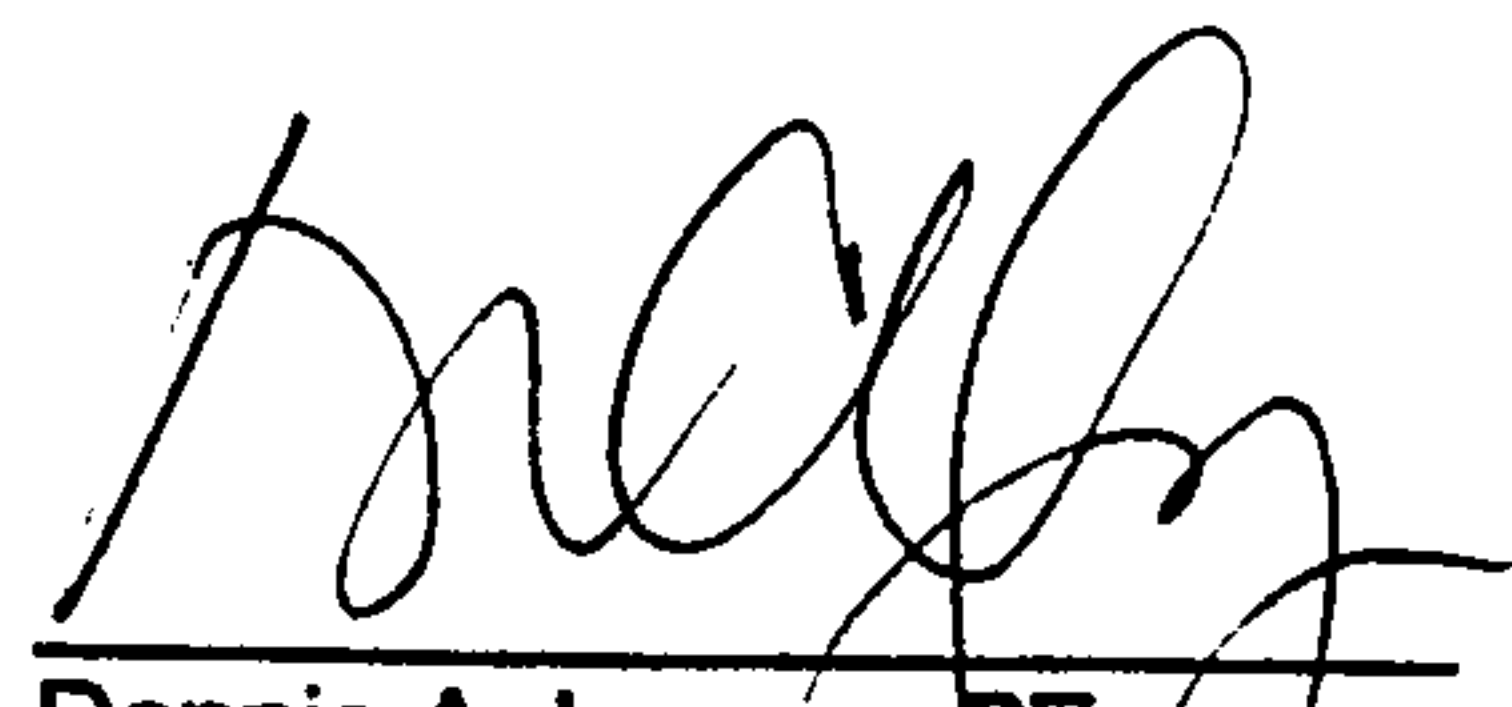
**B. STORM DRAINAGE**

 Engineer's Certification of Grading and Drainage required prior to release of Financial Guaranty  
~~Letter of Map Revision (LOMR) required prior to release of Financial Guaranty~~

Notes:

- (1) All waterlines include valves, fittings, services & hydrants per DRC

Agent/Owner:  
Firm:

  
Dennis A. Lorenz, PE  
Brasher & Lorenz, Inc.

K10-D24

## DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Construction Completion deadline date 8-09-2002

*Janet S.* 8/9/00  
DRB Chair

*Ann Calogre* 8-9-00  
City Engineer

*R. D. Dink* 8-09-00  
Transportation Development

*Robert Green* 8/9/00 N/A  
Utility Development AMAFCA

*J. S. Sayers* 8/9/00  
Park & Recreation

### DRC REVISIONS

REVISIONS	DATE	DRC CHAIR	USER DEPT	AGENT/OWNER
1	4/30/02	<i>K. B. S.</i>	<i>J. S. Sayers</i>	<i>[Signature]</i>
2				



## EASEMENT AGREEMENT

This agreement is entered into this 8<sup>th</sup> day of June, 2001, between Graphic Plastic Products, Inc., a Delaware corporation ("Grantor"), and Grady West, LLC, a New Mexico Limited Liability Company ("Lessee").

Whereas Grantor is the owner of certain real estate located at 7001 Bluewater Road NW, Albuquerque, New Mexico; and

Whereas Grantee desires the grant of an easement as described on Exhibit 1, Permanent Easement; and

Whereas Grantor is willing to grant the desired easement based on the terms and conditions herein, IT IS THEREFORE MUTUALLY AGREED between the parties as follows:

1. Grant of Easement Grantor will execute and deliver the PERMANENT EASEMENT in substantially the form attached hereto as Exhibit 1.
2. Consideration In consideration of the grant of the easement, Grantee agrees to the following:
  - a. Grantee will make general improvements to the property of Grantor as set out in Exhibit 2, attached hereto, improvements.
  - b. Grantee will provide at Grantee's expense, all maintenance, landscaping, upkeep of any kind required to the total ponding easement for a period of five years, after the grant of this easement. If Grantor makes demand on Grantee for care, upkeep, cleaning or landscaping of the easement or ponding area, Grantee shall complete the requested maintenance or upkeep within 15 days. After the expiration of the five year period, upkeep will be shared on a square footage pro rata basis between Grantor and Grantee's benefitted real estate.



Mary Herrera

Bern. Co. AGRE

R 17.00

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Page: 1 of 6

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Page: 2 of 6  
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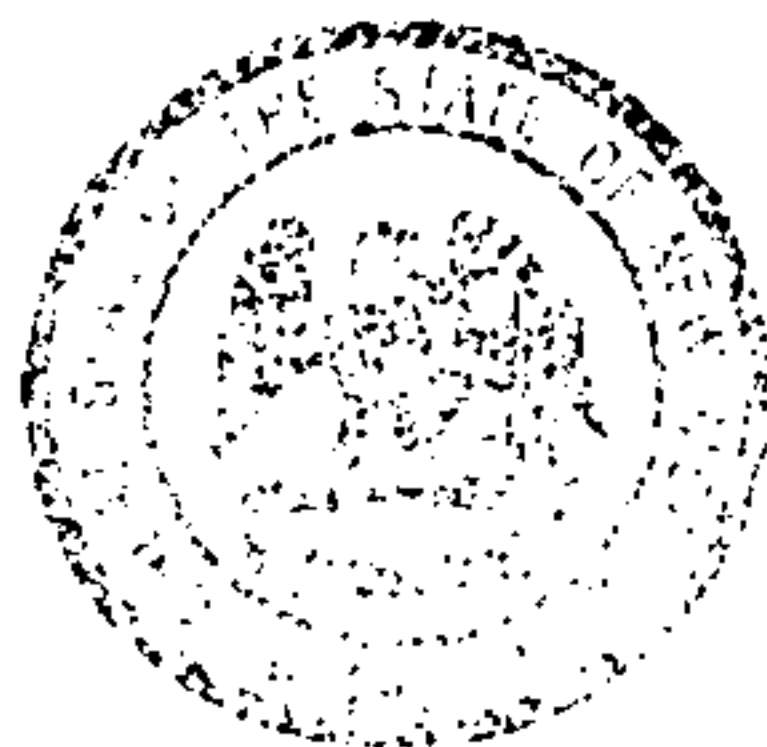
ACKNOWLEDGMENT

STATE OF NEW MEXICO    )  
  ) SS.  
COUNTY OF BERNALILLO    )

This instrument was acknowledged before me on June 8, 2001, by Don W. Grady.

Matthew Chavez  
NOTARY PUBLIC

MY COMMISSION EXPIRES: 12-18-01



OFFICIAL SEAL  
MATTHEW CHAVEZ  
NOTARY PUBLIC - STATE OF NEW MEXICO  
Notary Public Filed with Secretary of State  
My Commission Expires 12-18-01



Mary Herrera

Bern. Co. AGRE

R 17.00

2001067525

5518538

Page: 3 of 6

06/12/2001 01:19P

Bk-A20 Pg-5918

# PERMANENT EASEMENT

Graphic Plastic Products Inc.,  
Grant of Permanent Easement between A Delaware Corporation  
("Grantor"), owner of Lot numbered Two-A (2-A), Tract A, Unit 2, ATRISCO BUSINESS PARK, an  
Addition to the City of Albuquerque, New Mexico, filed October 27, 1993, in Volume 93-C, folio 308,  
records of

Grady West, LLC  
Bernalillo County, New Mexico, and A New Mexico Limited Liability Company  
("Grantee"), owner of Lot numbered Two-B (2-B), Tract A, Unit 2, ATRISCO BUSINESS PARK, an  
Addition to the City of Albuquerque, New Mexico, filed October 27, 1993, in Volume 93-C, folio 308,  
records of

Grady West, LLC  
Bernalillo County, New Mexico, and A New Mexico Limited Liability Company  
("Grantee"), owner of Lot numbered One (1), Tract A, Unit 2, ATRISCO BUSINESS PARK, an  
Addition to the City of Albuquerque, New Mexico, filed September 12, 1973, in Volume D-5, folio  
181, records of Bernalillo County, New Mexico.

Grantor grants to Grantees an exclusive, permanent easement ("Easement") for the purpose of  
surface drainage in, over, upon and across the real property described above and as shown on  
"Exhibit A" attached hereto ("Property") for the construction, installation and maintenance of  
drainage facilities, together with the right to remove trees, bushes, undergrowth and any other  
obstacles upon the Property if the Grantees determine they interfere with the appropriate use of this  
Easement.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that  
Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will  
forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the property for  
the benefit of the Grantees and their successors and assigns until terminated.

Grantor: Graphic Plastic Products Inc.,  
A Delaware Corporation

By

Joe Scavella, President

STATE OF NEW MEXICO )

SS

COUNTY OF BERNALILLO )

This instrument was acknowledged before me on this 8 day of

June, 2000, by Joe Scavella, as President of Graphic Plastics  
Products Inc., A Delaware Corporation

Matthew Chavez  
Notary Public

My Commission Expires: 12-18-01



OFFICIAL SEAL  
MATTHEW CHAVEZ  
NOTARY PUBLIC, STATE OF NEW MEXICO  
My Commission Expires: 12-18-01

EXHIBIT 1

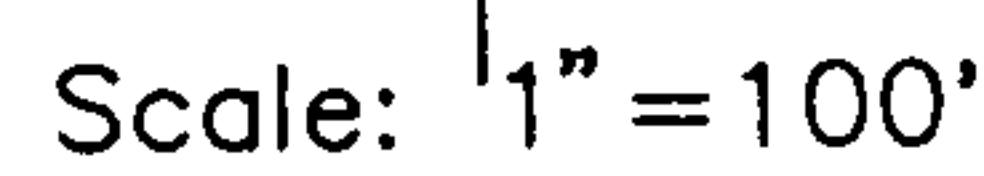
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Page: 4 of 6  
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Bk-A20 Pg-5918



## Z



EASEMENT DESCRIPTION

A Private Drainage Easement within Lot numbered Two-A (2-A), Tract lettered "A", ATRISCO BUSINESS PARK UNIT 2, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 27, 1993, in Volume 93C, folio 308, and being more particularly described as follows:

Private Drainage Easement for the benefit of Lot numbered One (1), Tract lettered "A", ATRISCO BUSINESS PARK UNIT 2, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 12, 1973, in Book D5, Folio 181; and for the benefit of Lot numbered Two-B (2-B), Tract lettered "A", ATRISCO BUSINESS PARK UNIT 2, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 27, 1993, in Volume 93C, folio 308, and being more particularly described as follows:

as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 27, 1993, in Volume 93C, folio 308; being the Easterly Forty feet (Ely. 40') of the Westerly Sixty-five feet (Wly. 65') of Lot 2-A, and the Northerly Forty-Five feet (Nly. 45') of the Easterly Eighty feet (Ely. 80') of the Westerly One Hundred Forty-Five feet (Wly. 145') of Lot 2-A, as shown hereon.



Drawn By:	File No:	Date:
TDJ	ED90200	9/11/00
Checked By:	Drawing No:	Revision:
WFJ	D:\ACADDWGS\ED90200.	0



R 17.00

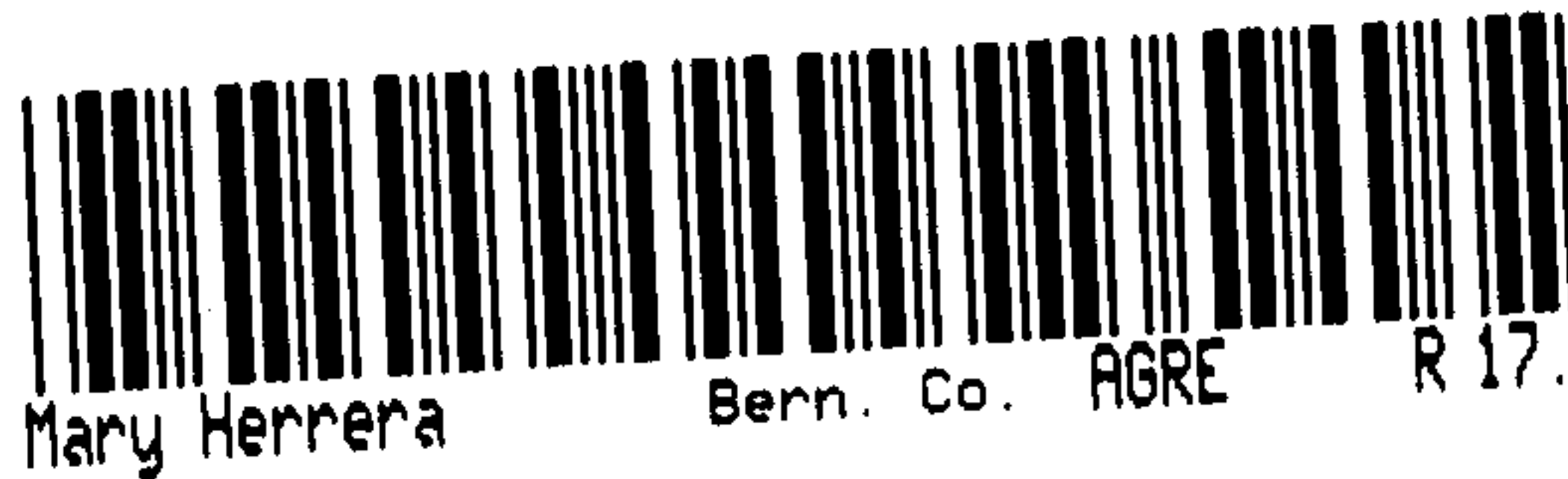
5518538

Page: 5 of 6

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Bk-A20 Pg-5918





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5518538  
Page: 6 of 6  
06/12/2001 01:19P  
Bk-A20 Pg-5918

Grady Family improvements on lot 2-B which will benefit Joe Scavella's lot 2-A:

1) Engineering:

- a. Grady is creating a Grading and Drainage Plan for for both lots 2-B and the west end of lot 2-B (Cost \$4,250).
- b. Grady will provide a FEMA Map Revision which will remove both parcels from the FEMA flood plain. (Cost \$6,500)

2.) Dirt Work:

- a. Excavate and import dirt so as to create the proper elevations, drainage levels and ponding for both lots 2-A and 2-B (Cost \$26,529).
- b. with the combination of the Engineering and the Dirt Work, the vacant land west of the present Graphic Plastic's building will become a usable, buildable lot.

3.) Asphalt Paving of Access Easements:

- a. Grady will remove present asphalt and completely rebuild, including a 4" gravel base and 3" of new paving, the 500' length of roadway between lots 2-A and 2-B. A new paved driveway will be provided to one of Graphic Plastic's bays (other bay driveways will remain dirt, but will be graded and improved).
- b. Provide a 2" asphalt overlay on 255' of roadway on common easement on east side of lot 2-A. (approximate cost of these to items \$25,000)

4.) Landscape:

Grady will design, provide and plant landscape materials within the the 65' common pond easement area at the west end of lot 2-A. (cost approximately \$7,000).

5.) Maintenance:

Grady will agree to maintain all asphalt and landscape areas contained in our mutual easements for a period of five years. After that time, maintenance cost will be shared on a proportionate basis of the building square footage on lots 2-A and 2-B.

6.) Access :

Grady will build new curb cut and drive pad on Airport Road between lots 2-A and 2-B. This will now provide Graphic Plastic's an access from Airport which they have never had before.



Fred J. Aguirre

04/24/02 12:39 PM

To: Carlos A. Montoya/PWD/CABQ@COA

cc:

Subject: Grady Development SIA Extension, DRB 1000665, Project No. 64881,  
Drainage File K10-D24

----- Forwarded by Fred J. Aguirre/PWD/CABQ on 04/24/02 12:39 PM -----



"Dennis Lorenz"

<dennisl@brasherlore  
nz.com>

04/24/02 12:31 PM

To: "Fred Aguirre" <Faguirre@cabq.gov>

cc:

Subject: Grady Development SIA Extension, DRB 1000665, Project No. 64881,  
Drainage File K10-D24

Fred:

As we discussed earlier today the existing SIA Extension for the subject project will expire on July 1, 2002. The construction deadline is May 1, 2002. The project consists of the development of the property into an office warehouse complex with 3 buildings. A mapped floodplain encumbers a portion of the property. The mapped floodplain is a localized playa with a drainage basin area of less than 60-acres. Other developments within the basin are implementing on-site detention/retention ponding, effectively reducing the mapped floodplain on a parcel-by-parcel basis. The subject site is one of the last remaining undeveloped parcels within the drainage basin. The drainage plan recommends relocation of the floodplain to on-site detention ponds constructed along Airport Drive, that drain to an existing 36-inch public storm drain.

To facilitate site plan approval for building permit, an Infrastructure Listing was approved (see attachment) requiring construction of a 10-inch waterline and a LOMR prior to Financial Guaranty release. Construction of the waterline (Project 64881) is complete and Construction Management should approve the closeout package this month. The site improvements are nearly complete, with landscaping being the only outstanding item preventing the submittal of the Engineer's Certification and LOMR application.

As shown by the drainage plan, the project is phased, with Phase 1 located outside of the mapped floodplain. The floodplain has been relocated to the constructed ponds located along the west property frontage with Airport Drive.

In light of the above circumstances, would it be appropriate to amend the Infrastructure Listing to remove the LOMR requirement, making LOMR a condition of building permit or CO for the Phase 2? Since Phase 2 is encumbered by the floodplain the Owner is motivated to obtain LOMR approval without financial guarantees.

I am available to meet with you and Carlos if you feel it would help. Please let me know what you think.

Dennis Lorenz



99553.il.doc

**EXHIBIT A  
TO SUBDIVISION IMPROVEMENT AGREEMENT  
DEVELOPMENT REVIEW BOARD  
REQUIRED INFRASTRUCTURE LISTING  
(LEGAL DESCRIPTION OF SUBDIVISION)**

**LOT 2B, TRACT A, ATRISCO BUSINESS PARK,  
UNIT 2**

DRB Case No: 1000665

DRC Project No.: 64881

Prelim. Plat Approved: NA

Prelim. Plat Expires: NA

Site Plan Approved: 8-9-2000

Date Submitted: 8-9-2000

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIZE	IMPROVEMENT	LOCATION	FROM	TO
<b>A. WATER (1)</b>				
10"	Waterline	20' waterline easement	Airport Rd	450' east

**B. STORM DRAINAGE**

Engineer's Certification of Grading and Drainage required prior to release of Financial Guaranty  
Letter of Map Revision (LOMR) required prior to release of Financial Guaranty

Notes:

- (1) All waterlines include valves, fittings, services & hydrants per DRC

Agent/Owner: \_\_\_\_\_  
Firm: Dennis A. Lorenz, PE  
Brasher & Lorenz, Inc.

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

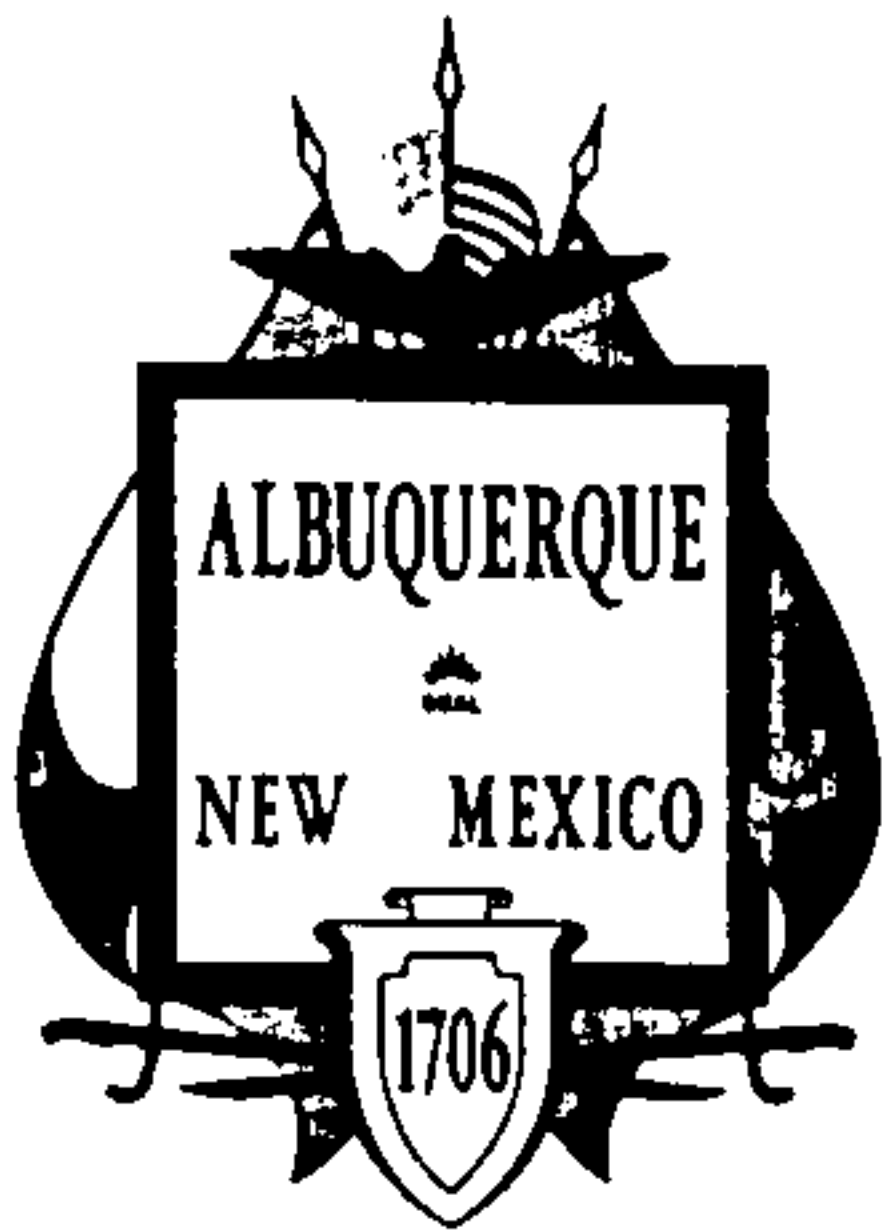
_____ DRB Chair	_____ City Engineer	_____ Transportation Development
_____ Utility Development	_____ AMAFCA	_____ Park & Recreation

DRC REVISIONS

REVISIONS	DATE	DRC CHAIR	USER DEPT	AGENT/OWNER
1				
2				







# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 21, 1993

Dennis Lorenz  
Brasher Engineering  
11930 Menaul Blvd. NE #113  
Albuquerque, NM 87112

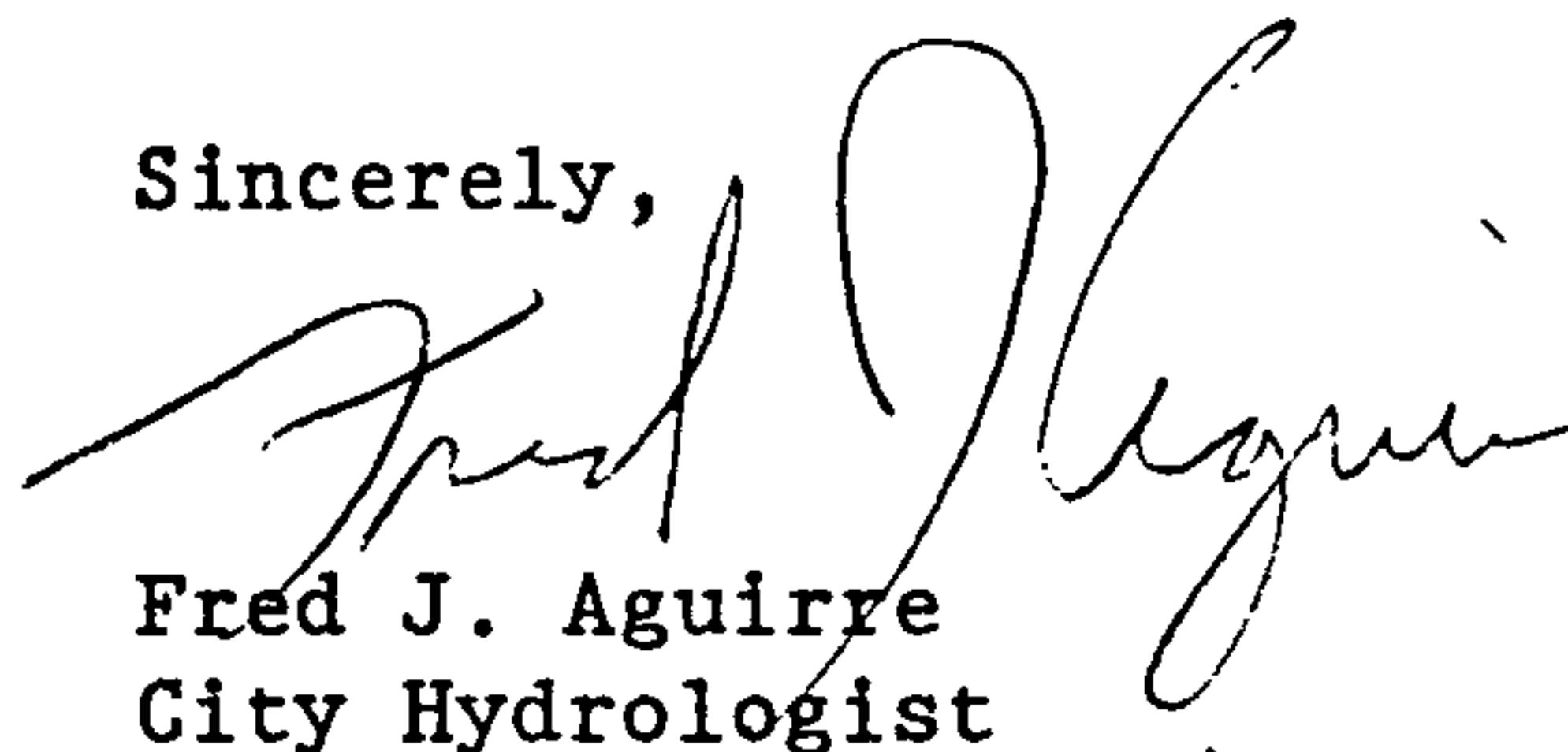
RE: DRAINAGE PLAN FOR BLUEWATER PARK (K10-D24) RECEIVED 10/6/93  
FOR SITE PLAN APPROVAL, ENGINEER'S STAMP DATED 10/4/93.

Dear Mr. Lorenz:

Approval of the conceptual grading and drainage plan will require engineering documentation that the floodplain impacting this development will be eliminated with the construction of the upstream diversion.

In addition, the site plan approval you were requesting was either administratively approved or was not required by the Planning Department, hence, the subject conceptual plan is not required.

Sincerely,



Fred J. Aguirre  
City Hydrologist

FJA/d1/WPHYD/8059

xc: ~~File~~

PUBLIC WORKS DEPARTMENT



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Grady 0377  
884  
For

February 15, 2001

Dennis Lorenz  
Brasher & Lorenz, Inc.  
2201 San Pedro NE Bldg. 1, Suite 220  
Albuquerque New Mexico 87110

**RE: Grading and Drainage Plan for Grady Development (K10-D24) Dated January 22, 2001**

Dear Mr. Lorenz:

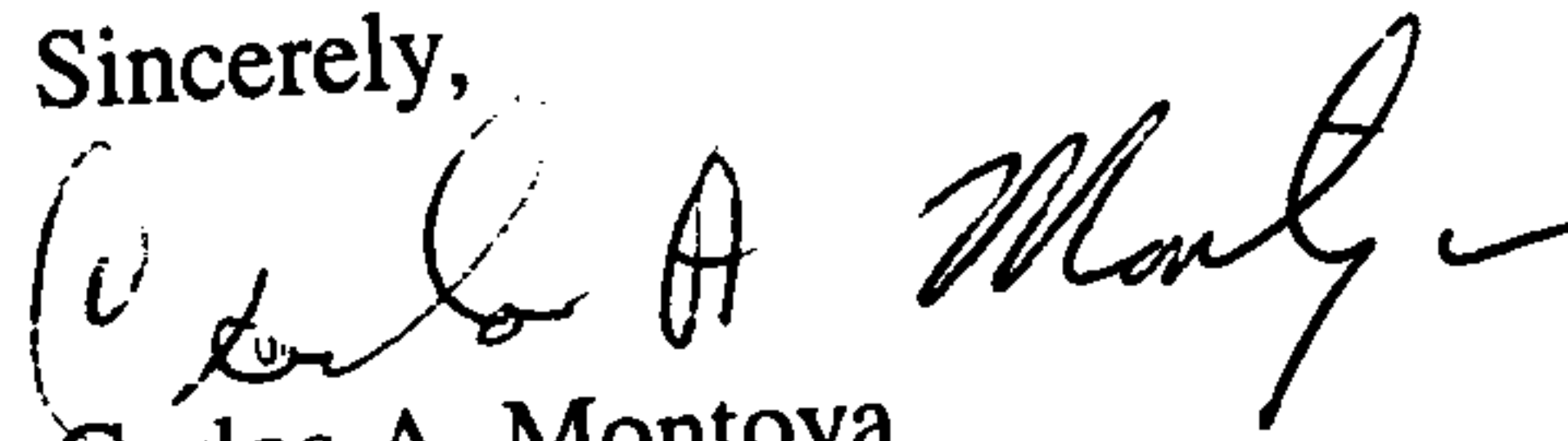
I have reviewed the referenced plan received January 19, 2001 and forward the following comments.

- ✓ 1. Due to the proposed revision of the floodplain a CLOMR and LOMR are needed from FEMA. An approved CLOMR will be required prior to Building Permit release.
- ✓ 2. The drainage basin to the north has to be ponded. The property owners north of your property need to agree to this temporary pond until they develop. A private facility drainage covenant has to be submitted for the temporary ponds. The north drainage appears to extend to Los Volcanes. Road.
- ✓ 3. The owner to the east has to agree in writing to the division of the floodplain at the property line.
- ✓ 4. Since the properties to the north are going to drain through the proposed site and the existing site the owner needs to submit easements and maintenance agreements.
- ✓ 5. It appears that you are using lot one's allowable capacity for the proposed development. This means that lot one could not develop. This does not appear appropriate since you could sell this lot.
- ✓ 6. Lot 2A should use a detention pond and release at the allowable rate. Please submit an approval from this property owner to grade on his property.

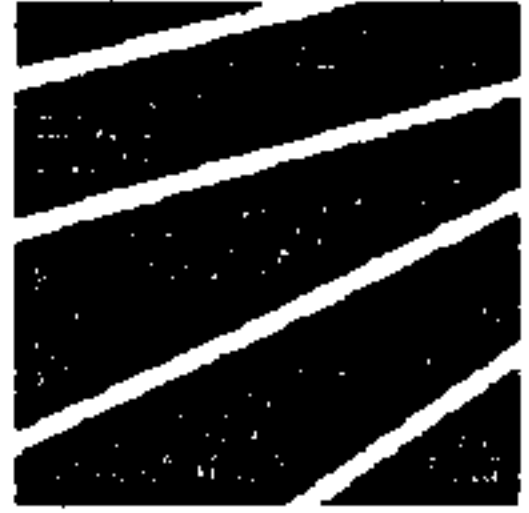
7. The design drainage report uses a 6 inch storm drain to the back of inlet. Sheet 3 of the drawings uses a 12 inch storm drain to the back of the catch basin. Please correct this inconsistency.

If you have any questions please call me a 924-3982.

Sincerely,

A handwritten signature in black ink, appearing to read 'Carlos A. Montoya', with a stylized flourish at the end.

Carlos A. Montoya  
City/County Floodplain Administrator



**BRASHER & LORENZ, INC.**  
**CONSULTING ENGINEERS**

2201 San Pedro NE, Building 1, Suite 220 • Albuquerque, New Mexico 87110 • Phone (505) 888-6088 Fax (505) 888-6188

March 8, 2001

Carlos Montoya, PE  
Public Works Department/Hydrology  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87103

**SUBJECT: GRADING & DRAINAGE PLAN FOR GRADY DEVELOPMENT  
K-10/D24**

Dear Carlos:

Thank you for the opportunity to meet and discuss the comments listed in your February 15, 2001 letter. As a result we believe we can meet your requirements for Plan approval, which will allow for SIA, Site Development Plan and Building Permit approvals. Per our meeting, your comments are addressed as follows:

- ✓ 1. We have made an agreement with City hydrology and DRB that commits the developer to obtain a LOMR prior to release of Financial Guaranty. This is documented by the attached Infrastructure Listing, and confirmed by Fred Aguirre, City Engineer at the 2-27-01 meeting.
- ✓ 2. An interim retention pond is to be constructed on Lot 1 to the north. Complete calculations and details are provided in the report. A copy of the executed Agreement and Covenant is provided for your review and approval.
- ✓ 3. We have researched the Grading and Drainage Plan for Elastimold, the property located to the east that shares the floodplain with our site, to determine how the floodplain was managed for their development. The Plan prepared by Jeff Mortensen & Assoc analyzed the floodplain on the Elastimold site without considering the off-site portions of the floodplain. Per their plan, the site provides 1,122,605 cf of storage, including additional storage constructed to retain addition flows due to development. Per our calculations (attached), the contributing basin will only require 449,760 cf under fully developed conditions. It appears the FEMA floodplain may be incorrect. Considering this, I don't feel that altering that portion of the floodplain on the Grady property will have an effect on the Elastimold property.
- ✓ 4. Copies of the executed Agreements and Easements for the on-site ponding system improvements are provided for your review and approval.
- ✓ 5. The report conceptually designs the detention pond for Lot 1. The Lot 1 pond drains to the project site (Lot 2B) at a controlled rate not to exceed that allowed by the Masterplan. The Lot 2B ponding system, which consists of buried storage, routes Lot 1 flows along with Lot 2B flows to the outfall point at a rate controlled by a sump pump. The pump discharge will be limited to 1.34 cfs, the maximum allowed for Lots 1 and 2B combined.
- ✓ 6. Our first proposal recommended construction of a detention pond with improved outlet works on Lot 2A. City Hydrology approved that plan, however, we have been unable to obtain written approval from the property owner to perform the required grading and construction. As a result we have abandoned this recommendation and submitted the revised Plan you are now reviewing.
- ✓ 7. The report recommends a 6-inch outlet pipe from Pond "B" to limit the discharge to the required 1.32 cfs. Since we are using a sump pump to drain the underground CMP storage, discharge will be limited by the pump not the size of the outlet pipe. Therefore, for maintenance considerations, we are recommending a 12-inch outlet pipe from the CMP to the existing drop inlet.
8. I've enclosed a project Phasing Plan that outlines Phase 1 construction and temporary erosion

control measures necessary during interim conditions.

We are simultaneously submitting the SIA, Agreements and Covenants, and Drainage Easements to Arlene Portillo for processing. Upon Grading and Drainage Plan approval the documents will be recorded which will allow for Building Permit approval.

Thank you for your attention on this matter. If you have any questions, please call.

Sincerely,

**BRASHER & LORENZ, INC.**

  
Dennis A. Lorenz, PE  
Principal

/dl/99533  
encl





**BRASHER & LORENZ**  
CONSULTING ENGINEERS

2201 San Pedro NE Building 1 Suite 220  
Albuquerque, New Mexico 87110  
Ph: 505-888-6088 Fax: 505-888-6188

PROJECT GRADY  
DATE 3-8-01

PAGE 1

## ELASTIMOUS POND CAPACITY

### ① HYDROLOGY

$$P_{360} = 2.20''$$

$$P_{144} = 3.67''$$

$$\text{BASIN AREA} = 40.5 \text{ AC} \pm$$

LAND TREATMENT

ASSUME WORST CASE:

$$A_a = 0\%$$

$$A_b = 5$$

$$A_c = 10$$

$$A_d = 85$$

$$E_w = 1.81$$

$$V_{360} = 1.81 (40.5) / 12$$
$$= 6.108 \text{ AF}$$

$$V_{1440} = 6.108 + 0.85 (40.5) (3.67 - 2.20) / 12$$
$$= 10.3251 \text{ AF}$$
$$= \underline{\underline{449,760 \text{ CF}}}$$

### ② POND CAPACITY

PER GTS. FOR ELASTIMOUS BY JWA 3-3-95  
+ CERT 3-28-96:

$$\text{VOL}_{1440} (\text{DEV SITE} + \text{FHZ}) = \underline{\underline{1,122,605 \text{ CF}}}$$

THIS IMPLIES EXCESS STORAGE IS AVAILABLE  
ON ELASTIMOUS SITE - AM - FIRM MAY  
BE INCORRECT.









# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 5, 2001

Dennis Lorenz  
Brasher & Lorenz, Inc.  
2201 San Pedro NE Bldg.1, Suite 220  
Albuquerque New Mexico 87110

**RE: Grading and Drainage Plan for Grady Development 520 Airport Road NW Phase I  
(K10-D24) Dated March 8, 2001**

Dear Mr. Lorenz:

The referenced Grading and Drainage Plan received March 8, 2001 is approved for site plan for building permit. This approval is for phase I, and the grading of phase II. Please resubmit the drainage plan for building permit phase II building construction.

The plan is also approved for an SO-19 permit for construction within the city right-of-way. Please submit another print to Hydrology because I had to send your submittal to Pam Lujan at Permits for the SO-19.

Engineer's Certification for completion of final site grading and drainage per the plan, and sign-off by the City's field inspector for the SO-19, is required for Hydrology final approval and Certificate of Occupancy.

The LOMR approval by FEMA will be required prior to the release of financial guarantees.

If you have any questions please call me a 924-3982.

Sincerely,

Carlos A. Montoya  
City/County Floodplain Administrator

C: Pam Lujan, Permits w/attached plan



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 31, 2001

Dennis Lorenz  
Brasher & Lorenz, Inc.  
2201 San Pedro NE Bldg. 1, Suite 220  
Albuquerque, New Mexico 87110

**RE: Drainage Plan for Grady Development 520 Airport Road NW Phase I (K10-D24)  
Dated June 20, 2001**

Dear Mr. Lorenz:

The referenced Grading and Drainage Plan received June 21, 2001 is approved for building permit. This approval is for phase I, and the grading of phase II. Please resubmit the drainage plan for building permit phase II building construction.

The plan is also approved for a SO-19 permit for construction within the city right-of-way.

Engineer's Certification for completion of final site grading and drainage per the plan, and sign-off by the City's field inspector for the SO-19, is required for Hydrology final approval and Certificate of Occupancy.

The LOMR approval by FEMA will be required prior to the release of financial guarantees.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya  
City Floodplain Administrator

C: Pam Lujan, Excavation Permits  
Matt Cline, Storm Drainage Inspector w/attached plan



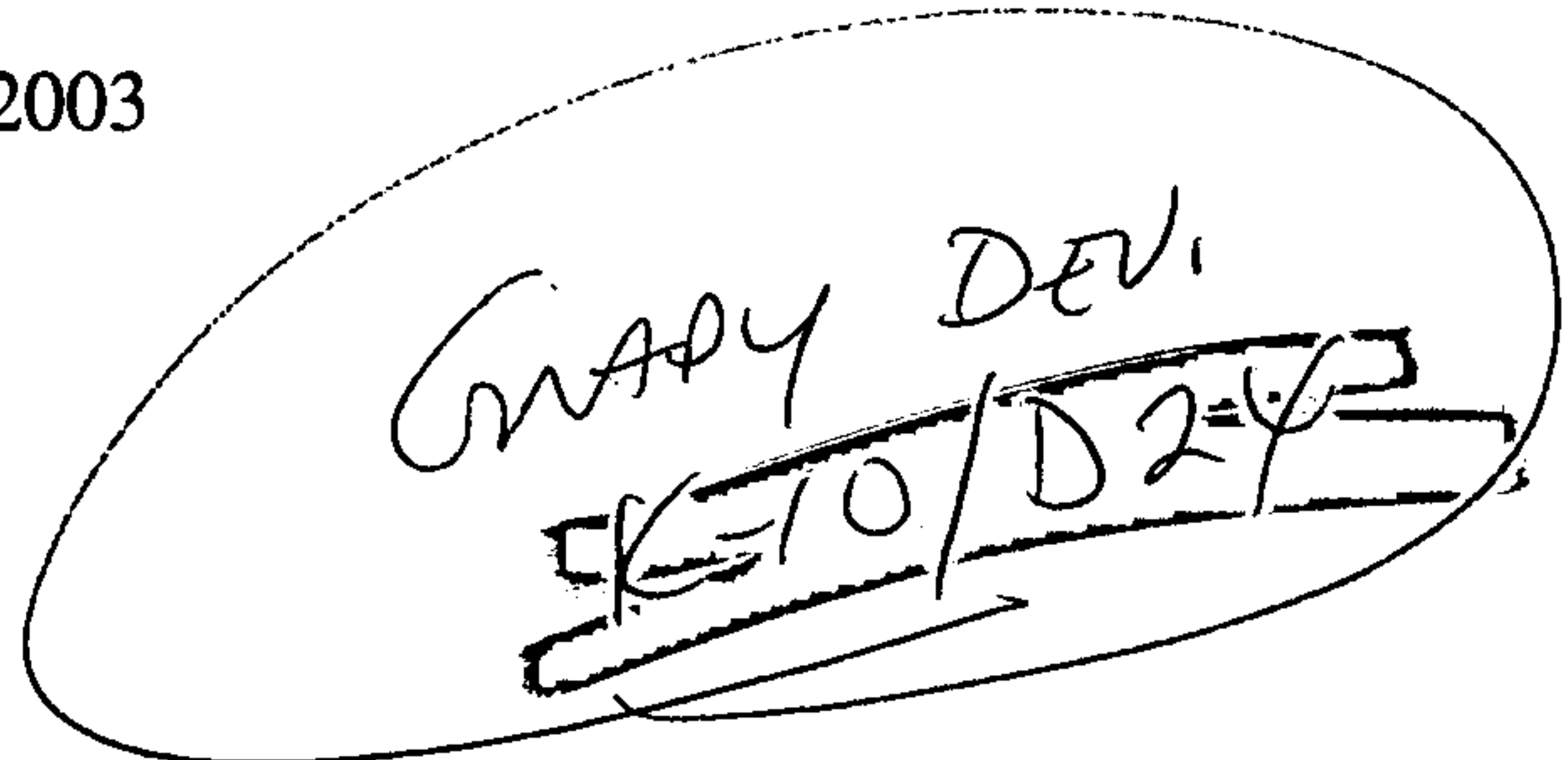


# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 7, 2003

Joseph A. Martinenza  
PBS&J  
12101 Indian Creek Court  
Beltsville, Maryland 20705



**RE: Request for a Letter of Map Revision for Lots 2A, 2B, Tract A, Unit 2, Atrisco Business Park**

**City of Albuquerque, New Mexico, Community No. 350002, FIRM Panel 35001C0329D Effective Date September 20, 1996**

Dear Mr. Martinenza,

The purpose of this submittal is to convey the documents in order to request a Letter of Map Revision based on existing storm drain and detention pond to revise the 100-year floodplain. Enclosed with this letter are new contour maps, hydraulic analysis, drainage plan, and a check in the amount of \$6,000.00.

As the City Floodplain Administrator, I have reviewed the response provided with this submittal. Our Community would greatly appreciate your prompt response and approval for this Letter of Map Revision.

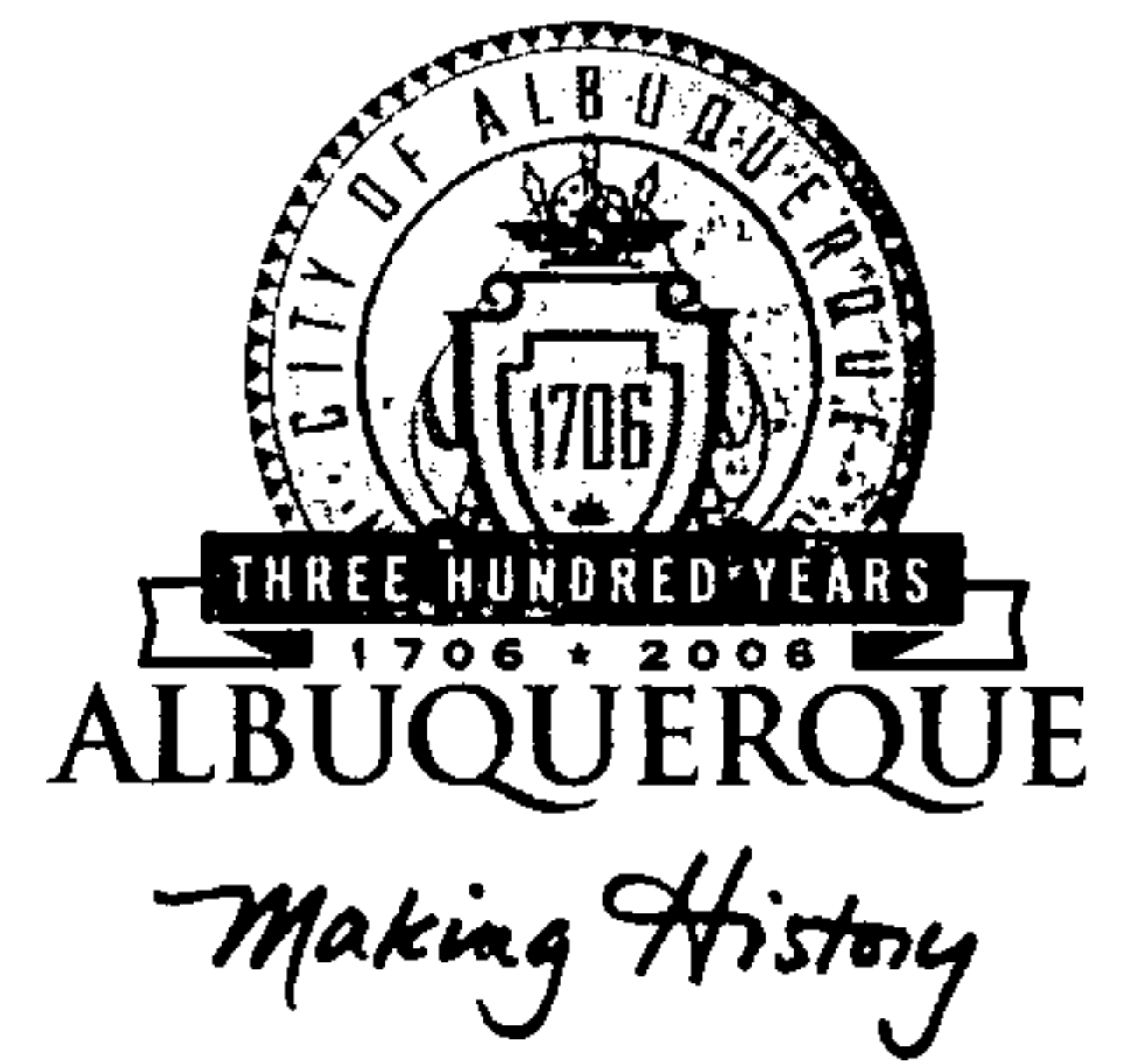
If you have any questions, you can contact me at (505) 924-3982.

Sincerely,

Carlos A. Montoya  
City Floodplain Administrator

C: Bill Blanton, Federal Emergency Management Agency Headquarters  
Jack Quarles, FEMA Region VI  
Dennis A. Lorenz, Brasher & Lorenz, Inc.  
Lynn Mazur, AMAFCA  
Susan Calongne, Bernalillo County Floodplain Administrator

# CITY OF ALBUQUERQUE



February 28, 2006

Dennis A. Lorenz, P.E.  
Brasher & Lorenz  
2201 San Pedro NE – Building 1, Suite 1200  
Albuquerque, NM 87110

**Re: Grady West, 520 Airport Dr. NW-Grading & Drainage Plan  
Engineer's Stamp dated 1-27-06 (K10-D24)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal dated 2-1-06, the above referenced plan is approved as amended for Building Permit. This is the plan that must be certified per the DPM checklist prior to release of the Certificate of Occupancy.

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.  
Engineering Associate, Hydrology,  
Development and Building Services,  
Planning Department

cc: file

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

August 28, 2007

Claudio Antonio Vigil, Registered Architect  
1801 Rio Grande NW  
Albuquerque, NM 87104

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Commercial West Center, Bldg 3, [K-10 / D24]  
520 Airport Road NW  
Architect's Stamp Dated 08/24/07

Dear Mr. Vigil:

The TCL / Letter of Certification submitted on August 27, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Commercial West Center, Building Three  
DRB #: 1000665 EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #: K-10/0024  
WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Atrisco Business Park, Lot 2B, Tract A, Unit 2  
CITY ADDRESS: 520 Airport Road NW

ENGINEERING FIRM: Brasher & Lorenz  
ADDRESS: 2201 San Pedro Dr. NE  
CITY, STATE: Albuquerque, NM

CONTACT: Claudio Vigil  
PHONE: 505.888.6088  
ZIP CODE: 87110

OWNER: Grady West L.L.C.  
ADDRESS: P.O. Box 30801  
CITY, STATE: Albuquerque, NM

CONTACT: Don Grady  
PHONE: 884-8493  
ZIP CODE: 87190

ARCHITECT: Claudio Vigil Architects  
ADDRESS: 1801 Rio Grande Blvd NW  
CITY, STATE: Albuquerque, NM

CONTACT: Claudio Vigil  
PHONE: 505.842.1113  
ZIP CODE: 87104

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

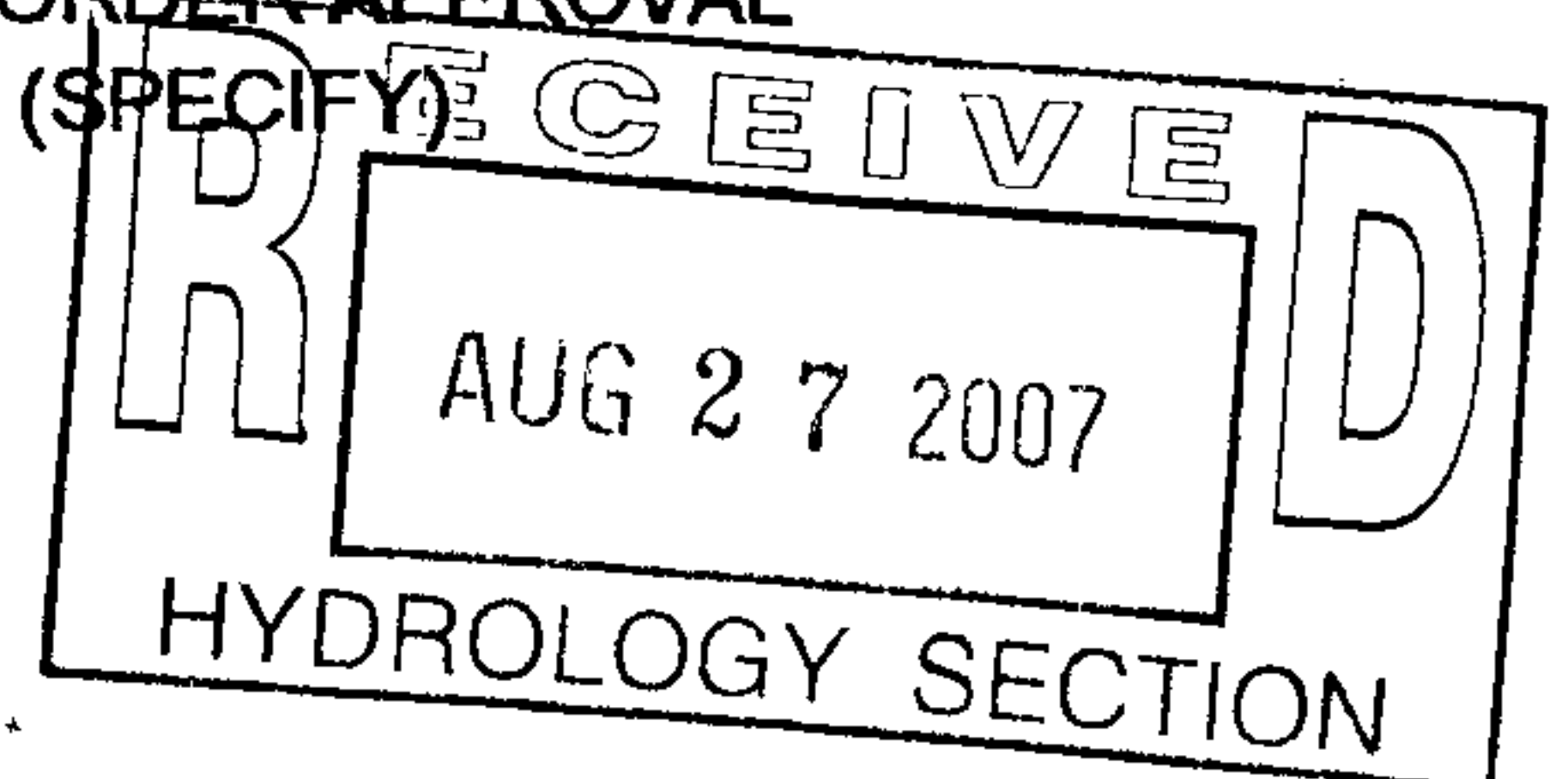
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 8/24/07 BY: R. A. Alb

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.





August 24, 2007

Traffic Engineer  
Development and Building Services  
600 2nd. St. N.W  
Albuquerque, New Mexico

City  
Copy

RE: TRAFFIC CERTIFICATION  
Commercial West Center, Building Three  
520 Airport Road NW

To whom it may concern:

I, Claudio Vigil, NM Registered Architect 1236, of the firm Claudio Vigil Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of DRB approved site plan and permit set. The record information documented and edited onto the approved DRB Site Plan has been obtained by Ed Avila of the firm Claudio Vigil Architects. I further certify that I have personally visited the project site on August 22, 2007 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

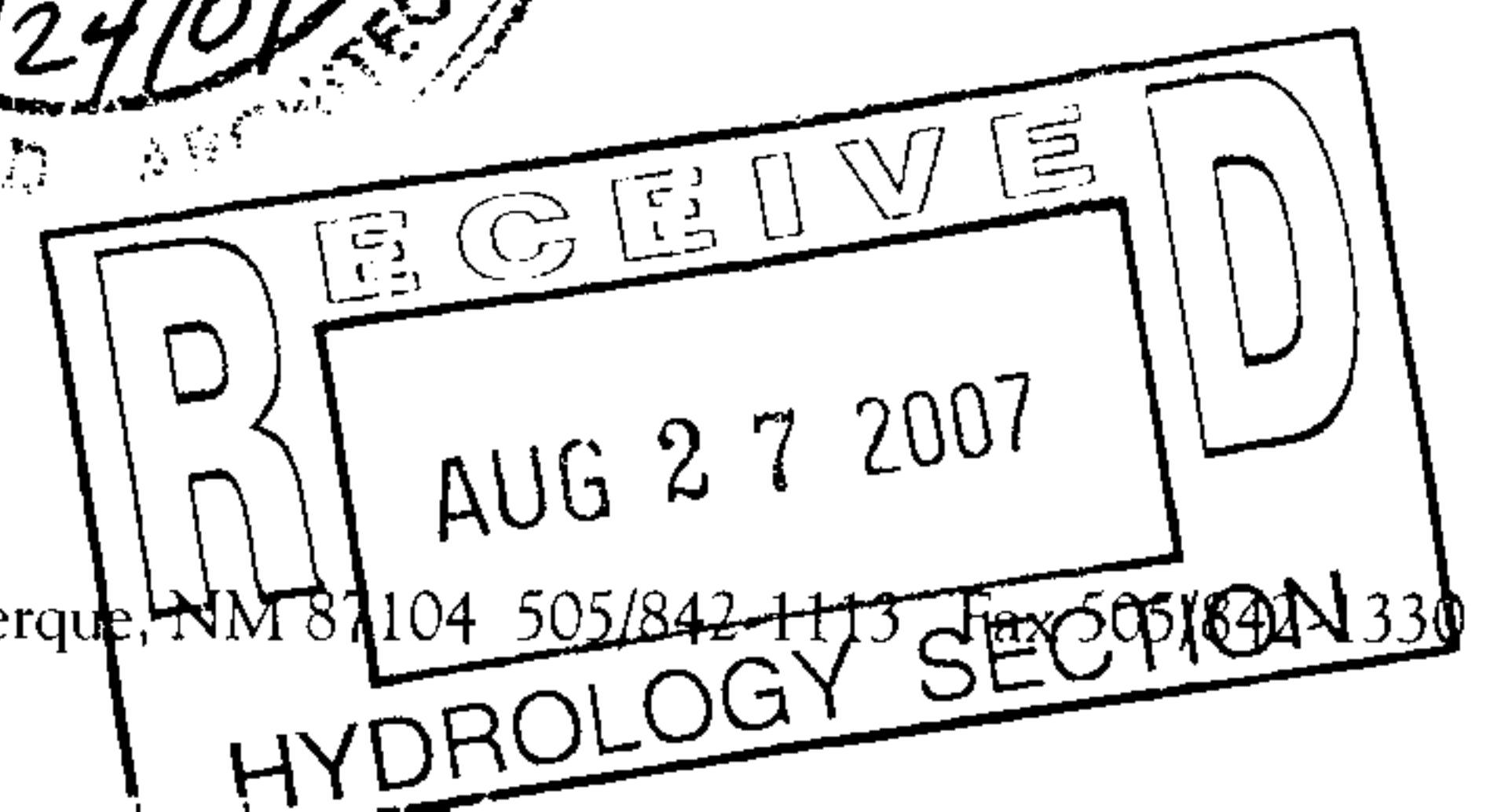
All work necessary to support the facility has been completed, and is in substantial compliance with the approved TCL.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Signature of Engineer or Architect

8/24/07  
Date

ENGINEER'S OR ARCHITECT'S STAMP



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

October 27, 2006

Claudio Antonio Vigil, Registered Architect  
Claudio Vigil Architects  
1801 Rio Grande Blvd NW  
Albuquerque, NM 87104

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Grady West (Commercair West Center) Bldg 1 Expansion, [K-10 / D24]  
520 Airport Road NW  
Architect's Stamp Dated 10/17/06

Dear Mr. Vigil:

P.O. Box 1293

The TCL / Letter of Certification submitted on October 26, 2006 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.).

Albuquerque

The TCL (or DRB Site Plan) submitted for Final C.O. needs to be the **exact** copy of the approved TCL/DRB Site Plan in the plan set approved for building permit. This will be the latest edition, which may have redlined comments, initialled and dated by the designer-of-record.

New Mexico 87103

Resubmit **acceptable** package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

www.cabq.gov

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

February 9, 2007

Claudio A. Vigil, Registered Architect  
1801 Rio Grande NW  
Albuquerque, NM 87104

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Commercial West Center, Bldg 1 Expansion, [K-10 / D24]  
520 Airport Road NW  
Architect's Stamp Dated 02/05/07

Dear Mr. Vigil:

The TCL / Letter of Certification submitted on February 6, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Commercial West Center, Building 1 Expansion  
DRB #: 1000665 EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #: K-10/D024  
WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Atrisco Business Park, Lot 2B, Tract A, Unit 2  
CITY ADDRESS: 520 Airport Road NW

ENGINEERING FIRM: Brasher & Lorenz  
ADDRESS: 2201 San Pedro Dr. NE  
CITY, STATE: Albuquerque, NM

CONTACT: Claudio Vigil  
PHONE: 505.888.6088  
ZIP CODE: 87110

OWNER: Grady West L.L.C.  
ADDRESS: P.O. Box 30801  
CITY, STATE: Albuquerque, NM

CONTACT: Don Grady  
PHONE: 884-8493  
ZIP CODE: 87190

ARCHITECT: Claudio Vigil Architects  
ADDRESS: 1801 Rio Grande Blvd NW  
CITY, STATE: Albuquerque, NM

CONTACT: Claudio Vigil  
PHONE: 505.842.1113  
ZIP CODE: 87104

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ OTHER

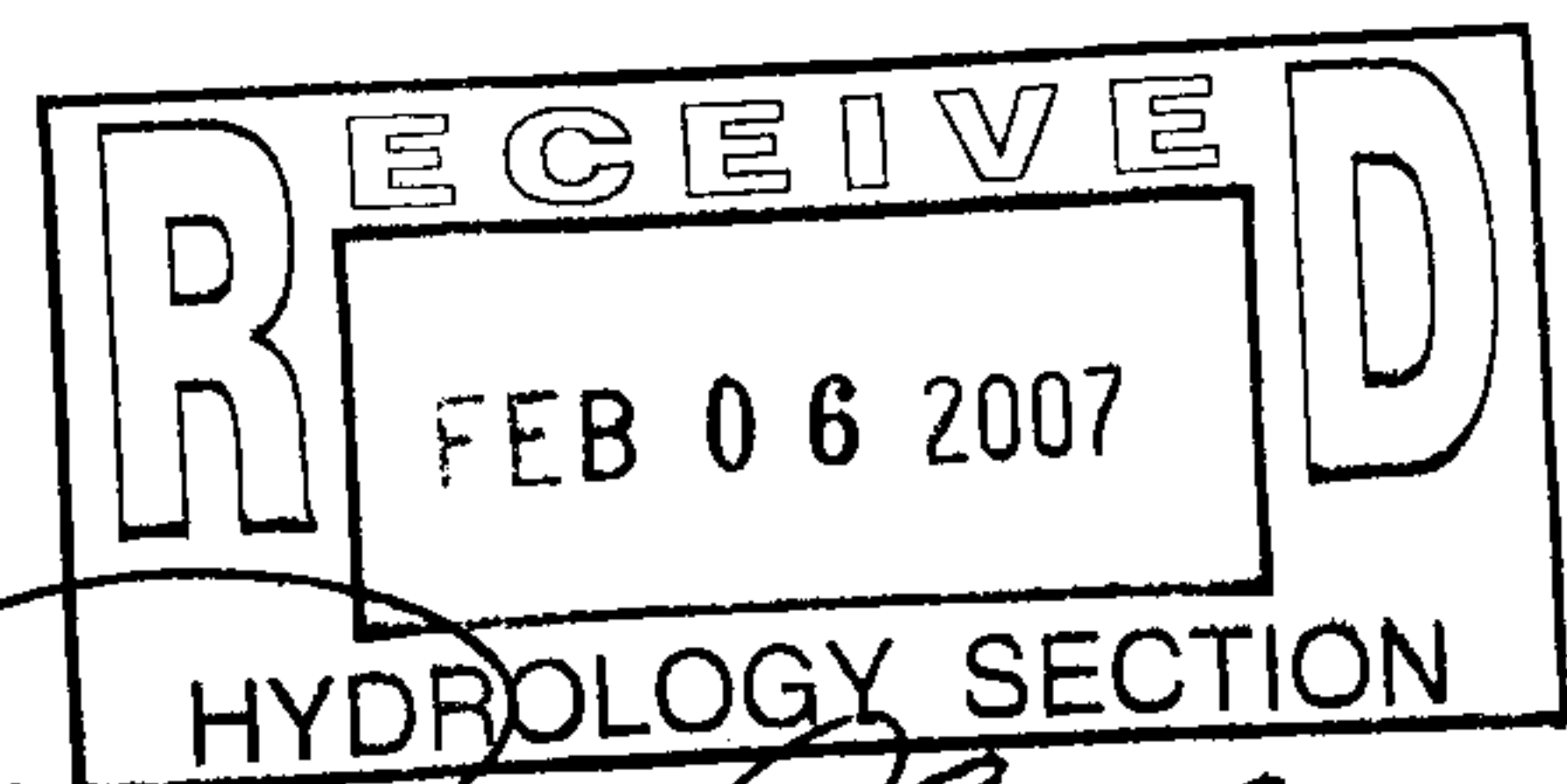
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- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 02/06/07 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.





Accent Adobe

Date: FEB 9, 2007

RE: Site Certification

Job No.: 04310

Attention:

Don Grady

We are sending you ☐ Attached ☐ Under separate cover via \_\_\_\_\_ the following items:

☐ Shop drawings ☐ Plans ☐ Specification ☐ Copy of letter

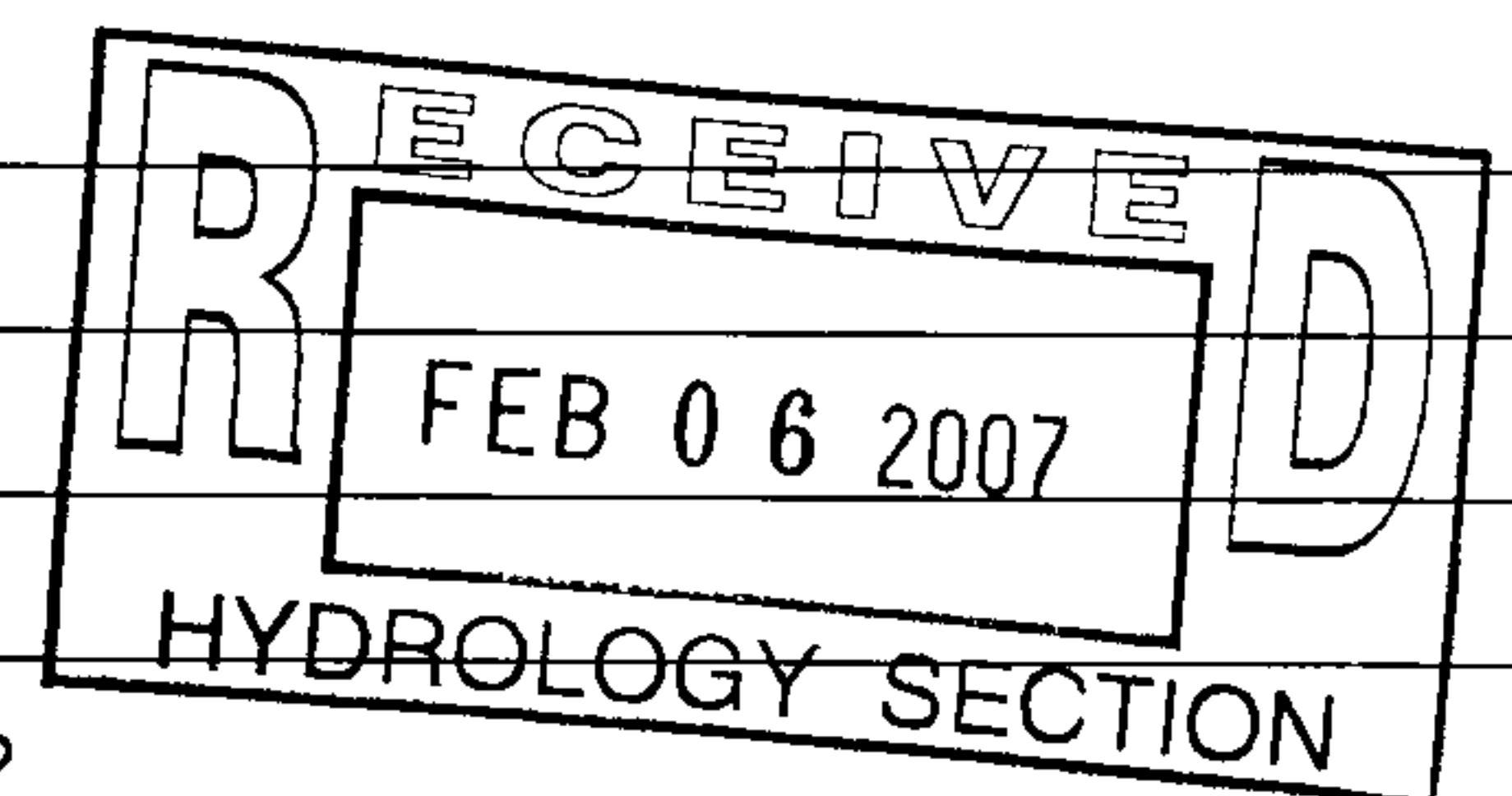
☐ Print ☐ Samples ☐ Change order ☐ \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
1 - la	02/09/07		Site Certification - City Submitted
1 - la	02/09/07		" " - owner record document

These are transmitted as checked below:

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> For approval               | <input type="checkbox"/> Approved as submitted      | <input type="checkbox"/> Resubmit ___ copies for approval   |
| <input type="checkbox"/> For your use               | <input type="checkbox"/> Approved as noted          | <input type="checkbox"/> Submit ___ copies for distribution |
| <input type="checkbox"/> As requested               | <input type="checkbox"/> Returned for corrections   | <input type="checkbox"/> Return _____ corrected prints      |
| <input type="checkbox"/> For review & comment       | <input type="checkbox"/> _____                      |   |
| <input type="checkbox"/> For bids due _____ 20____. | <input type="checkbox"/> Prints returned after loan |   |

Remarks



If enclosures are not as noted, kindly notify us at once.

Copy to

RL

Signed

RL



February 2, 2007

Traffic Engineer  
Development and Building Services  
600 2nd. St. N.W  
Albuquerque, New Mexico

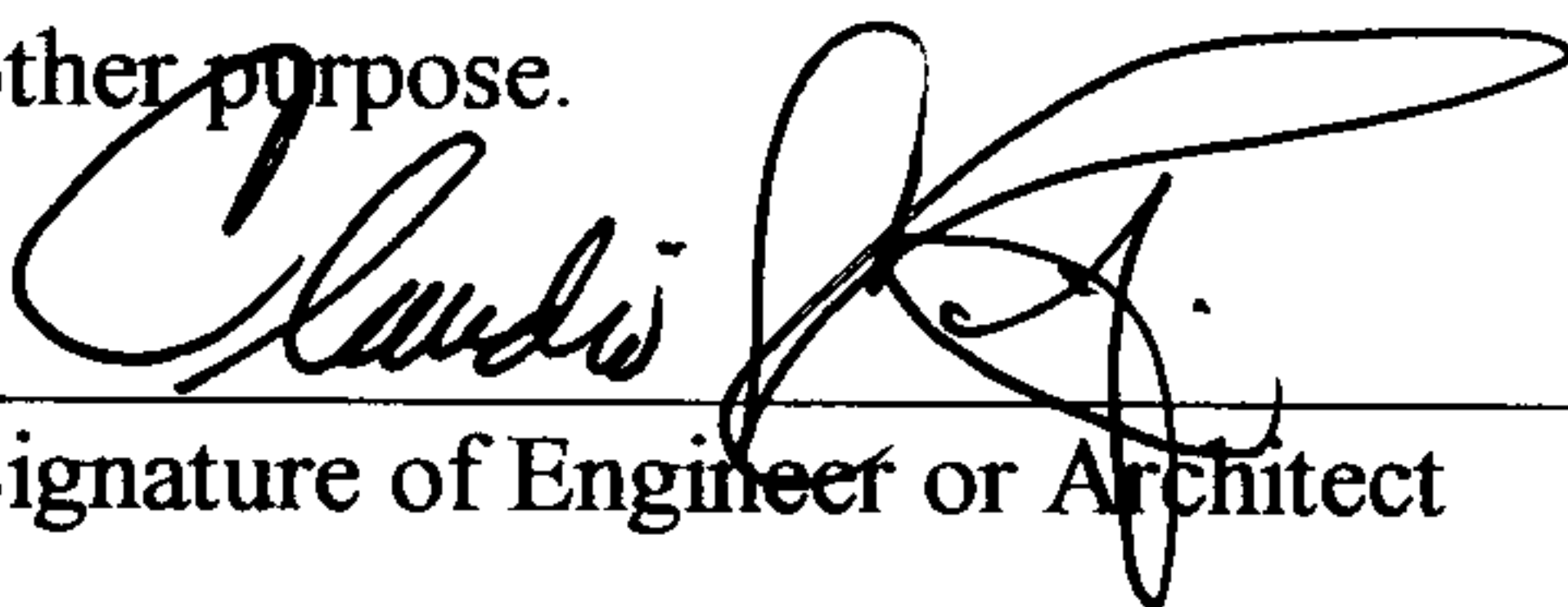
RE: TRAFFIC CERTIFICATION - Resubmittal  
Commercial West Center, Building One Expansion  
520 Airport Road NW

To whom it may concern:

I, Claudio Vigil, NM Registered Architect 1236, of the firm Claudio Vigil Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of DRB approved site plan and permit set. The record information documented and edited onto the approved DRB Site Plan has been obtained by Ed Avila of the firm Claudio Vigil Architects. I further certify that I have personally visited the project site on October 2, 2006 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

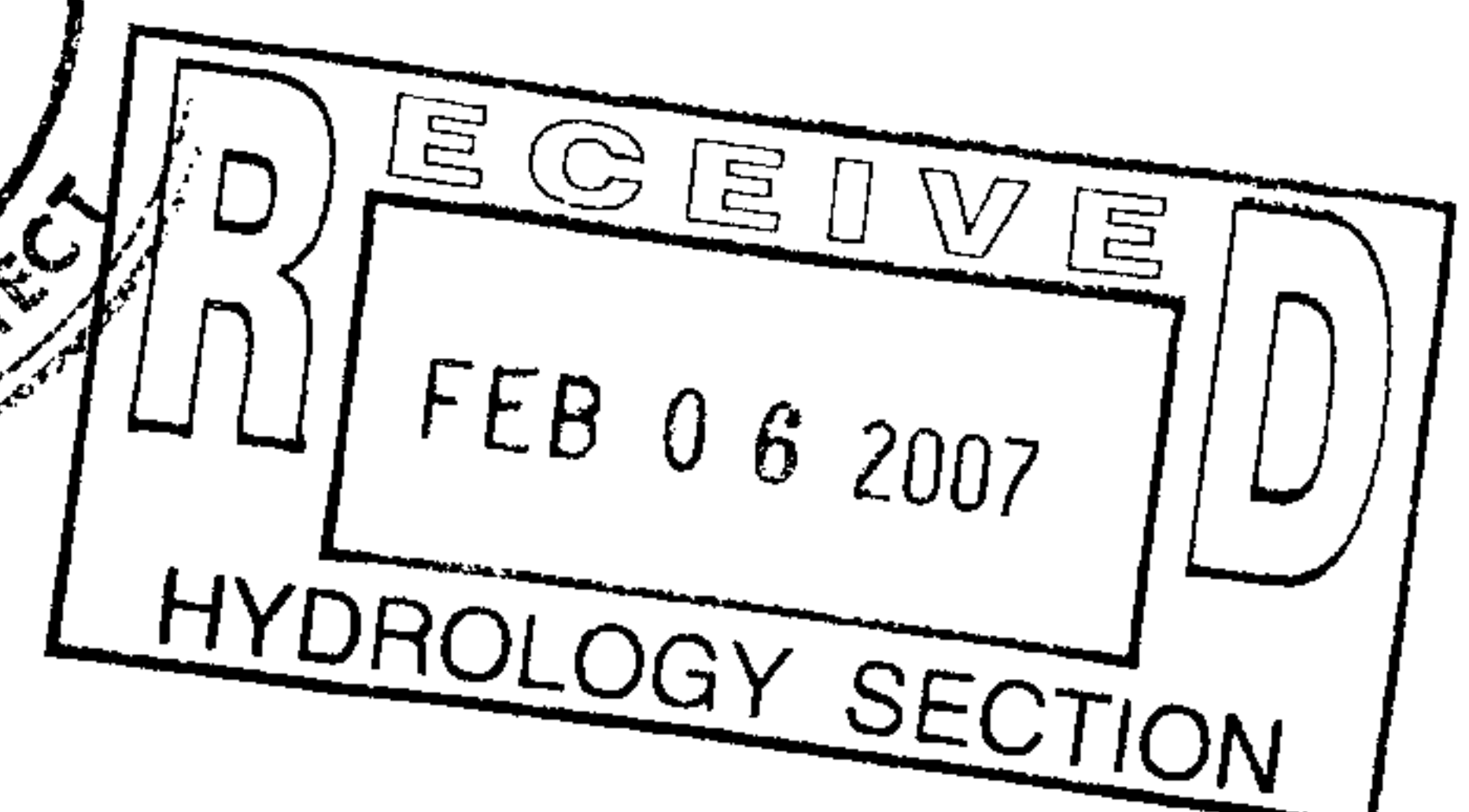
All work necessary to support the facility has been completed, and is in substantial compliance with the approved TCL.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

  
Signature of Engineer or Architect

2/5/07  
Date

ENGINEER'S OR ARCHITECT'S STAMP





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 5, 2002

Steve Morrow, P.E.  
Brasher & Lorenz, Inc.  
2201 San Pedro NE Bldg. 1 Suite 220  
Albuquerque, New Mexico 87110

**RE: GRADY DEVELOPMENT (K-10/D24)**  
**(520 Airport Rd NW)**  
**ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY**  
**ENGINEERS STAMP DATED 6/20/2001**  
**ENGINEERS CERTIFICATION DATED 12/4/2002**

Dear Mr. Morrow:

Based upon the information provided in your Engineers Certification submittal dated 12/4/2002, and based upon the approval of the SO19 by the City's Storm Drainage Maintenance inspector, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin  
Hydrology Plan Checker  
Development & Bldg. Ser. Division  
*TS*

C: Certificate of Occupancy Clerk, COA  
approval file  
✓ drainage file



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: GRADY DEVELOPMENT ZONE MAP/DRG. FILE #: K/10-D/24  
 DRB #: 1000665 EPC#: \_\_\_\_\_ WORK ORDER#: 648881

LEGAL DESCRIPTION: LOT 2B ATRISCO BUSINESS PARK, UNIT 2  
 CITY ADDRESS: 520 AIRPORT ROAD NW

ENGINEERING FIRM: BRASHER AND LORENZ, INC. CONTACT: STEVE MORROW  
 ADDRESS: 2201 SAN PEDRO NE, BLDG. 1, STE. 1200 PHONE: 888-6088  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87110

OWNER: DON GRADY REALTY CONTACT: DON GRADY  
 ADDRESS: 4004 CARLISLE NE, STE. C PHONE: 884-8493  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87107

ARCHITECT: CLAUDIO VIGIL ARCHITECTS CONTACT: CLAUDIO VIGIL  
 ADDRESS: 1305 TIERAS NW PHONE: 842-1330  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87104

SURVEYOR: FRANKLINS EARTHMOVING CONTACT: JOHN ELLIS  
 ADDRESS: 2425 JEFFERSON NE PHONE: 884-6947  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87110

CONTRACTOR: FRANKLINS EARTHMOVING CONTACT: JOHN ELLIS  
 ADDRESS: 2425 JEFFERSON NE PHONE: 884-6947  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87110

**CHECK TYPE OF SUBMITTAL:**

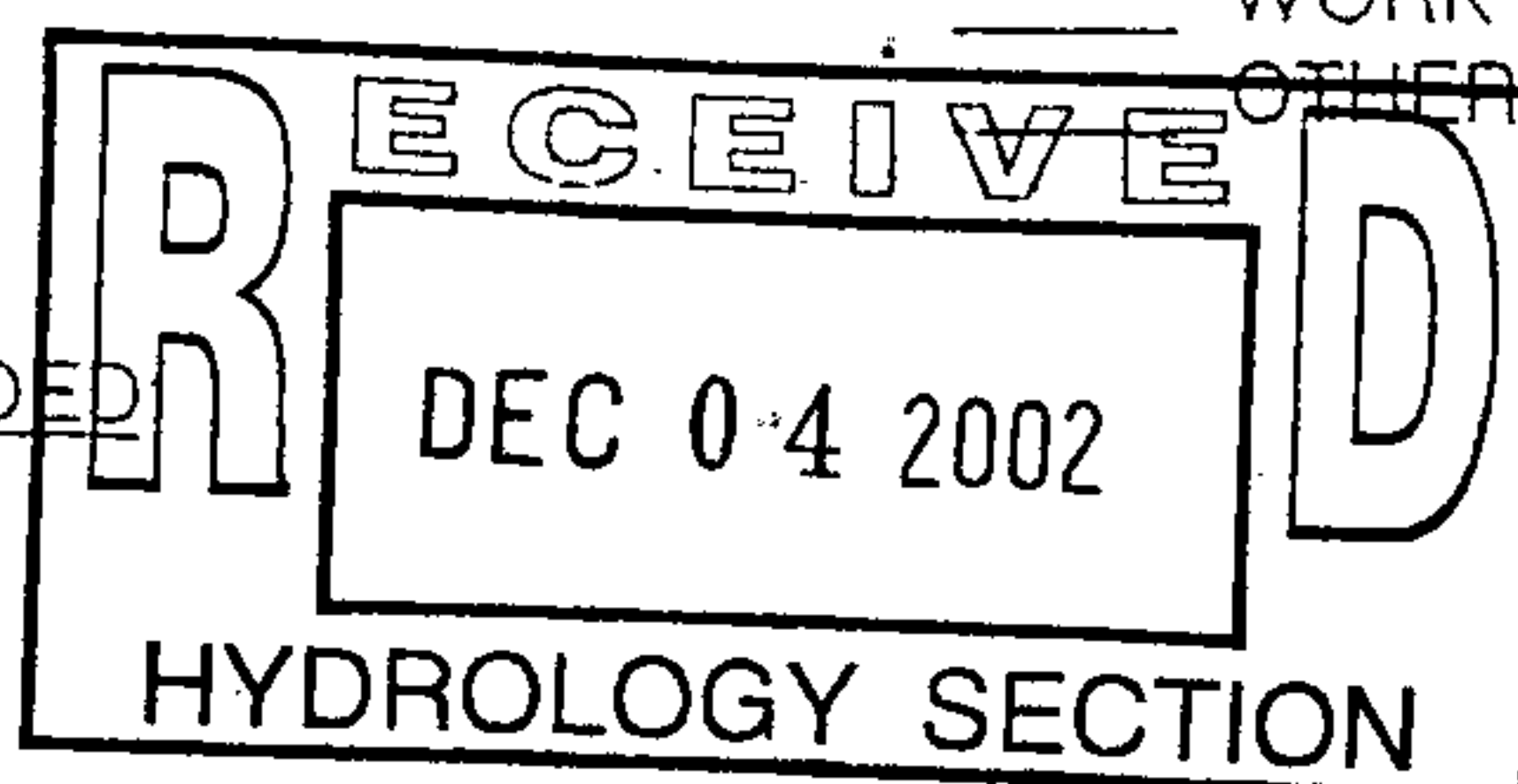
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
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- ☐ OTHER

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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 12-4-02 BY: STEVE MORROW

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



#4

(NOT DEVELOPER OWNED PROPERTY)

PRIVATE FACILITY  
DRAINAGE COVENANT AND  
RESERVATION OF PRIVATE DRAINAGE EASEMENT

K-10/DO24

4/12/01

This Drainage Covenant, between [state the name of the present real property owner exactly as shown on the real estate document conveying title to the present owner and state the legal status of the owner, for example, "single person," "husband and wife," "corporation of the State of \_\_\_\_\_," "partnership":]

Grady West, LLC - - "N.M. Limited Liability Company"

("Owner"), whose address is P.O. Box 30801, Albuquerque, N.M. 87190;

[state the name of the developer or subdivider required to construct the drainage facility and state the legal status of the developer, for example, "single person," "husband and wife," "corporation of the State of \_\_\_\_\_,"

"partnership":] Grady West, LLC - - "N.M. Limited Liability Company"

("Developer"), whose address is P.O. Box 30801, Albuquerque, N.M. 87190,

and the City of Albuquerque, a New Mexico municipal corporation ("City") whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner and Developer sign this Covenant.

1. Recital. The Owner is the owner of the following described real property located at [give legal description, and street address: LOT 2B, TRACT A, ATRISCO BUSINESS PARK, UNIT 2, 520 AIRPORT RD NW in Bernalillo County, New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Developer is required to construct and maintain certain drainage facilities and the Owner, for good and valuable consideration received from the Developer, is willing to allow construction and maintenance of the Drainage Facility on its Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facility. The Developer shall construct the following "Drainage Facility" within the Property at the Developer's sole expense in accordance with the standards, plans and specifications approved by the City:

120" CMP CULVERT WITH SUMP PUMP TO PROVIDE 25,687 CF STORMWATER STORAGE, INCLUDING ALL APPURTENANCES.



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Page: 1 of 8

04/17/2001 11:23A

Mary Herrera

Bern. Co. C011

B 01 00

The Drainage Facility is more particularly described in Exhibit A attached hereto and made a part hereof.

3. Reservation of Easement. The Owner, for itself, its heirs, successors and assigns, jointly and severally, hereby grants to Developer, its heirs, successors and assigns, jointly and severally, a perpetual easement over and across a portion of the Owner's property for the benefit of [describe the lots, parcels or tracts which are to be benefited by the Drainage Facility and easement] LOTS 1 AND 2B  
TRACT A, ATRISCO BUSINESS PARK, UNIT 2

for the purpose of permitting the flow, conveyance, and discharge of storm water runoff and for the purpose of permitting ingress and egress for the construction, maintenance and repair of the drainage facility. The land affected by the grant of this easement is more particularly described as:

WEST 20 FT LOT 2B, TRACT A, ATRISCO BUSINESS  
PARK, UNIT 2. SEE EXHIBIT 'B'

4. Maintenance of Drainage Facility. The Developer shall maintain the Drainage Facility and Easement at the Developer's sole cost in accordance with the approved Drainage Report and plans. In the event the Developer fails to maintain the Drainage Facility, Owner agrees that it shall be responsible for maintenance of the Drainage Facility and Easement in accordance with the approved Drainage Report and plans.

5. Benefit to Property. The Developer and Owner acknowledge and understand that the Drainage Facility required herein to be constructed is for the private benefit and protection of the Developer's property and that failure to maintain such facility could result in damage or loss to the Owner's Property and to the property of Developer.

6. Inspection of Drainage Facility. The City shall have no duty or obligation whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the duty of the Developer, its heirs, successors and assigns to construct and maintain the facility in accordance with approved plans and specifications.

7. Liability of City. The Developer and Owner understand and agree that the City shall not be liable to the Developer or the Owner, or their respective heirs, successors or assigns, or to any third parties for any damages resulting from the Developer's or Owner's failure to construct, maintain or repair the Drainage Facility.





8. Indemnification. The Developer owns and controls the Drainage Facility and shall not permit the Drainage Facility to constitute a hazard to the health or safety of the general public. The Developer agrees to indemnify, defend and hold harmless the City, its officials, agents and employees, and the Owner, its heirs, successors and assigns from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Developer, its agents, negligent acts or omissions of the Developer, its agents, representatives, contractors or subcontractors or arising from the failure of the Developer, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expense, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

9. Assessment. Nothing in this Easement and Covenant shall be construed to relieve the Owner or Developer, or their respective heirs, assigns and successors from an assessment against the Owner's or Developer's property for improvements under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

10. Binding on Owner's Property. The easement, covenants and obligations of the Owner and Developer set forth herein shall be binding on the Owner and Developer, and their respective heirs, assigns and successors and on the Owner's Property and constitute covenants running with the Owner's Property until released by the City's Chief Administrative Officer as approved by the City Engineer.

11. Entire Covenant. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.


12. Changes to Covenant. Changes to this Covenant are not binding unless made in writing, signed by all parties.

13. Effective Date of Covenant. This Covenant shall be effective as of the date of signature of the Owner and Developer.



**OWNER:** Grady West, LLC

By: [Signature]  
Title: Manager

By:   
Title: Manager

Dated: March 8, 2001

APPROVED:

Roger A. Green  
City Engineer  
4-10-01  
4-12-01  
Dated

**STATE OF NEW MEXICO            )**  
**) ss**  
**COUNTY OF BERNALILLO        )**

This instrument was acknowledged before me on March 8, 192001, by DON W. GRADY, MANAGER, on behalf of Grady West LLC.

Cynthia A Sample  
Notary Public

August 21, 2004

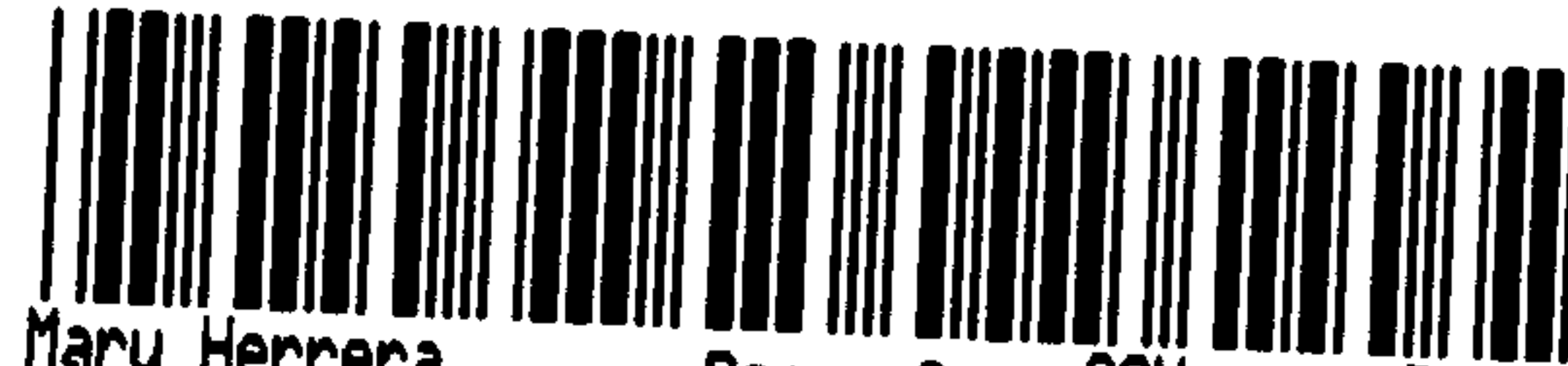




**STATE OF NEW MEXICO            )**  
**) ss.**  
**COUNTY OF BERNALILLO        )**

Cynthia A Sample  
Notary Public

August 21, 2004



Mary Herrera

Bern. Co. COV

**R 21.00**

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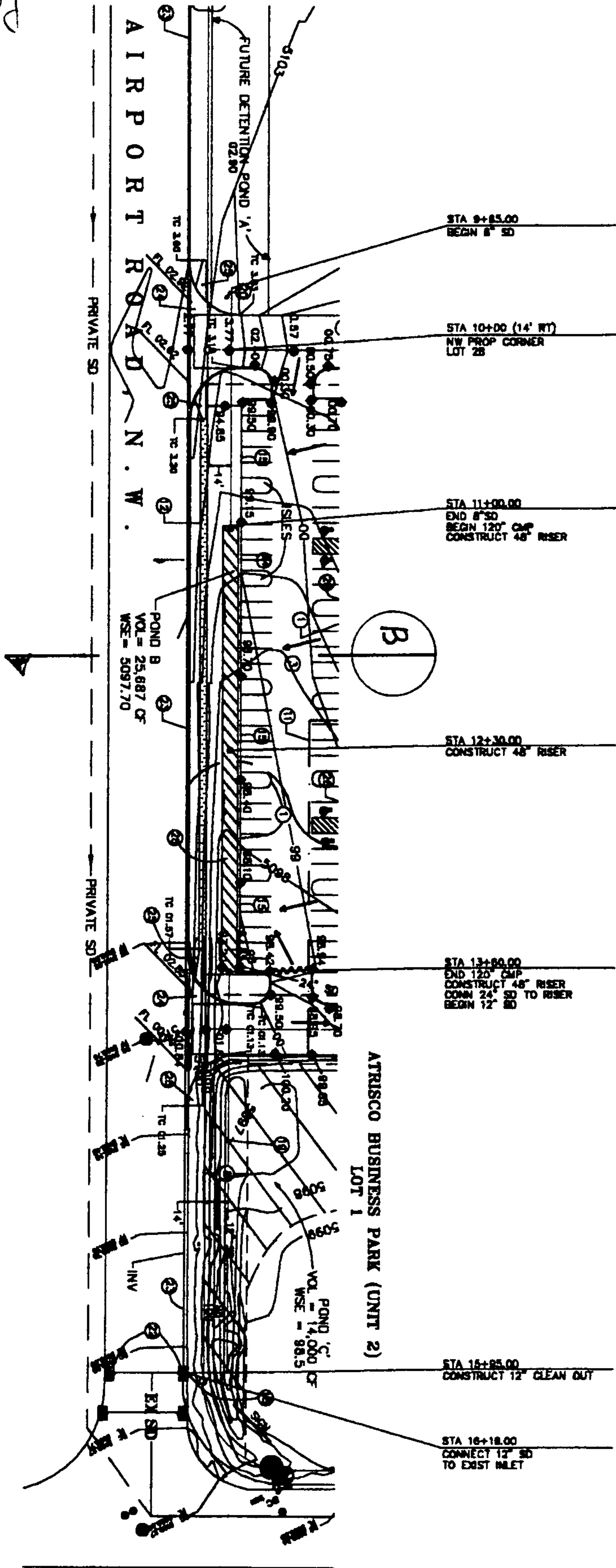
Page: 5 of 8

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-5-

B L U E W A T E R   R O A D ,   N . W .



# PRIVATE STORM DRAIN

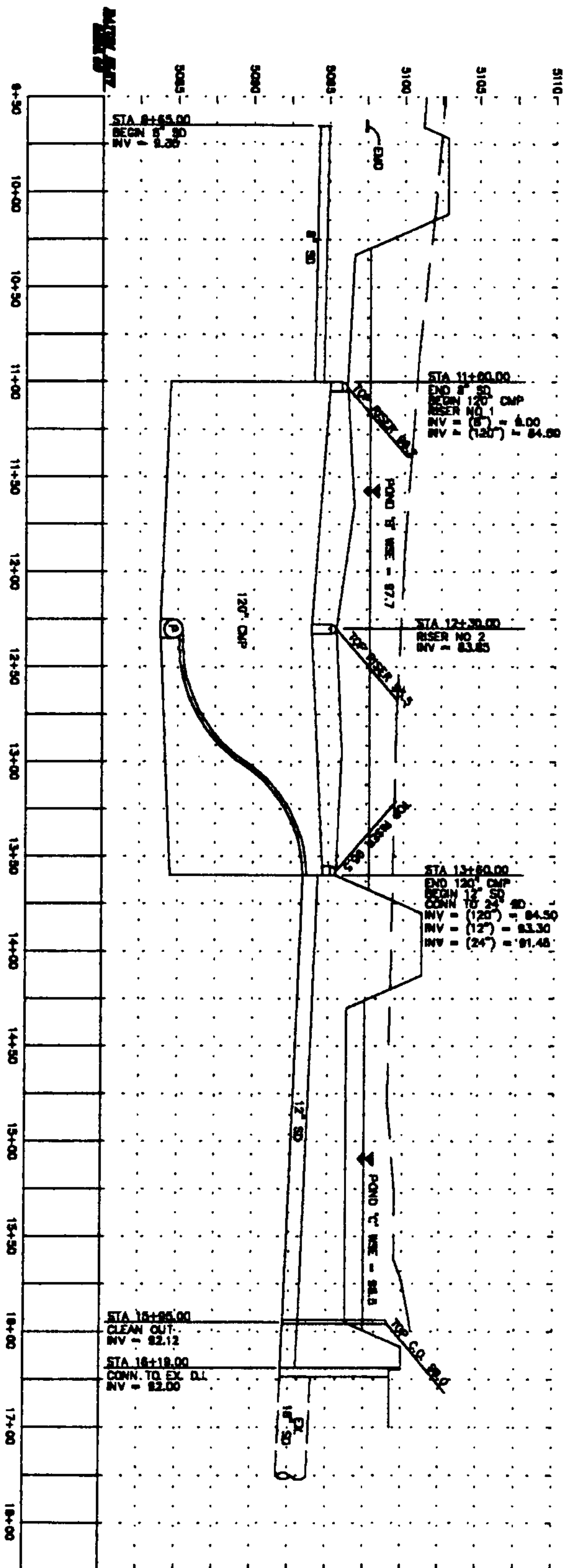
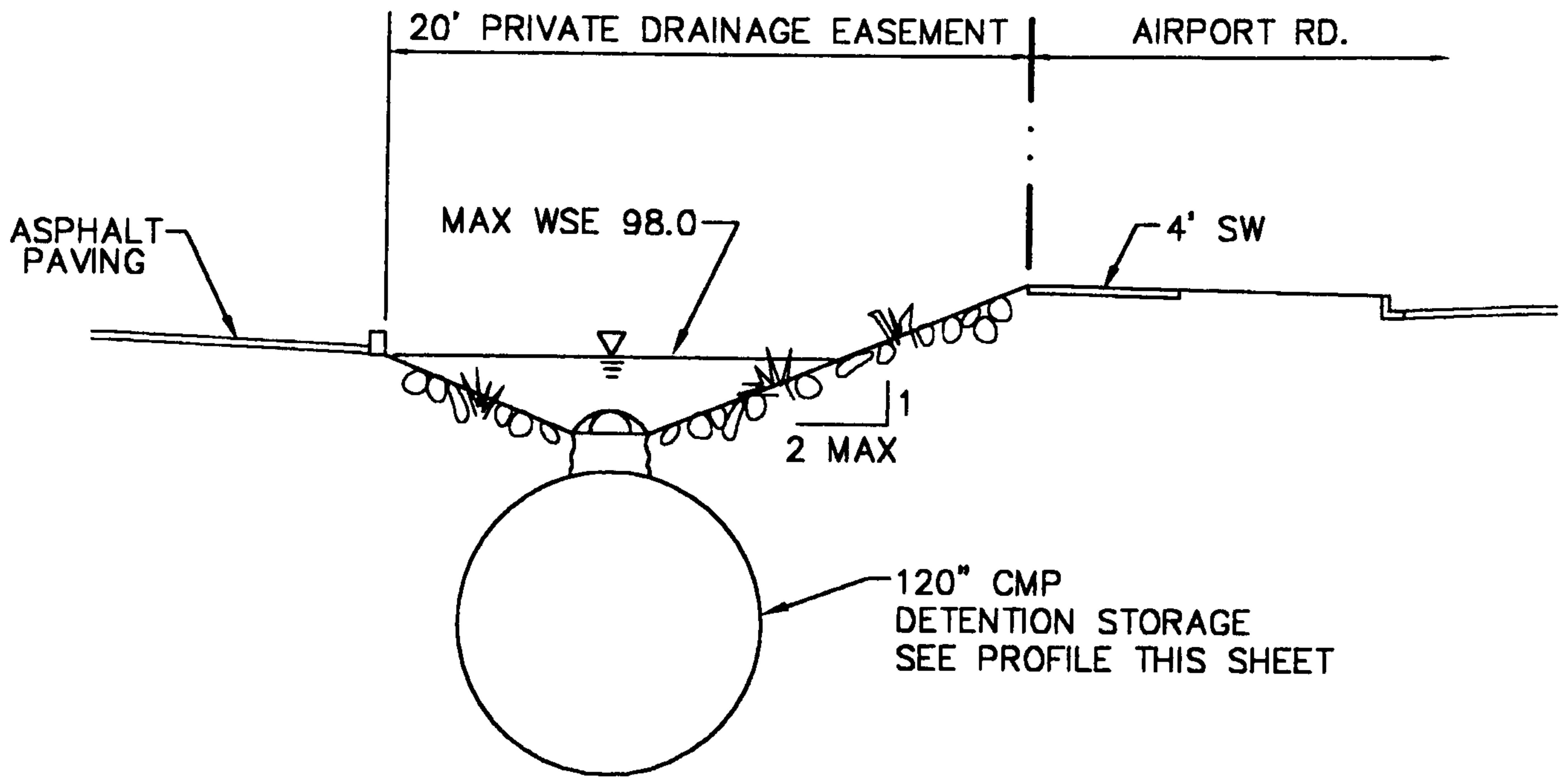


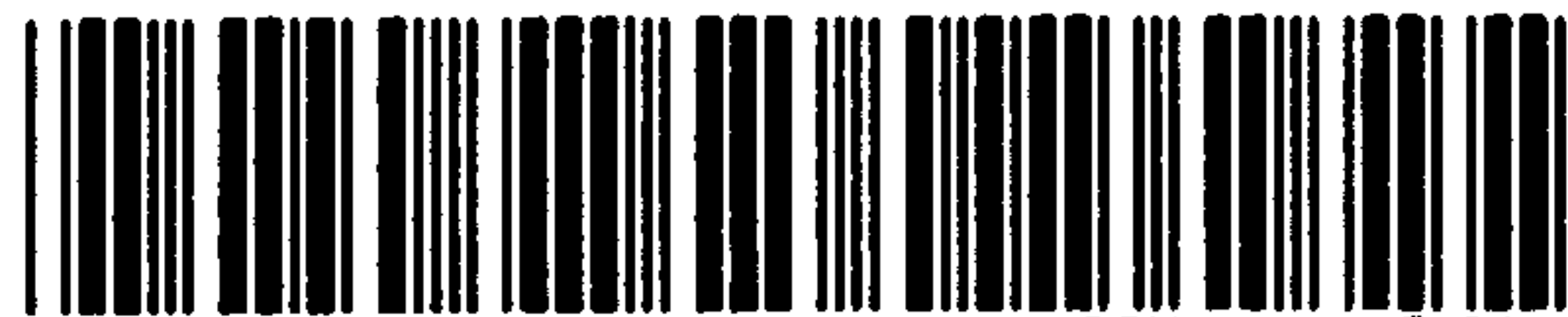
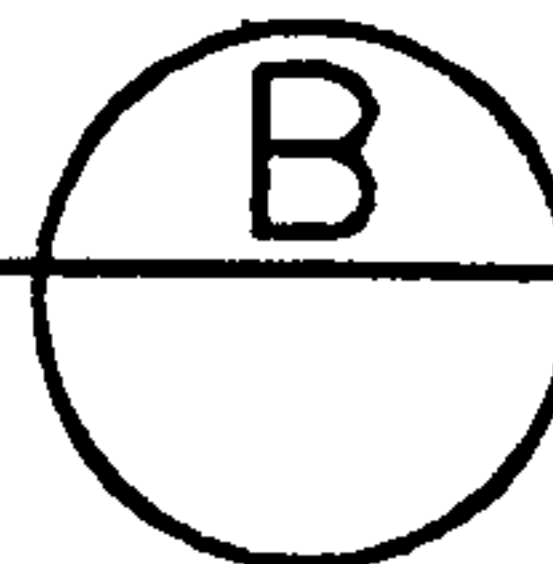
EXHIBIT - A

2001042009 5492863 Page: 6 of 8  
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POND SECTION

NTS



Mary Herrera

Bern. Co. COV

R 21.00

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Page: 7 of 8

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Bk-A18 Pg-463



Mary Herrera

Bern. Co. COU

R 21.00

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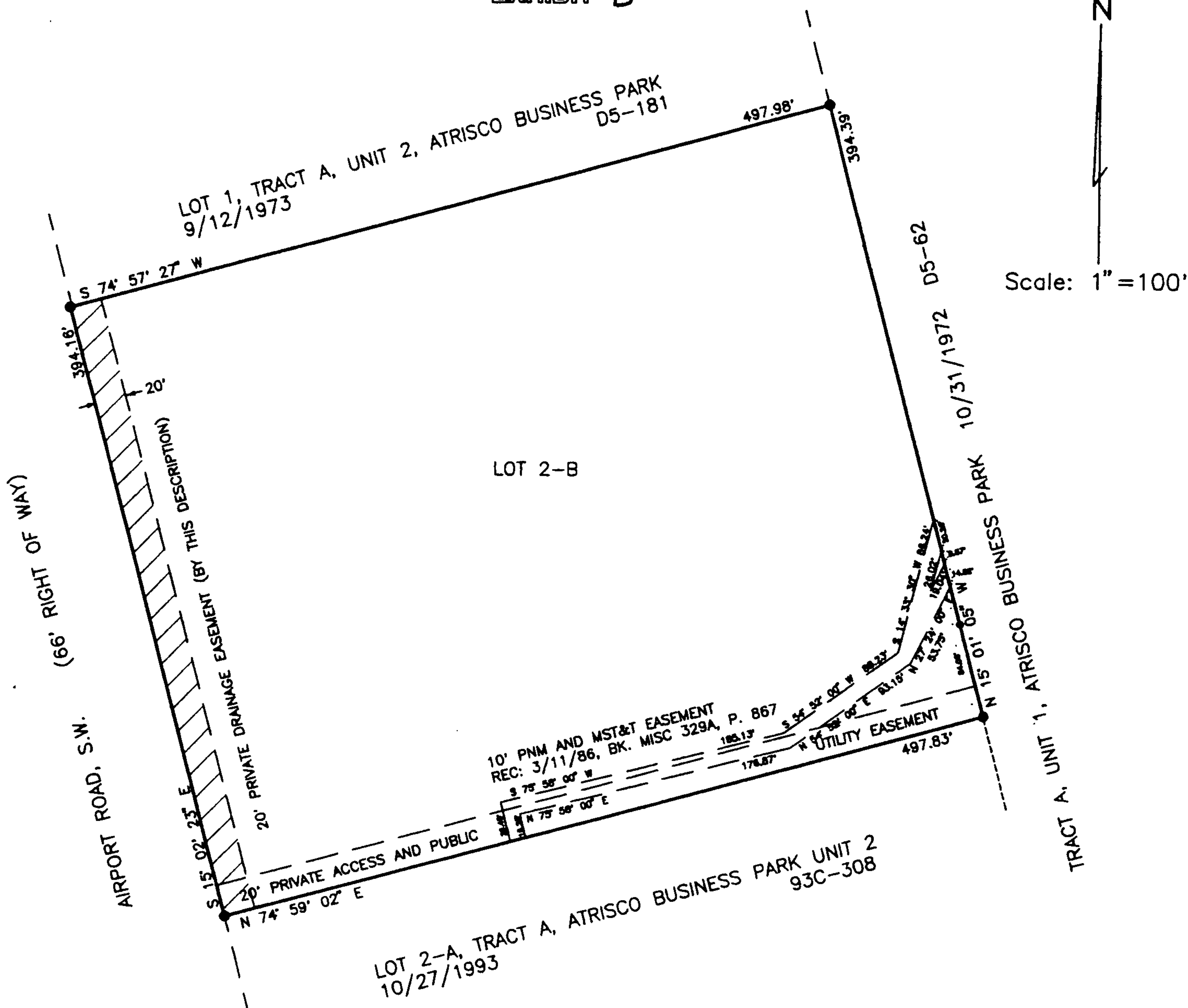
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Page: 8 of 8

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Bk-A18 Pg-463

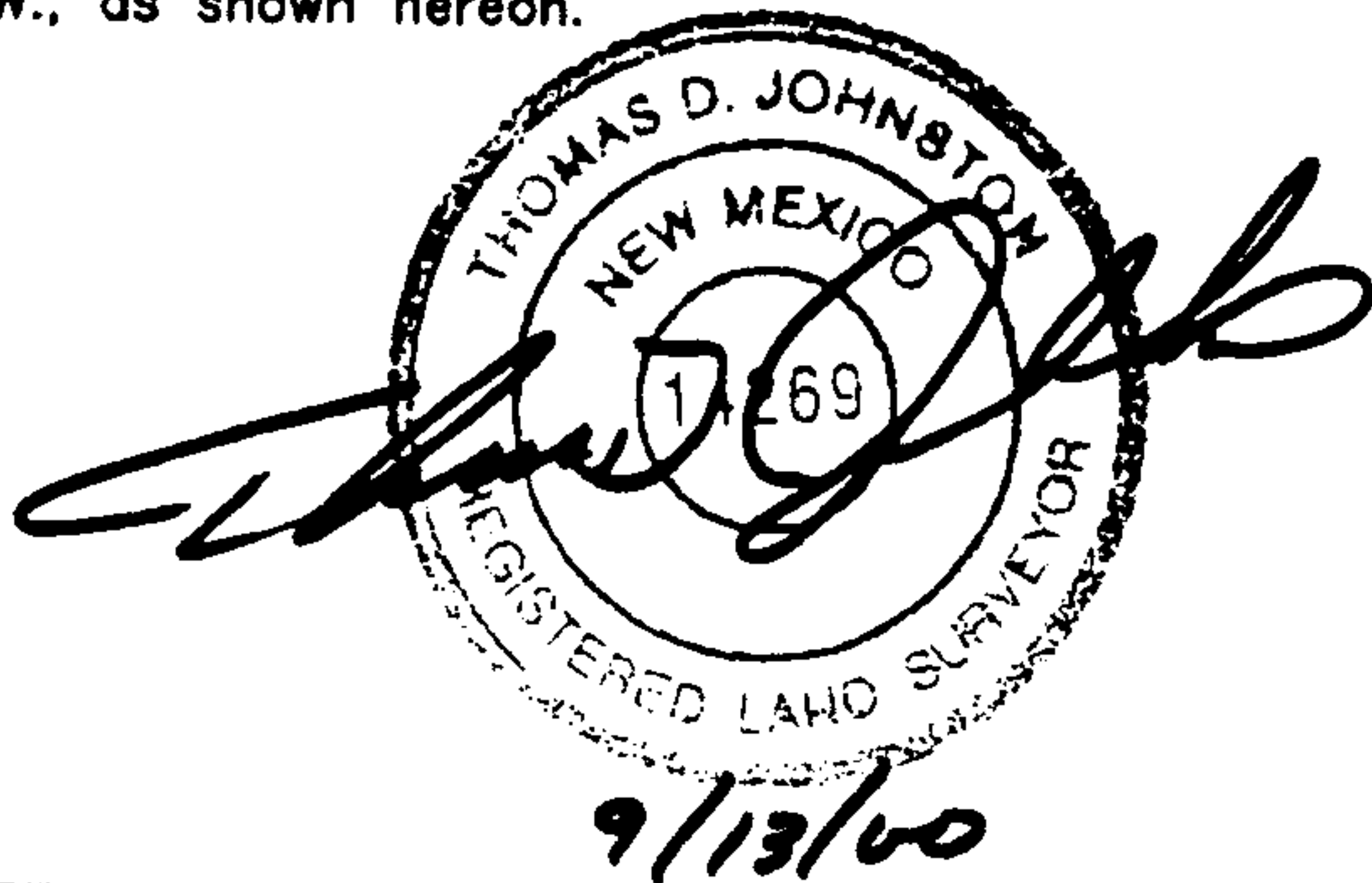
## EXHIBIT "B"



## EASEMENT DESCRIPTION

A Twenty foot (20') Private Drainage Easement within Lot numbered Two-B (2-B), Tract lettered "A", ATRISCO BUSINESS PARK UNIT 2, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 27, 1993, in Volume 93C, folio 308, and being more particularly described as follows:

A Twenty foot (20') Private Drainage Easement for the benefit of Lot numbered One (1), Tract lettered "A", ATRISCO BUSINESS PARK UNIT 2, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 12, 1973, in Book D5, Folio 181; being the Westerly Twenty feet (Wly. 20') of Lot 2-B, adjacent to Airport Road, S.W., as shown hereon.



## WAYJOHN SURVEYING, INC.

330 LOUISIANA BOULEVARD, NE  
ALBUQUERQUE, NM 87108-2062

Phone: (505) 255-2052 Fax: (505) 255-2687

Drawn By:	File No:	Date:
TDJ	ED90100	9/11/00
Checked By:	Drawing No:	Revision:
WEJ	D:\ACADDWGS\ED90100.	0





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 11, 2002

Steve Morrow, P.E.  
Brasher & Lorenz, Inc.  
2201 San Pedro NE Bldg. 1, Suite 220  
Albuquerque, New Mexico 87110

**RE: GRADY DEVELOPMENT (K-10/D24)**  
**Engineers Certification For Release of Financial Guaranty**  
**Engineers Stamp dated 6/20/2001**  
**Engineers Certification dated 6/6/2002**

Dear Mr. Morrow:

Based upon the information provided in your Engineers Certification submittal dated June 7, 2002, the above referenced plan is adequate to satisfy the Grading and Drainage Certification for Release of Financial Guaranty.

However, the following drainage issues (mentioned in your Engineers Certification for release of financial guaranty) will need to be corrected prior to approval of a Certificate of Occupancy for the above mentioned site.

- Landscaping will need to be completed.
- Rip rap must be installed.
- ✓ - An SO19 permit for the sidewalk culvert on Airport Rd will need to be obtained by the contractor and inspected by the City's Storm Drainage Maintenance inspector, as per the Design Process Manual (DPM) Chapter 17 "Private Storm Drain Facilities within a City Right-of-Way and/or Easement"

When the above issues have been corrected and an Engineers Certification has been submitted to the City's Hydrology Division for approval, a Permanent Certificate of Occupancy can be issued.

If you have any questions, please call me at 924-3981.

Sincerely,

*Teresa A. Martin*  
Teresa A. Martin

*CA* Hydrology Plan Checker  
Public Works Department

c: Arlene Portillo, PWD - #648881

*File*

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: GRADY DEVELOPMENT ZONE MAP/DRG. FILE #: K10/D24  
DRB #: 1000665 EPC#: \_\_\_\_\_ WORK ORDER#: 648881

LEGAL DESCRIPTION: LOT 23 ATRISCO BUSINESS PARK, UNIT 2  
CITY ADDRESS: 520 AIRPORT ROAD NW

ENGINEERING FIRM: BRASHER & LORENZ, INC. CONTACT: DENNIS LORENZ  
ADDRESS: 2201 SAN PEDRO NE, BLDG 1, STE 1200 PHONE: 888-6088  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87110

OWNER: DON GRADY REALTY CONTACT: DON GRADY  
ADDRESS: 4004 CARLISLE NE, STE C PHONE: 884-8493  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87107

ARCHITECT: CLAUDIO VIGIL ARCHITECTS CONTACT: CLAUDIO VIGIL  
ADDRESS: 1305 TIJERAS NW PHONE: 842-1330  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87104

SURVEYOR: FRANKLINS EARTHMOVING CONTACT: JOHN ELLIS  
ADDRESS: 2425 JEFFERSON NE PHONE: 884-6947  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87110

CONTRACTOR: FRANKLIN'S EARTHMOVING CONTACT: JOHN ELLIS  
ADDRESS: 2425 JEFFERSON NE PHONE: 884-6947  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87110

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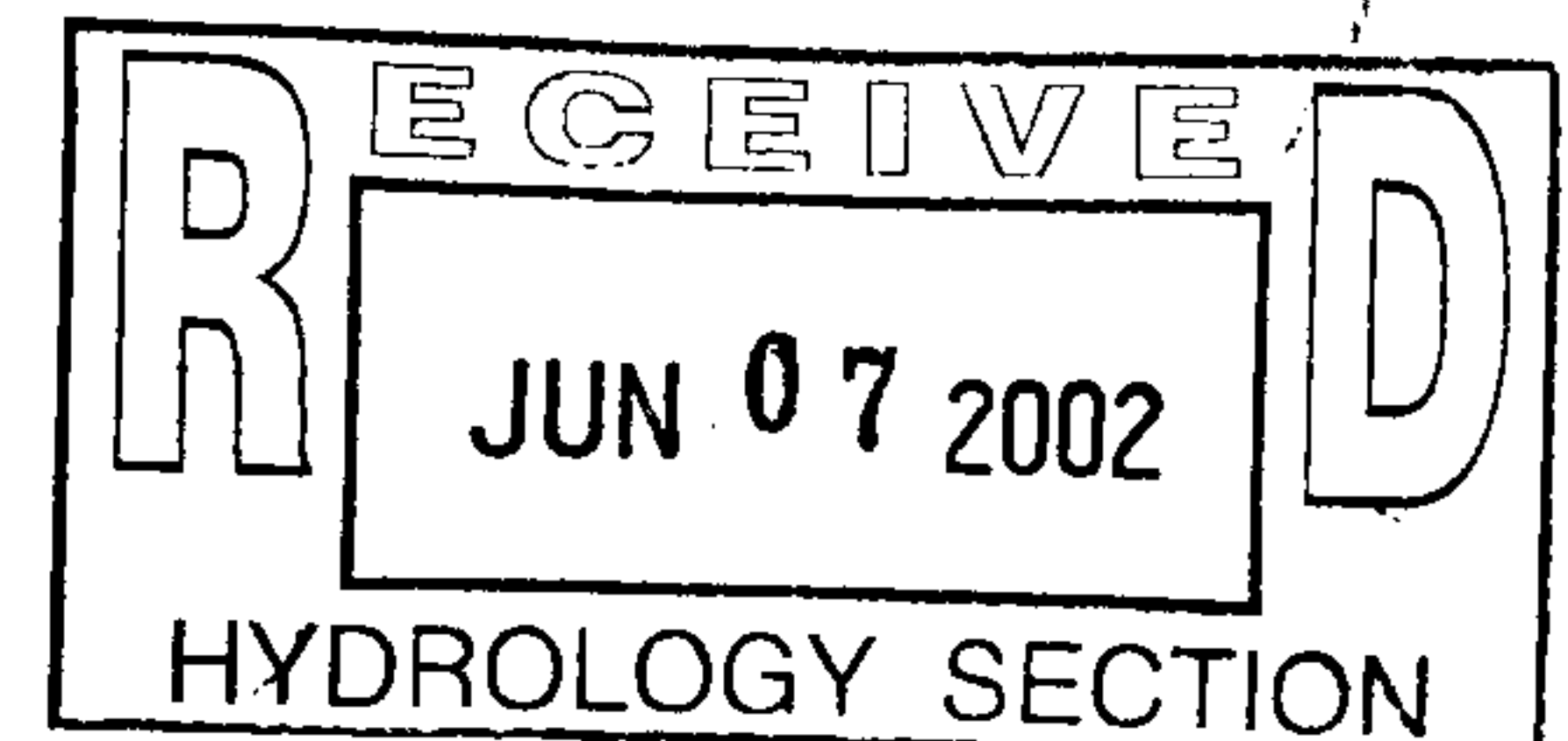
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## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

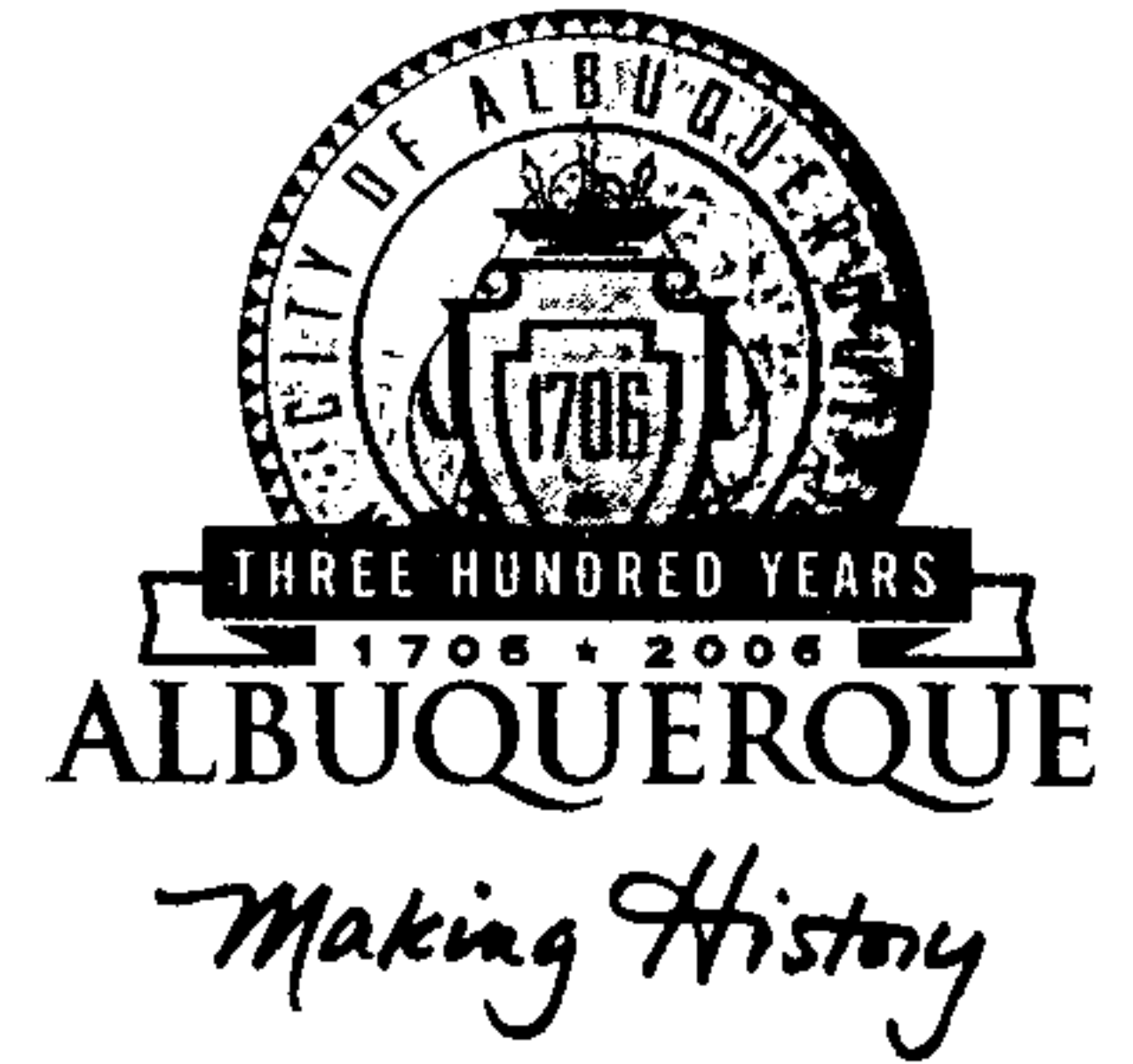


DATE SUBMITTED: 6-7-02 BY: STEVE MORROW

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

August 3, 2004

Claudio Antonio Vigil, Registered Architect  
1801 Rio Grande Blvd NW  
Albuquerque, NM 87104

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Grady Development, [K-10 / D24]  
520 Airport Road NW  
Architect's Stamp Dated 07/30/04

Dear Mr. Vigil:

P.O. Box 1293

The TCL / Letter of Certification submitted on August 30, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

c: Engineer  
Hydrology file  
CO Clerk





July 30, 2004

Wilferd A Gallegos, PE  
600 2nd. St. N.W.  
Transportation Department  
Building and Inspection  
Albuquerque, New Mexico

RE: Traffic Certification DRB#00450-00000-00948, Phase I  
Lot 2b, Tract A, Unit 2  
520 Airport Road NW

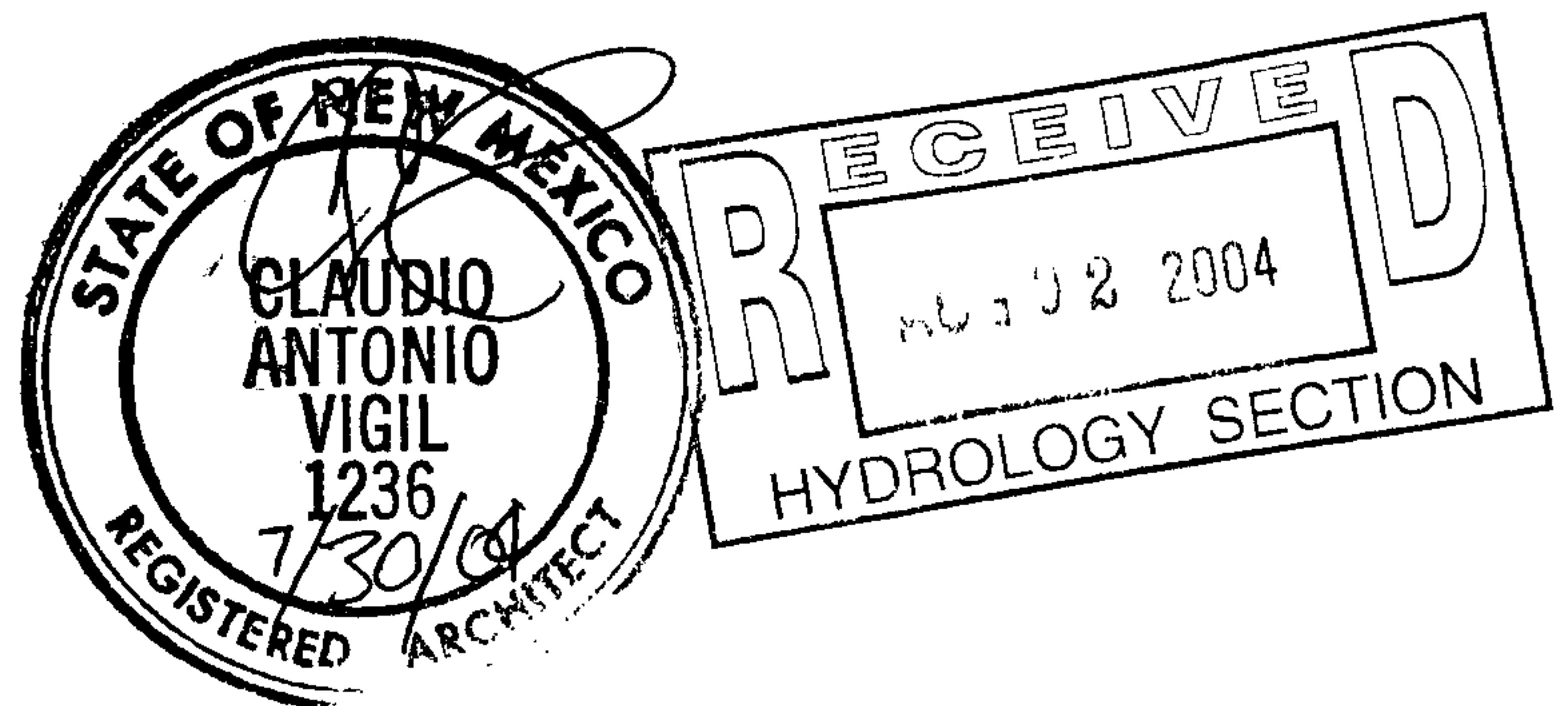
Dear Wilferd A Gallegos,

On July 30, 2004 this office made an inspection of the completed improvements to the Lot 2b, Tract A, Unit 2, 520 Airport Road NW. All work necessary to support the facility has been completed and is in substantial compliance with the approved Site Plan.

The work is complete and ready for occupancy.

Sincerely,

Claudio Vigil  
President





# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

K-10/D24

PROJECT TITLE: Grady Development  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #: K-10/D24  
WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 26 TRACT A UNIT 2 ATRISED BUSINESS PARK  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Claudio Vigil Architects  
ADDRESS: 1801 Rio Grande Blvd NW  
CITY, STATE: Albuquerque, NM

CONTACT: Arthur Blessen  
PHONE: 505.842.1113  
ZIP CODE: 87104

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: Claudio Vigil Architects  
ADDRESS: 1801 Rio Grande Blvd NW  
CITY, STATE: Albuquerque, NM

CONTACT: Arthur Blessen  
PHONE: 505.842.1113  
ZIP CODE: 87104

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

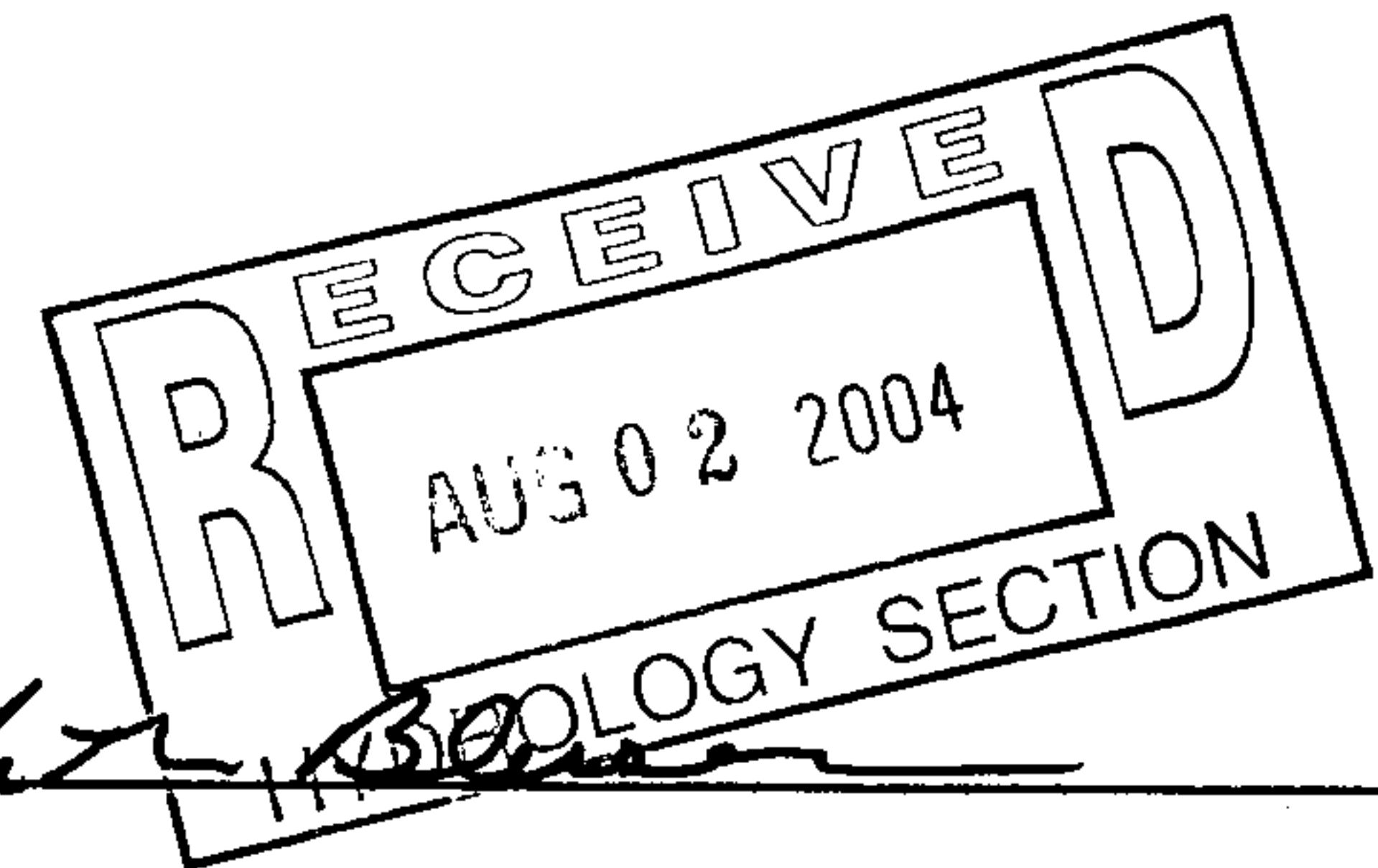
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 7/30/04

BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.