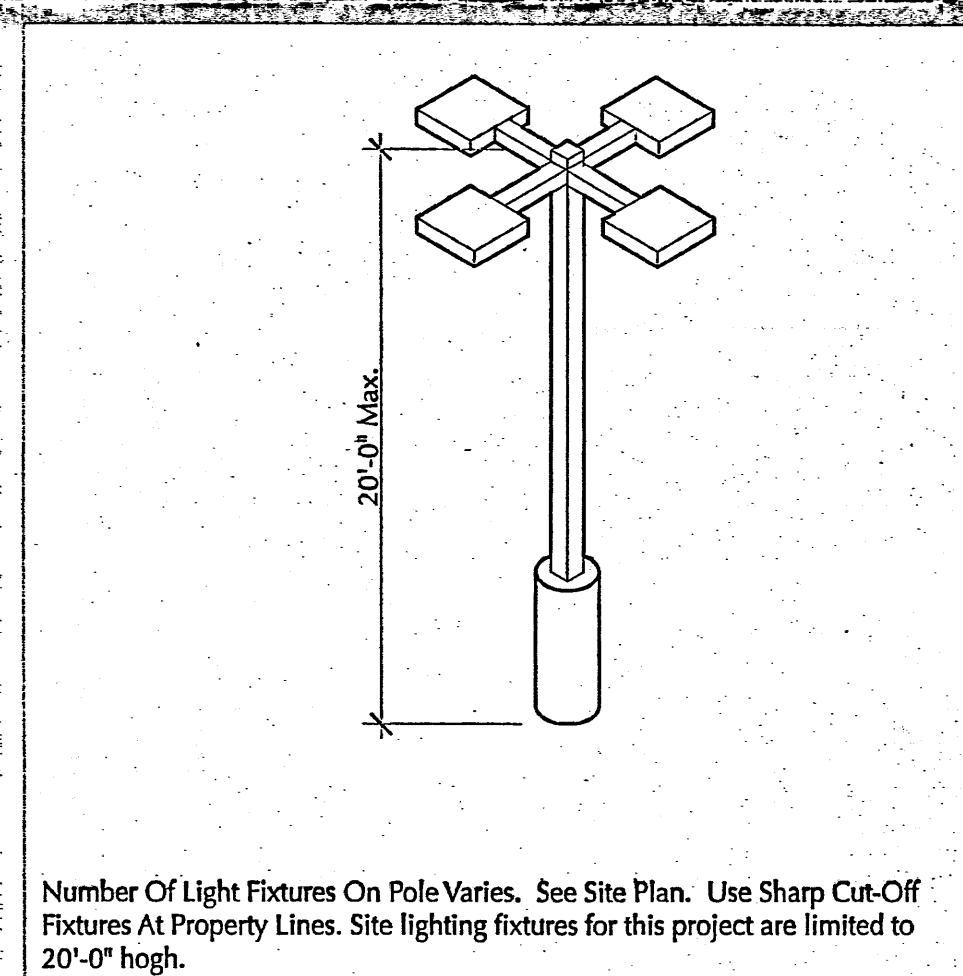


G Overall Site Plan



M Light Pole

Not To Scale



N Vicinity Map

K-10-Z

Notes

ADDRESS: 6810 Central Ave SW
Albuquerque, New Mexico

LEGAL DESCRIPTION
PARCELS: Lot 61A2-A
SUBDIVISION: Town of Atrisco Grant, Unit 6
UPC#: 101005744821140708

ZONE ATLAS PAGE: K-10

LAND USE ZONING: C-2 SC

PARKING (Restaurant: 1 space per 4 seats)

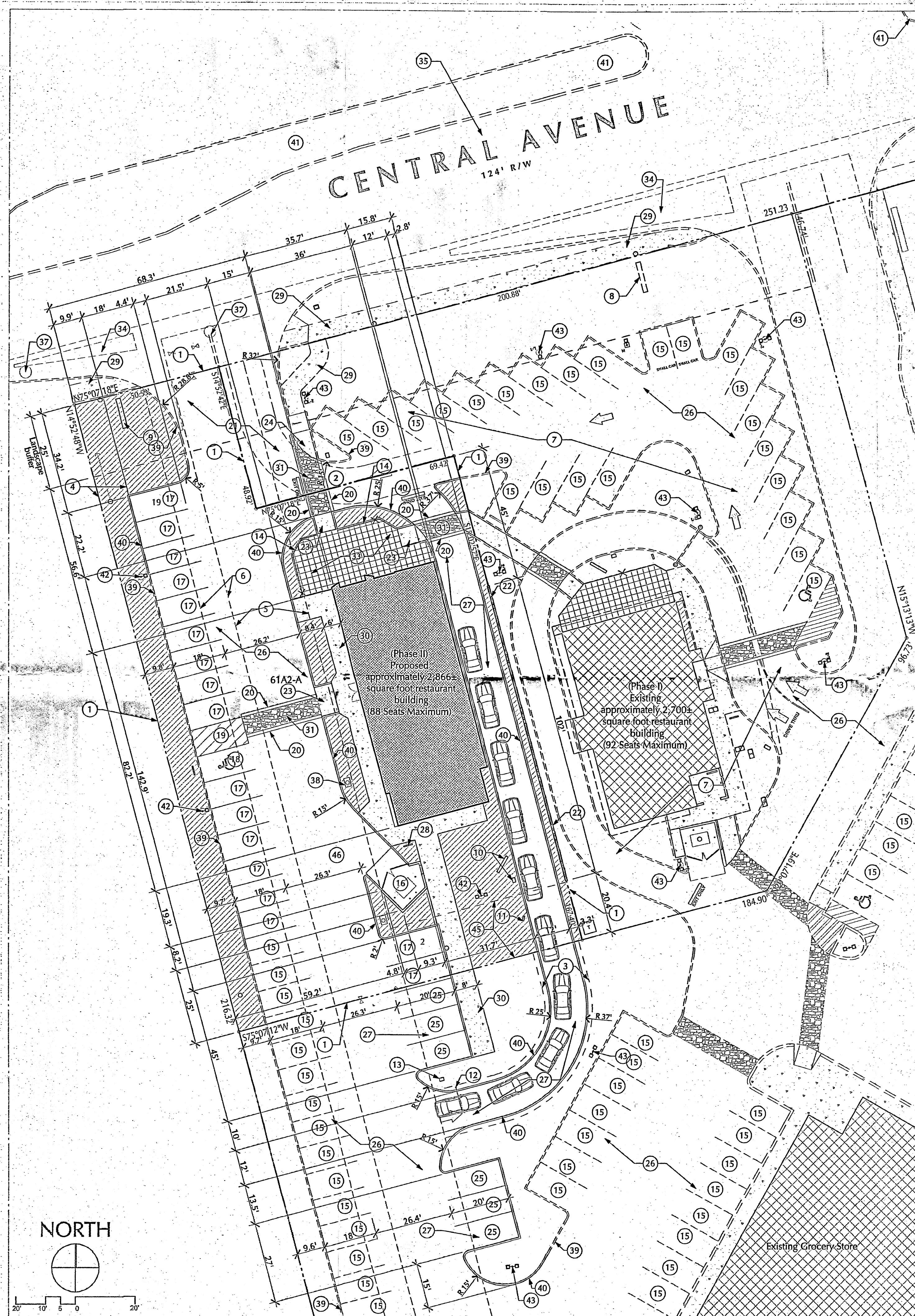
Required:	88/4=22
10% bus discount = 3.0 Spaces	-2.2
Total =	19.8
Provided:	
Standard Spaces	21
Small Car Spaces	0
HC Space	1
Total	22

BICYCLE PARKING (1 space/20 parking spaces)

Required:	1.1
Provided:	2

Scale: 1/4" = 1'-0"

S Bike Rack



U Site Development Plan

Notes

KEYED NOTES

- Property line (typical).
- Existing blanket cross access easement for the benefit of these two sites
- Existing drive-up window access lane easement on Tract 61A1
- Existing 10' PNM & Qwest easement.
- Existing 25' public waterline and sewerline easement.
- Existing 10' public utility easement.
- Existing phase I (complete)
- Existing monument sign (Carl's Jr.)
- Proposed monument sign (KFC/Taco Bell) See detail 'Q' on sheet SDP-4
- Drive through menu sign and order station
- Drive through preview menu sign
- Drive through clearance sign
- Directional sign
- 42" high wrought iron fence at drive through side of patio.
- Existing parking space (9'x18')
- Dumpster enclosure, see elevation detail 'L' on sheet SDP-4
- Typical parking space 9'-0" wide (8'-6" minimum) x 20' with concrete wheel stop (or 18' + 2' overhang with 8' wide walk)
- Typical HC parking space 8'-6" (Min.) x 18' (18' + 2' overhang)
- 8' wide handicap aisle for van space
- 12" wide solid white stripe
- Existing common drive pad
- Proposed 36" high x 86" long wall separating the drive through lanes. (Split face block to match building).
- Proposed curb ramp (1:12 slope maximum)
- Existing curb ramp
- Proposed common parking spaces (9'x20')
- Existing asphalt paving
- Proposed asphalt or concrete paving
- Bicycle rack (2 spaces minimum). See detail 'S' sheet SDP-2.
- Existing 6' wide concrete sidewalk
- Proposed concrete sidewalk.
- Proposed 6 foot wide colored and textured concrete crosswalk (match existing).
- Existing colored and textured concrete crosswalk
- Colored and scored concrete patio with tables, chairs and umbrellas
- Existing deceleration taper.
- Existing turn lane
- Existing fire hydrant location
- Existing manhole
- Proposed water meter.
- Existing concrete curb
- Concrete curb
- Existing street median
- Site light fixture. -See detail 'M' on sheet SDP-2
- Existing site lighting fixture.
- Existing grocery store sign.
- Existing 20' private water and sewer easement.
- Delivery vehicles shall stop and unload in this location

ADMINISTRATIVE AMENDMENT

File # 06-01608 Project # 1004481
revising bldg footprint
site circulation & dumpster location
W Moore 12/19/06
 APPROVED BY DATE

R Approval

James C Lewis Architect

General Design, Inc.
1620 Central Avenue SW
Albuquerque, NM 87102
(505) 247-1529 • gdl@mac.com

Architecture & Planning

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Site Development Plan for Building Permit

KFC/Taco Bell

6810 Central Avenue SW
Albuquerque, NM 87121

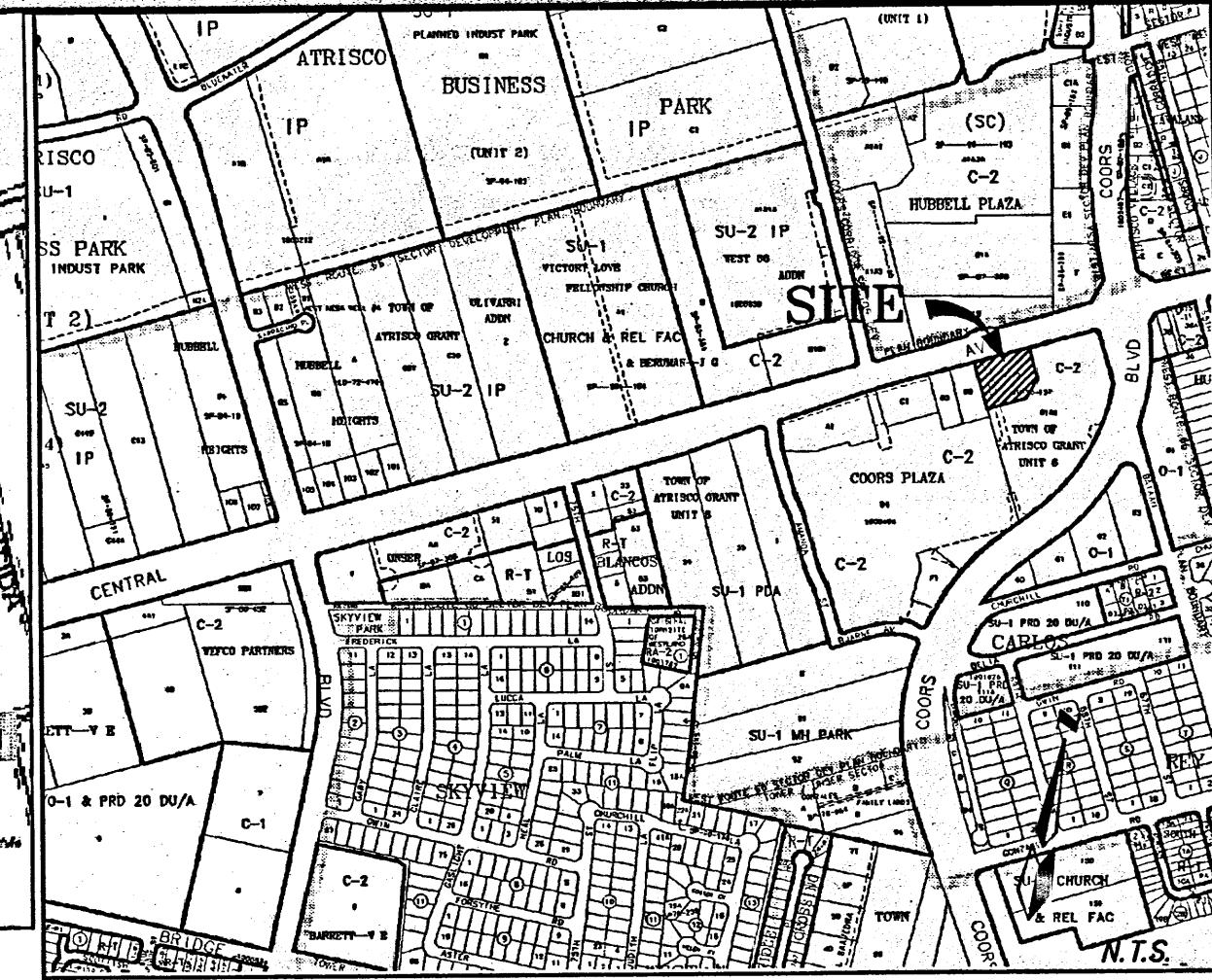
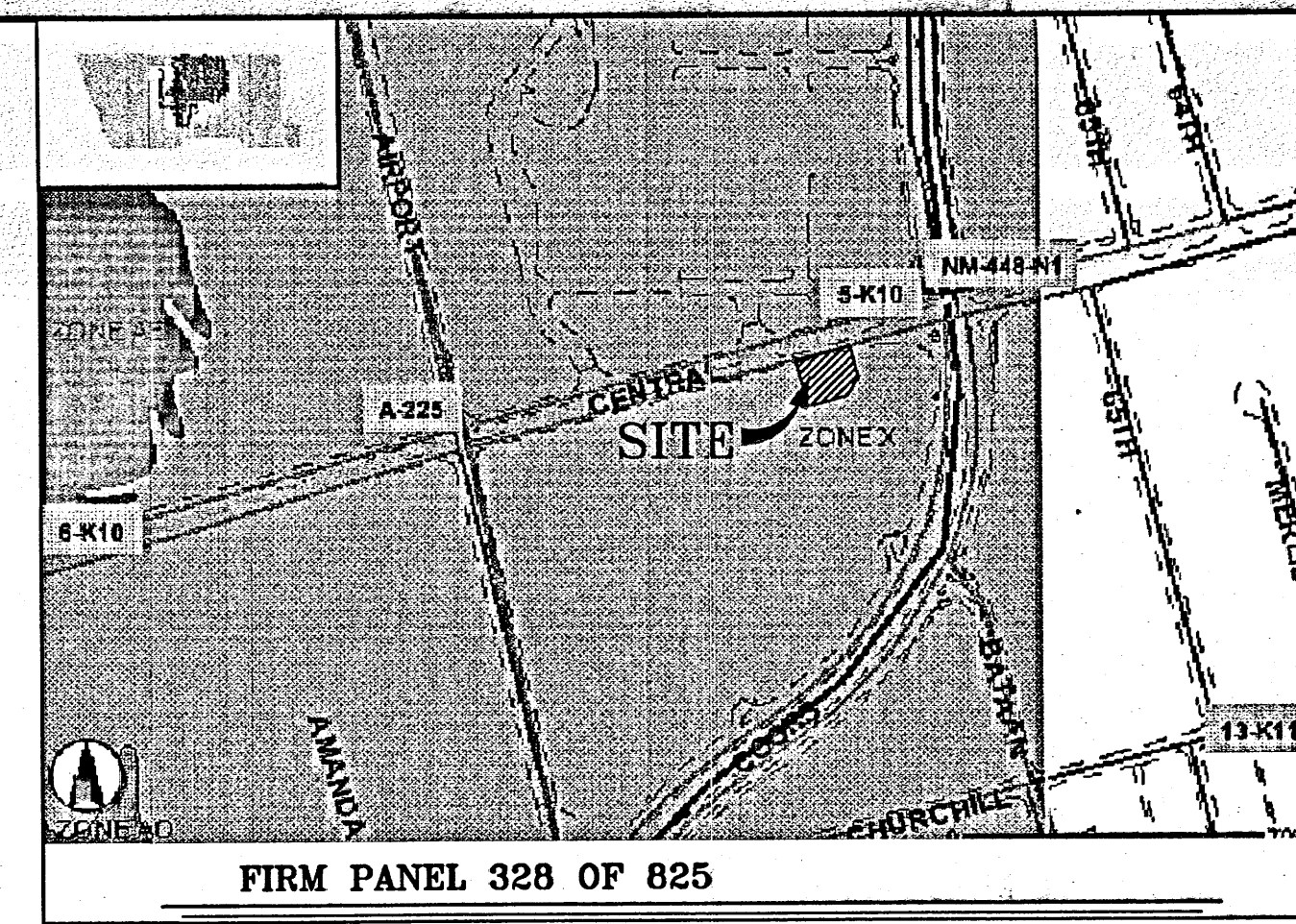
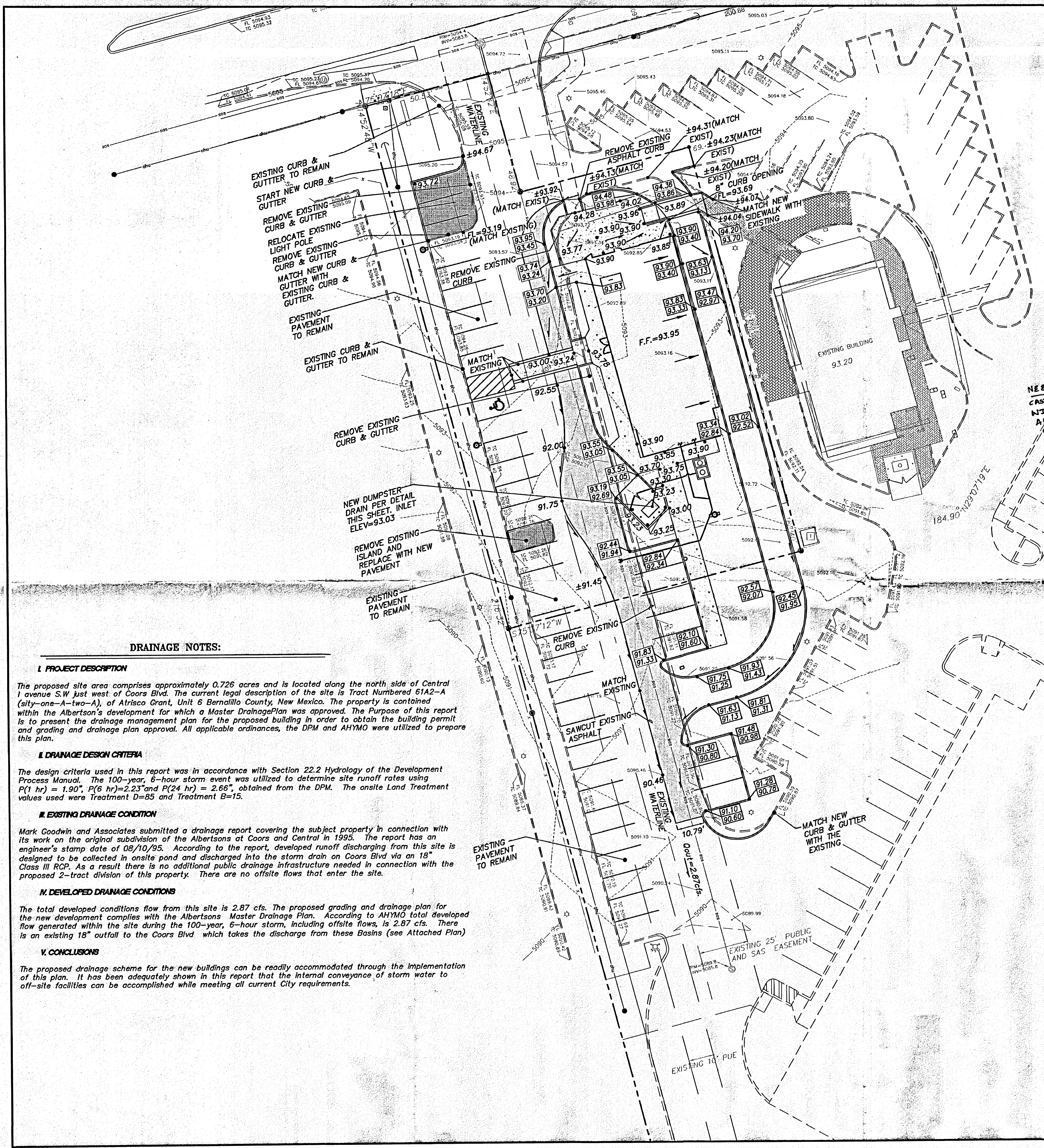
ISSUE DATE:
24 October, 2006

REVISIONS:
18 December, 2006

PROJECT 0621

Site Plan

SHEET
SDP-2
OF 5



DRAINAGE NOTES:

I. PROJECT DESCRIPTION

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II. DRAINAGE DESIGN CRITERIA

The design criteria used in this report was in accordance with Section 22.2 Hydrology of the Development Process Manual. The 100-year, 6-hour storm event was utilized to determine site runoff rates using $P(1 \text{ hr}) = 1.90"$, $P(6 \text{ hr}) = 2.23"$ and $P(24 \text{ hr}) = 2.66"$, obtained from the DPM. The onsite Land Treatment values used were Treatment D=85 and Treatment B=15.

III. EXISTING DRAINAGE CONDITION

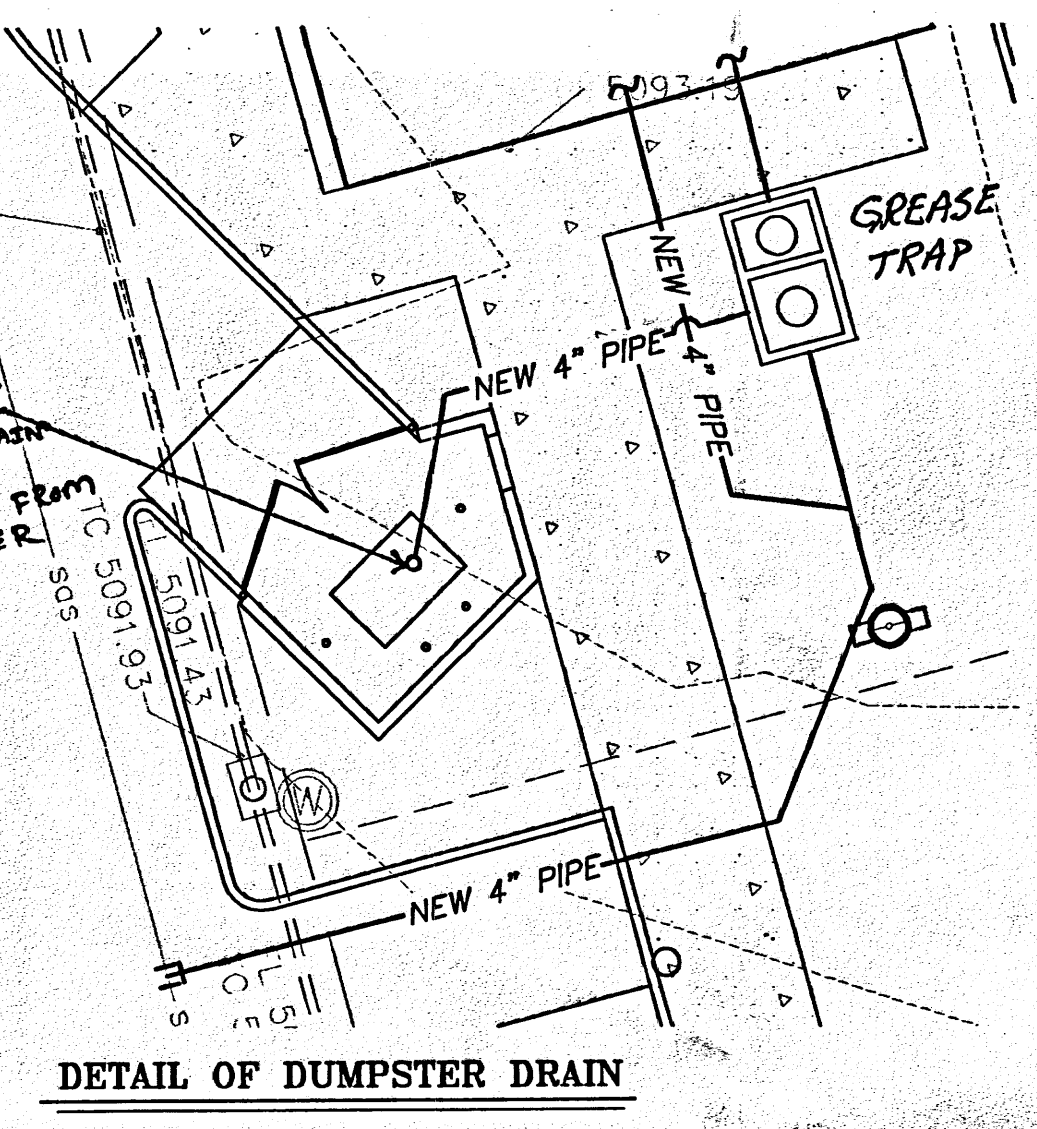
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IV. DEVELOPED DRAINAGE CONDITIONS

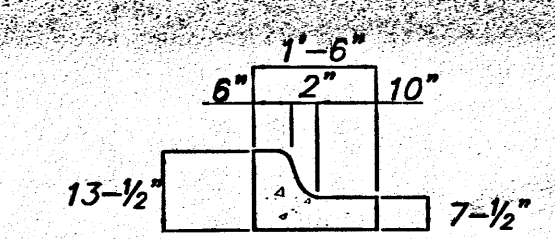
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V. CONCLUSIONS

The proposed drainage scheme for the new buildings can be readily accommodated through the implementation of this plan. It has been adequately shown in this report that the internal conveyance of storm water to off-site facilities can be accomplished while meeting all current City requirements.

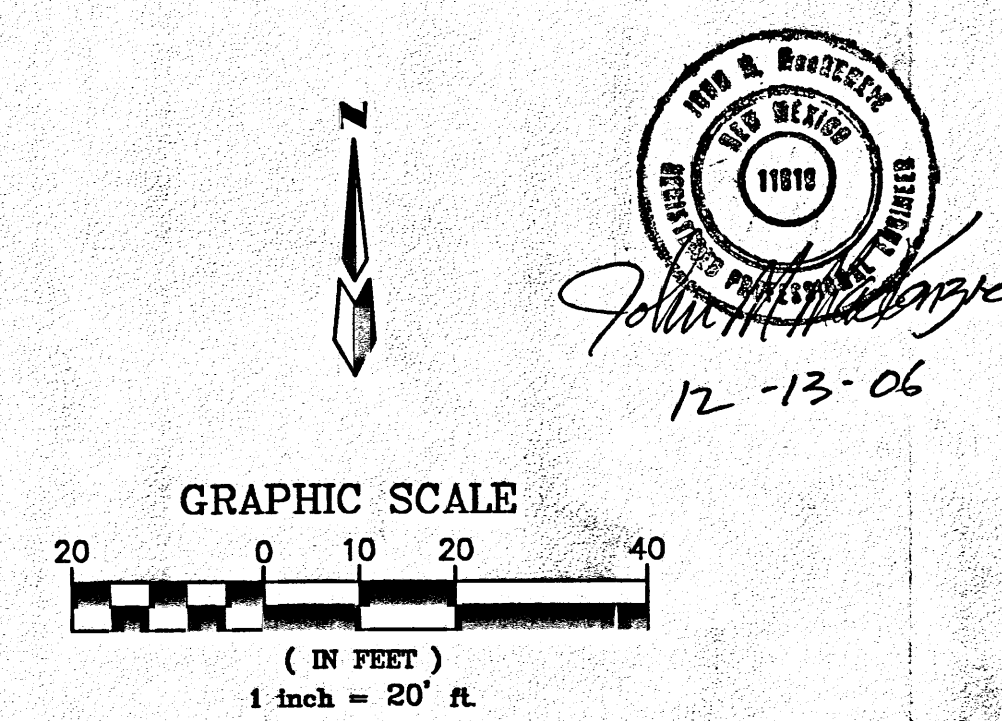


DETAIL OF DUMPSTER DRAIN



MEDIAN CURB & GUTTER

- NOTES:**
- EDGE OF THE NEW PAVEMENT SHALL MATCH FLUSH WITH EXISTING PAVEMENT SURFACE AT SAWCUT.
 - SHADED AREAS ARE TO BE REMOVED AND REPLACED TO NEW GRADE. NEW PAVEMENT SECTION SHALL MATCH EXISTING PAVEMENT SECTION.
 - ALL UNDER GROUND UTILITIES MAY NOT BE SHOWN CORRECTLY.



GRAPHIC SCALE
0 10 20 40
(IN FEET)
1 inch = 20' ft.

ACS BENCHMARK ZONE ATLAS MAP K-10-Z
ACS MONUMENT "5-K10" HAVING AN ELEVATION OF 5093.733 (NAD 1927).

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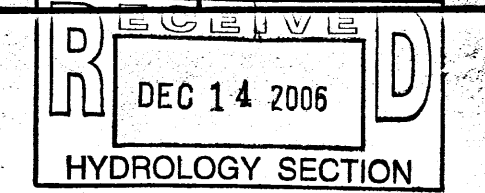
LEGEND

---	5085	EXISTING CONTOUR
---		EXISTING MEDIAN CURB & GUTTER
W		WATER METER
B		BOLLARD
T		TRANSFORMER
G		GAS METER
U		UTILITY PEDESTAL
W		WALL
U		OVERHEAD UTILITY LINES
W		GUY WIRE
L		LIGHT POST
S		SANITARY SEWER MANHOLE
S		SANITARY SEWER LINE
X		CHAIN LINK FENCE
V		WATER VALVE
F		FIRE HYDRANT
M		TELEPHONE MANHOLE
I		IRRIGATION BOX
U		UTILITY POLE
B		BACK OF CURB ELEVATION
F		FLOW LINE ELEVATION
S		GROUND SPOT ELEVATION
W		EX. WALK WAY
N		NEW MEDIAN CURB AND GUTTER PER CITY DWG #2215B
N		NEW SIDEWALK / PATIO AREA
F		FINISHED FLOOR
F		FLOW ARROWS
N		NEW SPOT ELEVATION
R		REMOVE EXISTING AND REPLACE WITH NEW PAVEMENT (SEE NOTES)
P		PROPOSED LIGHT FIXTURE
N		NEW PAVEMENT
R		ROOF DRAIN FLOW DIRECTION

KFC WEST CENTRAL
GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: PTK	Drawn: CAR	Checked: JMM	Sheet 1 of 1
Scale: 1" = 20'	Date: 8/24/2006	Job: A6082	



DEC 14 2006
HYDROLOGY SECTION

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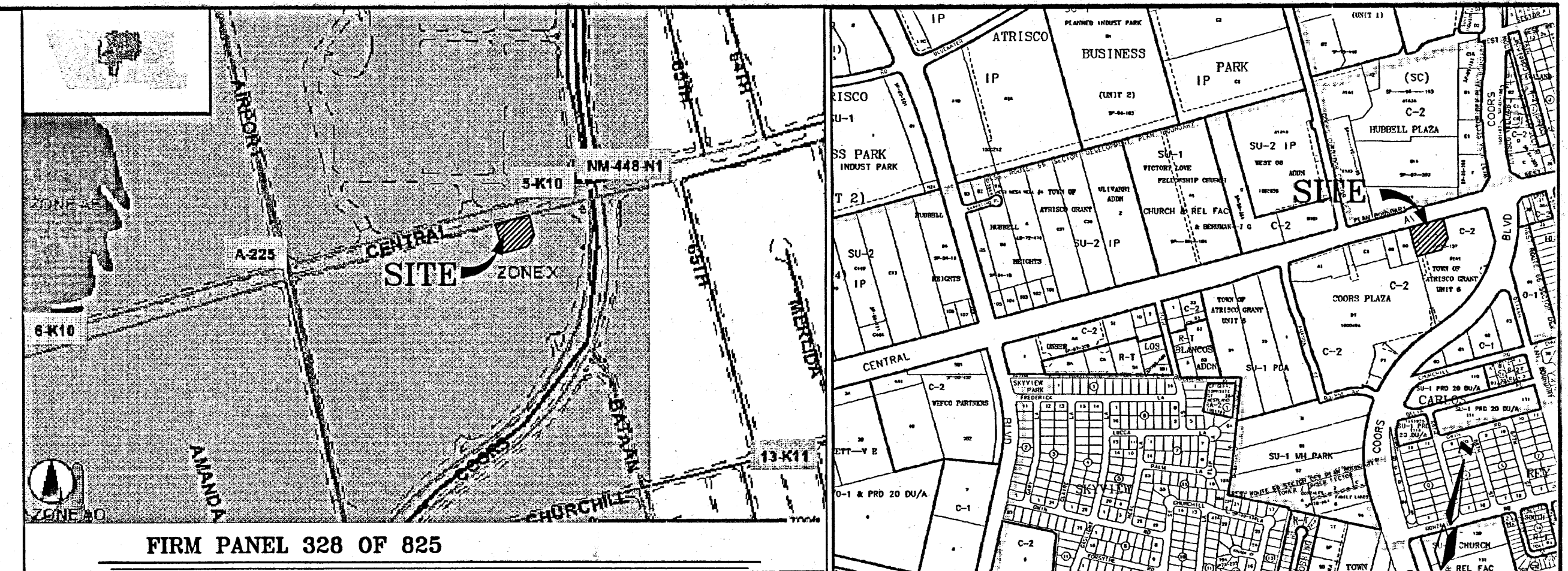
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FIRM PANEL 328 OF 825

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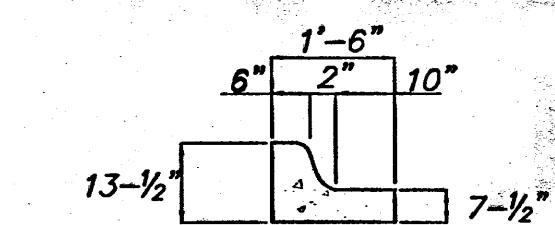
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LEGEND

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---		EXISTING MEDIAN CURB & GUTTER
○		WATER METER
■		BOLLARD
□		TRANSFORMER
○		GAS METER
□		UTILITY PEDESTAL
---		WALL
---		OVERHEAD UTILITY LINES
---		GUY WIRE
○		LIGHT POST
○		SANITARY SEWER MANHOLE
○		SANITARY SEWER LINE
○		CHAIN LINK FENCE
○		WATER VALVE
○		FIRE HYDRANT
○		TELEPHONE MANHOLE
○		IRRIGATION BOX
○		UTILITY POLE
○		BACK OF CURB ELEVATION
○		FLOW LINE ELEVATION
○		GROUND SPOT ELEVATION
○		EX. WALK WAY
○		NEW MEDIAN CURB AND GUTTER PER CITY DWG #2215B
○		NEW SIDEWALK / PATIO AREA
○		FINISHED FLOOR
○		FLOW ARROWS
○		NEW SPOT ELEVATION
○		REMOVE EXISTING AND REPLACE WITH NEW PAVEMENT (SEE NOTES)
○		PROPOSED LIGHT FIXTURE
○		NEW PAVEMENT
○		ROOF DRAIN FLOW DIRECTION

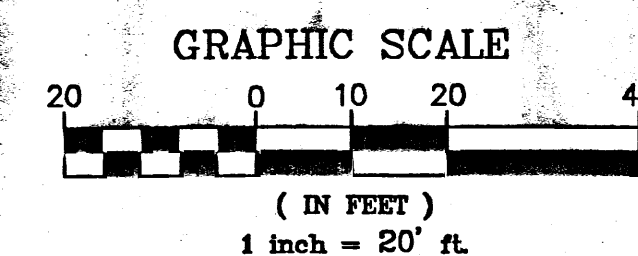
DETAIL OF DUMPSTER DRAIN



MEDIAN CURB & GUTTER

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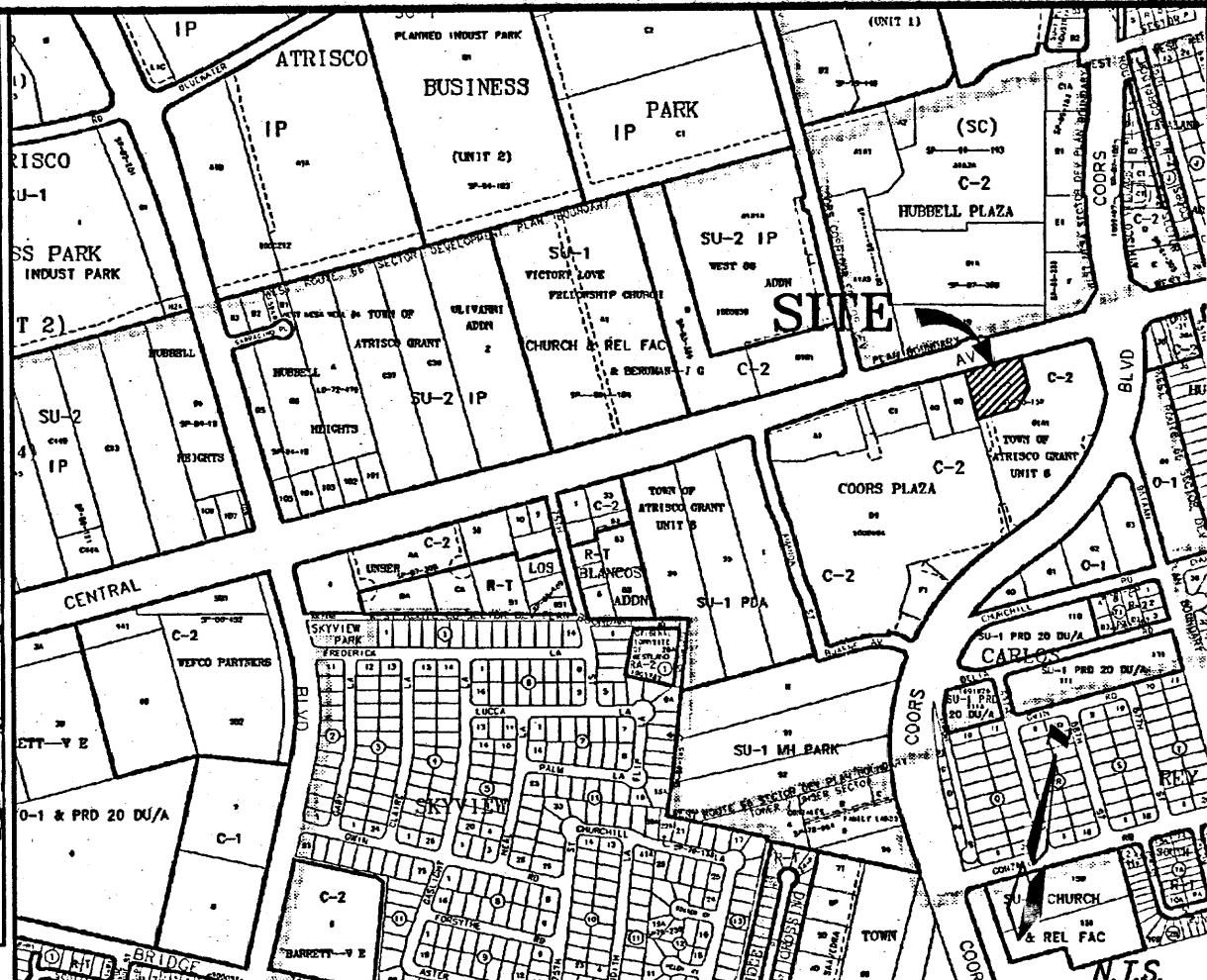
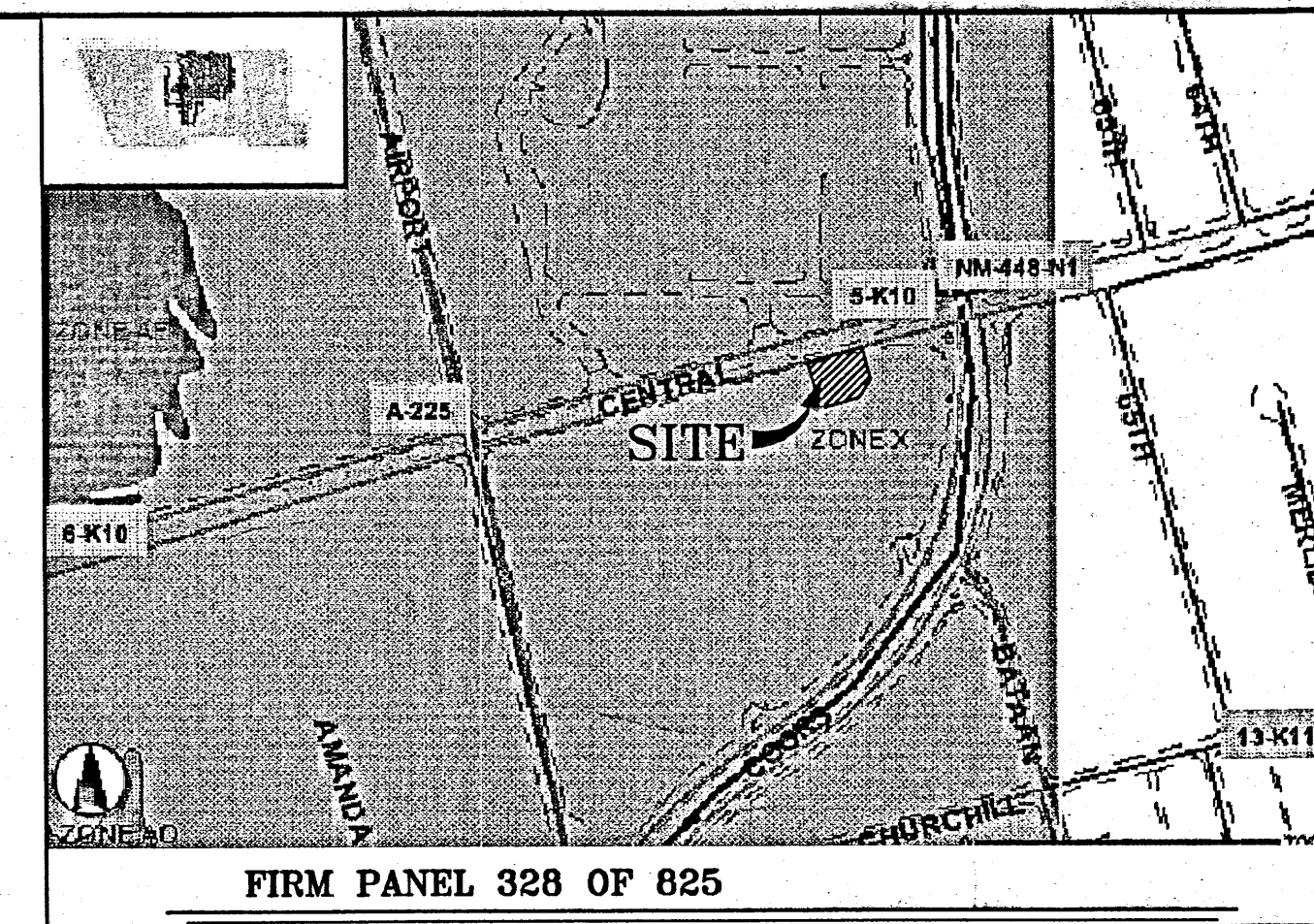
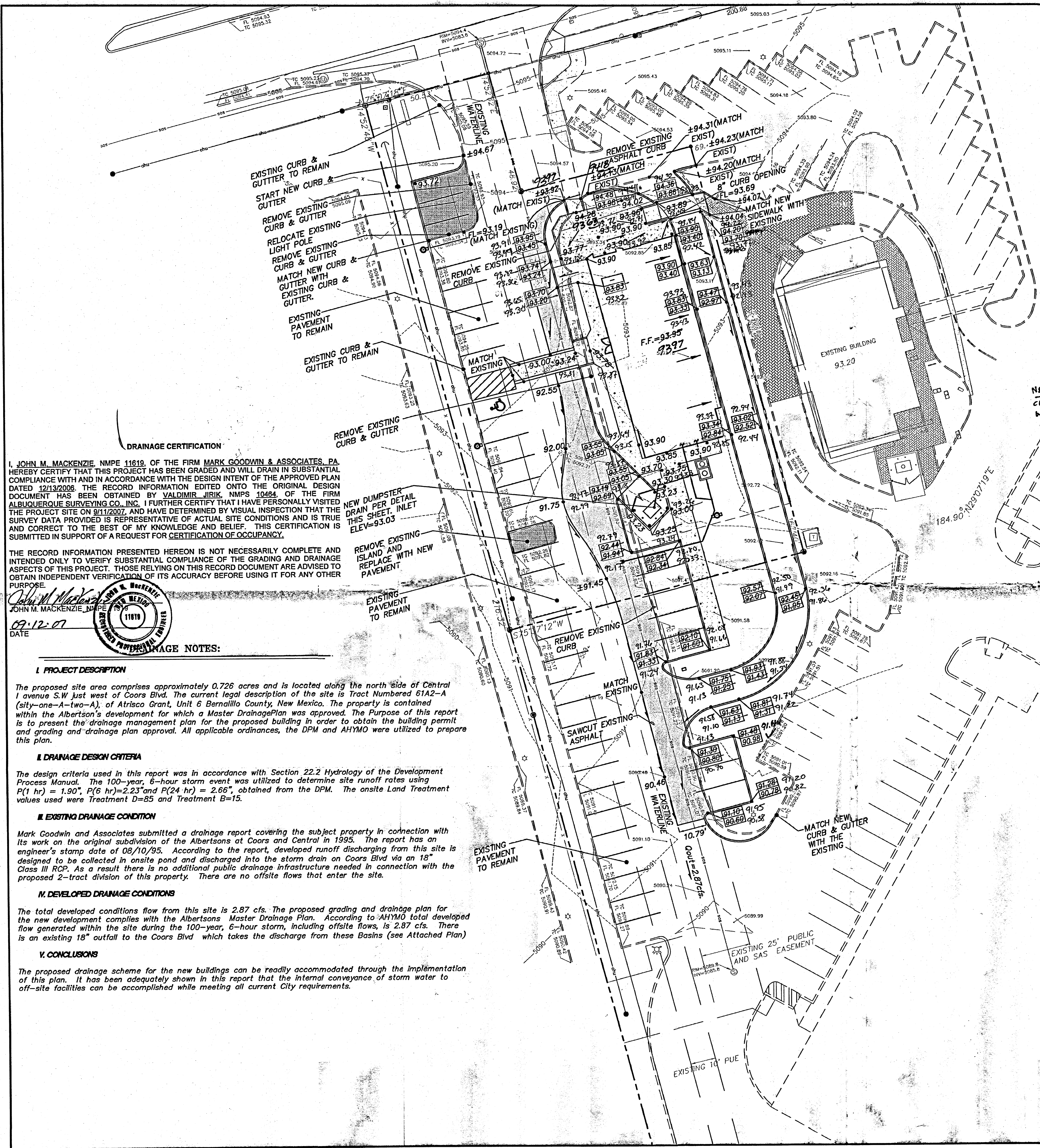


KFC WEST CENTRAL GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: PTK Drawn: CAR Checked: JMM Sheet 1 of 1
Scale: 1" = 20' Date: 8/24/2006 Job: A6082

A06jbs\A6082 KFC WEST CEN\DWG\A6082_GD.dwg 12-13-06 CAR



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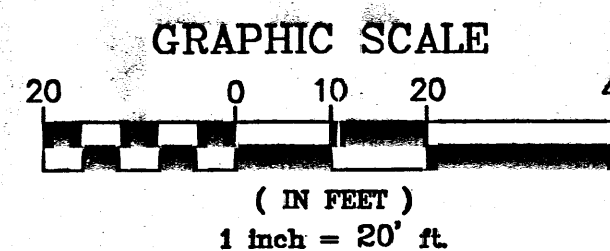
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SEP 12 2007
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I, JOHN M. MACKENZIE, NMPE 11619, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/13/2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY VALIMIR JIRIK, NMPS 10464, OF THE FIRM ALBUQUERQUE SURVEYING CO., INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/11/2007, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JOHN M. MACKENZIE, NMPE
09-12-07
DATE

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12-13-06

A06jobs\A6082 KFC WEST CEN\DWG\A6082_GD.dwg\12-13-06\CAR