

CITY OF ALBUQUERQUE



April 27, 2015

Jeff Wooten, P.E.
Wooten Engineering
3708 Saint Andrews SE
Rio Rancho, New Mexico 87124

**RE: Wendy's Restaurant (Coors/Central Retail)
Coors & Central
Grading and Drainage Plan
Engineers Stamp Date 2/16/15 (K10D025C)**

Dear Mr. Wooten,

Based upon the information provided in your submittal received 3/25/15, this plan is approved for Grading Permit and Building Permit.

Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

Albuquerque

New Mexico 87103

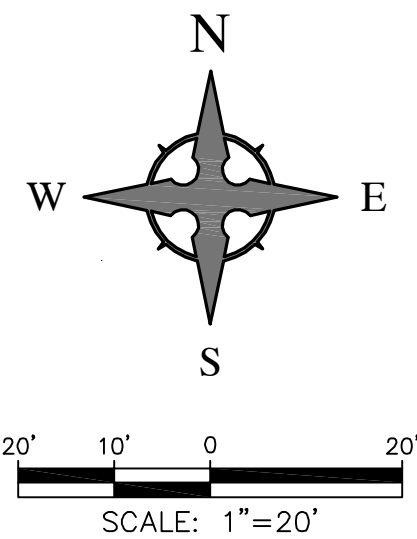
www.cabq.gov

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

RR/RH
C: File

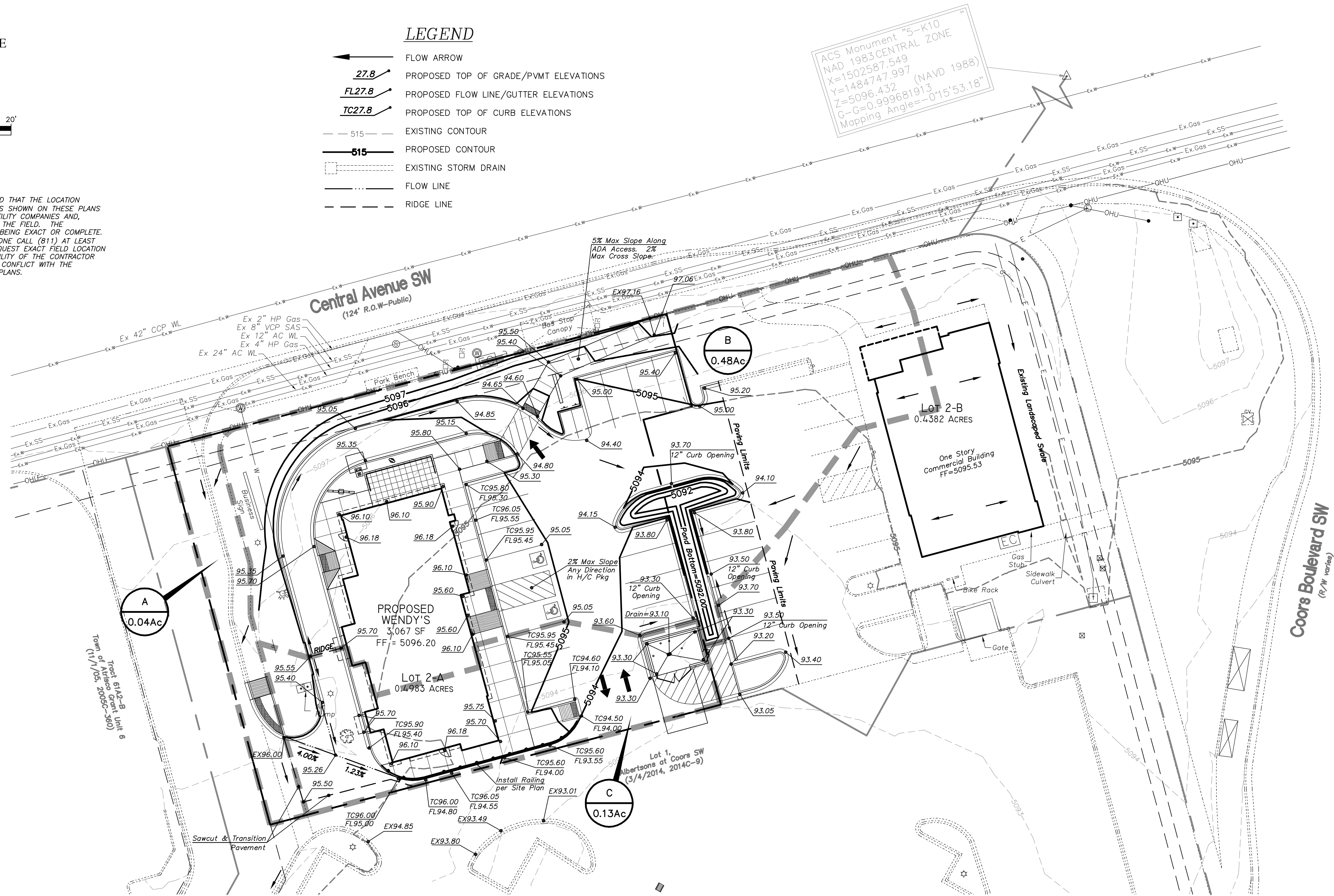


CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND

- ← FLOW ARROW
- 27.8** PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8** PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8** PROPOSED TOP OF CURB ELEVATIONS
- 515 — EXISTING CONTOUR
- 515 — PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE



DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final drainage management plan for the proposed Wendy's restaurant at the SWC of Coors Blvd and Central Blvd in Albuquerque, NM. The project consists of demolition of the existing parking lot and construction of the new Wendy's building and associated parking lot as well as new landscaping. The site contains approximately 0.4983 acres.

EXISTING HYDROLOGIC CONDITIONS

The site is currently developed as a parking lot that used to serve a gas station which was removed late in 2013. Surrounding streets and infrastructure are in place. There is a slight Teeth dental office building located on the Tract to the east and on the hard corner of Coors/Central. Refer to Hydrology File K10/D025C for additional information on this facility. The drainage from the site currently surface drains from north to south and enters a storm drain system located in the existing Albertson's parking lot. Basin Calculations for this site can be found on the Basin Calculations Table this sheet. Pre-Developed Analysis for these and all drainage calculations were performed using the COA DPM Section 22.2, released June 1997.

PROPOSED HYDROLOGIC CONDITIONS

The site will continue to drain to the existing storm drain system located in the Albertson's parking lot to the south. Per the Basin Calculations Table this sheet, there is a slight decrease in runoff discharging from the site during the 100-Year Storm. In addition, the site will provide a partial treatment of runoff by routing a majority of drainage through a new water harvesting pond located centrally to the site. The dental office facility located to the east will also benefit from this water harvesting pond. See below for First Flush Calculations.

FIRST FLUSH CALCULATIONS

The first flush volume impervious area is 17,945 SF(impervious Area)*0.34"/12 = 508 cubic feet. The pond provided contains +/-528.0 cubic feet which is sufficient to contain the first flush. The pond will discharge onto the parking lot at the south end of the water harvesting pond through a 12" wide curb opening.

CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meets city requirements. With this submittal, we are requesting approval of this plan for Grading Permit and Building Permit.

POND VOLUME PROVIDED (1.5:1 Side Slopes)

CONTOUR ELEVATION	AREA (SF)	VOLUME (CF)
5092.00	152 SF	270.5 CF
5093.00	389 SF	257.5 CF
5093.50	641 SF	528.0 CF

NOTE: THE ABOVE POND VOLUMES SHALL BE VERIFIED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

FIRST FLUSH SURFACE IS TO TOP OF COBBLE.

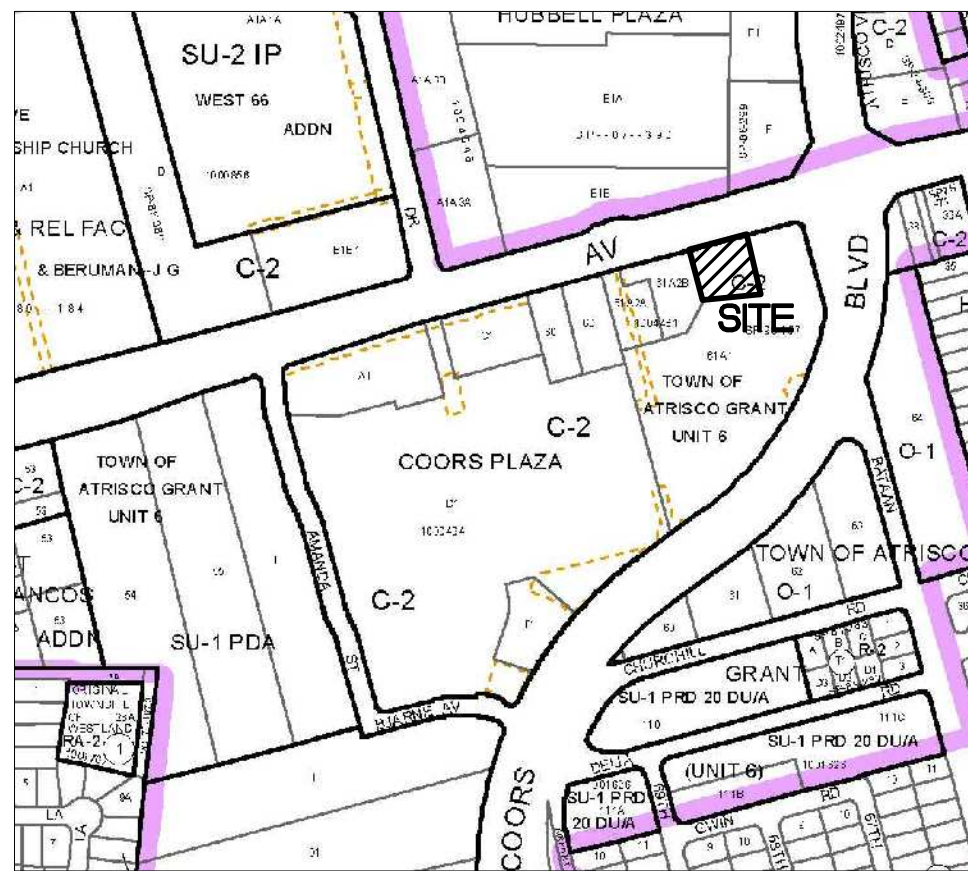
Existing Wendy's Drainage Calculations

This table is based on the COA DPM Section 22.2, Zone: I												
BASIN	Area	Area	Land Treatment Percentages				Q(100)	Q(100)	WTE	V(100) 360	V(100)1440	V(100)10day
	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	(CF)
A	1915	0.04	0.0%	0.0%	0.0%	100.0%	4.37	0.19	1.97	314	378	570
B	20727	0.48	0.0%	0.0%	0.0%	100.0%	4.37	2.08	1.97	3403	4094	6166
C	5727	0.13	0.0%	0.0%	15.0%	85.0%	4.15	0.54	1.82	870	1032	1519
TOTAL	28369	0.65						2.82		4587	5504	8255

Proposed Wendy's Drainage Calculations

Ultimate Development Conditions Basin Data Table

This table is based on the COA DPM Section 22.2, Zone: II												
BASIN	Area	Area	Land Treatment Percentages				Q(100)	Q(100)	WTE	V(100) ₃₆₀	V(100) ₁₄₄₀	V(100) _{10day}
	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	(CF)
A	1915	0.04	0.0%	0.0%	0.0%	100.0%	4.37	0.19	1.97	314	378	570
B	20727	0.48	0.0%	0.0%	15.0%	85.0%	4.15	1.97	1.82	3149	3736	5498
C	5727	0.13	0.0%	0.0%	0.0%	100.0%	4.37	0.57	1.97	940	1131	1704
TOTAL	28369	0.65						2.74		4403	5245	7771



VICINITY MAP - Zone Atlas K-9



FIRM MAP 35001C0329H

Per FIRM Map 35001C0329H, dated August 16, 2012, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 UPDATE NO. 8.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE CALL FOR LOCATION OF EXISTING UTILITIES. (NM ONE CALL = 811)
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05" FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05" FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

SITE NUMBER:	S7
BASE MODEL:	E2000
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	NEW
OWNER:	JAAB REST. HOLDINGS
BASE VERSION:	2015 JAN 28 R4
UPGRADE CLASSIFICATION:	FRAN NEW BUILD
PROJECT YEAR:	2015
FURNITURE PACKAGE:	2014
DESIGN BULLETINS:	THRU DB 2014-04



Darren Sowell
ARCHITECTS

4700 Lincoln N.E., Suite 111
Albuquerque, N.M. 87109
Phone: (505) 342-6200
Fax: (505) 342-6201

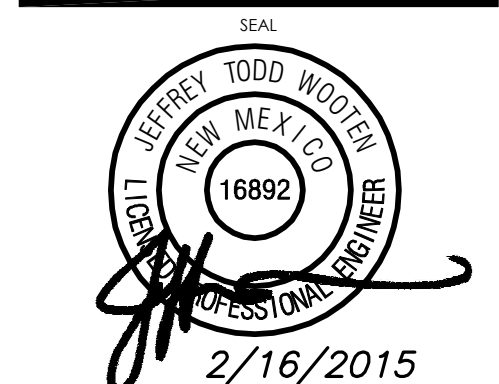
PROJECT TYPE: E2000
NEW

Wendy's

Albertsons at Coors SW
Albuquerque, New Mexico 87121

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ISSUE DATE: March 13, 2015
PROJECT NUMBER: 2015006
DRAWN BY: AP
CHECKED BY: JW



Grading Plan

SHEET NUMBER

C1

Wooten
Engineering
4700 Lincoln NE, Suite 111
Albuquerque, NM 87109
Ph: 505.980.3560