



**Planning Department
Transportation Development Services**

August 21, 2015

Dough Heller
Mullen Heller Architecture P.C.
1718 Central Ave., SW
Albuquerque, NM 87104

**Re: Perfect Teeth Dental Office
Certificate of Occupancy- Transportation Development
Administrative Amendment Date 6-13-14 (K10-D025C)
Certification dated 7-23-15**

Dear Doug Heller,

Based upon the information provided in your submittal received -15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division. Issuance is approved conditional upon the following issues:

- Removal of Temporary Construction Fencing
- Removal of Refuse Container

PO Box 1293

Albuquerque

New Mexico 87103 If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

www.cabq.gov

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\ via: email
C: CO Clerk, File

August 14, 2015

Racquel Michel, P.E., Transportation Development
Planning Department
Development and Building Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for
Perfect Teeth Dental Offices – Phase I
Address: 6660 Central Avenue SW., Albuquerque, NM 87121**

Dear Ms. Racquel Michel:

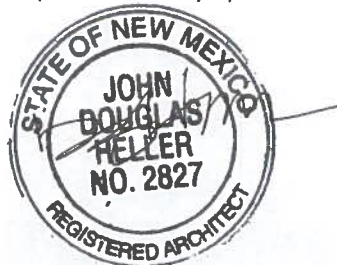
I, Douglas Heller, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Administrative Amendment (AA) approved amended site development plan for building permit on June 13, 2014 and February 19, 2015.

I further certify that I have personally visited the project site on July 23, 2015 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification (TCL approved Site Plan) for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

Sincerely,
Mullen Heller Architecture PC



Douglas Heller, AIA

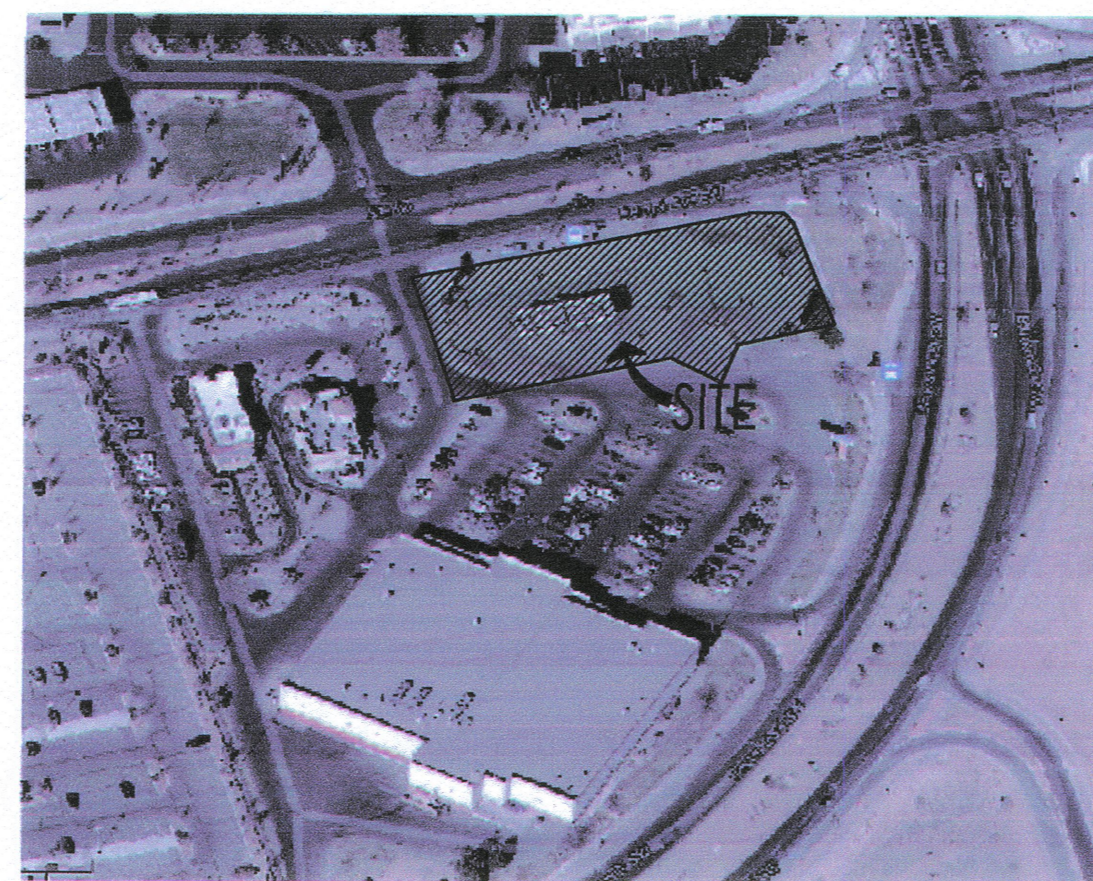
Attachment: Approved Administrative Amendment Site Plan – with revision redlines



LINE	LENGTH	BEARING
L1	31.55' (31.57')	S 28°56'24" W (S 29°00'47" W)
L2	32.93' (32.81')	S 60°55'26" E (S 60°59'13" E)
L3	14.89' (14.76')	N 75°07'36" E (N 75°07'18" E)
L4	32.72'	S 15°25'49" E
L5	17.10'	N 74°59'38" E
L6	18.50'	N 74°34'11" E
L7	20.73'	S 15°25'49" E
L8	18.50'	N 74°59'38" E

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	39.21' (39.21')	25.00' (25.00')	89°52'02"	35.31'	N 59°56'23" W

VICINITY MAP:



EASEMENT KEYED NOTES:

- [1] EXISTING 10' P.U.E. (10/01/2007, 2007C-283)
- [2] EXISTING PRIVATE CROSS LOT PRIVATE ACCESS, PARKING, AND PRIVATE UTILITY EASEMENT TO BENEFIT AND BE MAINTAINED BY ALL LOTS (8/28/1998, 9814-7205)
- [3] EXISTING 30' PRIVATE ACCESS EASEMENT (8/28/88, BK. 9814, PG. 7205)
- [4] EXISTING CROSS LOT DRAINAGE EASEMENT (8/10/1998, 98C-236)
- [5] EXISTING 6' PUBLIC SIDEWALK EASEMENT (06/19/09, 2009C-73)

KEYED NOTES:

- [1] PROPOSED REFUSE ENCLOSURE WITH STUCCO FINISH TO MATCH BUILDING COLOR.
- [2] PROPOSED LANDSCAPING AREA. REFER TO LANDSCAPING PLAN.
- [3] PROPOSED HANDICAP PAVEMENT SIGN.
- [4] PROPOSED STAMPED CONCRETE HANDICAP AISLE.
- [5] PROPOSED ASPHALT PAVING.
- [6] PROPOSED SITE LIGHTING. HEIGHT NOT TO EXCEED 20' TALL.
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- [14] EXISTING BUS STOP AND SHELTER TO REMAIN.
- [15] PROPOSED HANDICAP RAMP.
- [16] PROPOSED HANDICAP PARKING SIGNS. "VAN" WHERE NOTED.
- [17] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
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- [21] EXISTING CITY CURB AND GUTTER TO REMAIN.
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- [32] SIDEWALK CULVERT WITH METAL GRATE TOP TO BE FLUSH WITH TOP OF CONCRETE SIDEWALK. REFER TO CIVIL.
- [33] LANDSCAPING SWALE, REFER TO CIVIL.
- [34] 24" WIDE CURB OPENING.
- [35] NEW ELECTRICAL TRANSFORMER LOCATION. REFER TO ELECTRICAL SITE PLAN.

SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION:
 LOT 2 OF ALBERTSONS AT COORS SW., AS SHOWN ON THE PLAT ENTITLED "LOTS 1 AND 2, ALBERTSONS AT COORS SW. TOWN OF ATRISCO GRANT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO"

LAND AREA:
 0.9357 ACRES (40,761 SQ. FT.)

CURRENT ZONING:
 C-2 (WEST ROUTE 66 SECTOR DEVELOPMENT PLAN)

ZONE ATLAS PAGE:
 K-10-Z

PROPOSED USES:
 - ALL USES PERMITTED IN THE C-2 ZONES

BUILDING AREAS:
 PROPOSED BUILDING A 2,800 SF.
 PROPOSED BUILDING B 2,900 SF.
 TOTAL BUILDING AREA = 5,700 SF.

SITE DEVELOPMENT GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [D] EXTERIOR MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE ARCHITECTURALLY SCREENED. LOCATION OF SUCH EQUIPMENT WITHIN THE BUILDING OR AT GROUND LEVEL IS PREFERABLE TO ROOF-MOUNTING, UNLESS SUCH LOCATION WOULD ADVERSELY EFFECT THE STREETScape, PEDESTRIAN CIRCULATION, OR OPEN SPACE. ROOF MOUNTED EQUIPMENT SHOULD BE OF A LOW PROFILE TO MINIMIZE THE SCREENING PROBLEM.

SITE DEVELOPMENT SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
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- [C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

PARKING CALCULATIONS: PROPOSED DEVELOPMENT

PROPOSED BUILDING A	2,800 SF / 200 = 14 SPACES
PROPOSED BUILDING B	2,900 SF / 200 = 15 SPACES
TOTAL REQUIRED	29 SPACES

TRANSIT REDUCTIONS:
 29 SPACES REQ'D x 15% REDUCTION = (PROXIMITY TO BUS STOP AND ROUTE 766, 66 & 155)
 29 x 15% = 4.35 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED = 25 SPACES
 TOTAL PARKING SPACES PROVIDED = 25 SPACES

22 REGULAR SPACES
 2 HANDICAP PARKING SPACES
 1 COMPACT SPACE

DISABLED PARKING REQUIREMENTS:
 TOTAL DISABLED SPACES REQUIRED = 2 SPACES
 TOTAL DISABLED SPACES PROVIDED = 2 SPACES

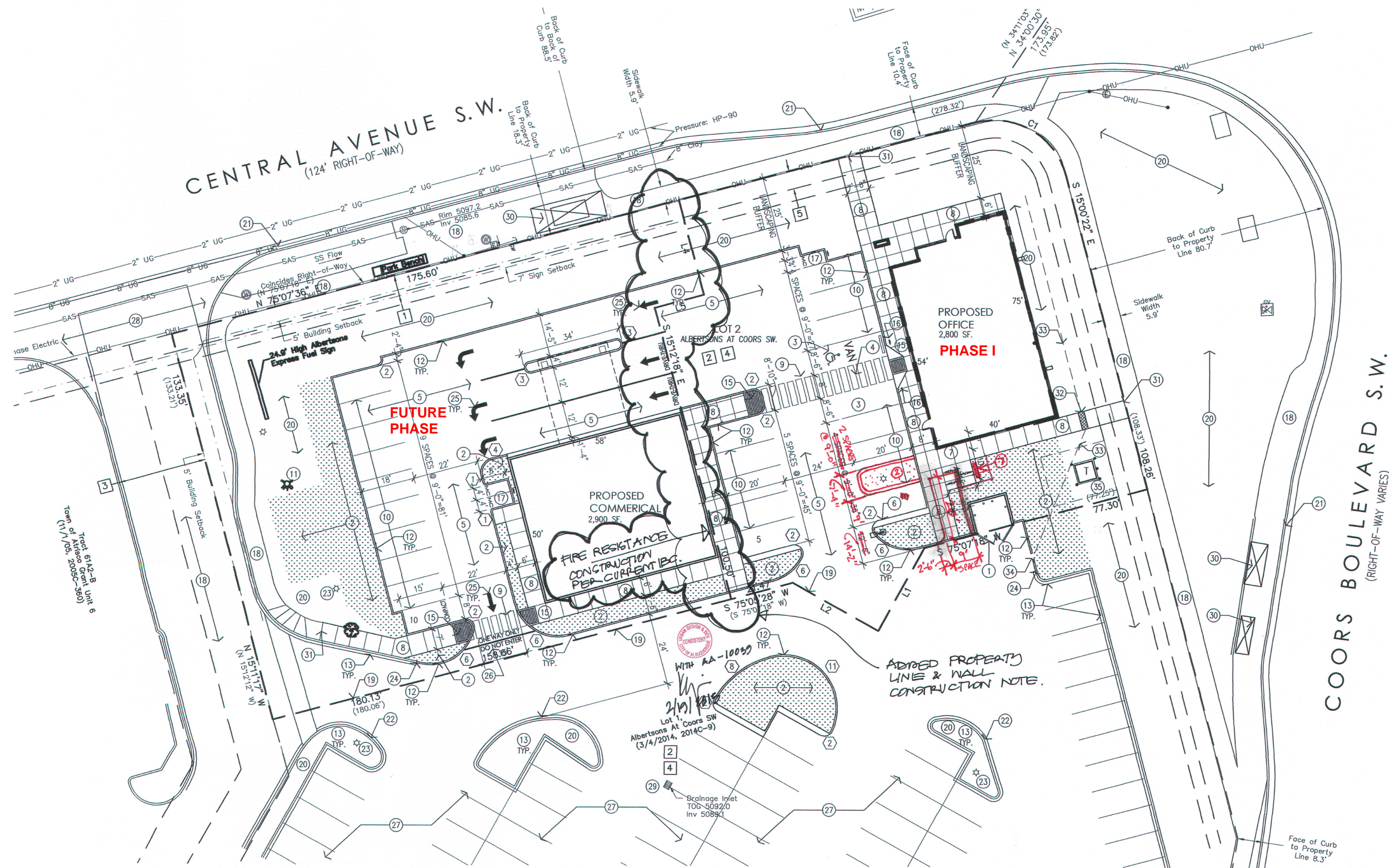
MOTORCYCLE REQUIREMENTS:
 TOTAL MOTORCYCLE SPACES REQUIRED = 2 SPACES
 TOTAL MOTORCYCLE SPACES PROVIDED = 2 SPACES

COMMERCIAL BICYCLE REQUIREMENTS:
 1 BICYCLE SPACE FOR EACH 20 PARKING SPACES = 25 PARKING SPACES / 20 = 1 TOTAL SPACES REQUIRED

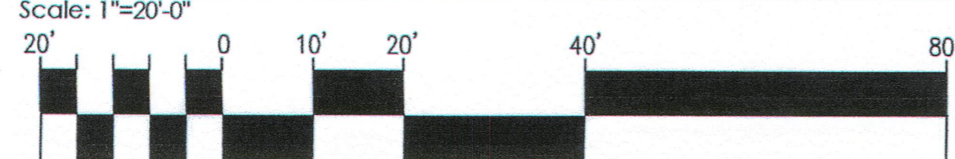
TOTAL BICYCLE SPACES REQUIRED = 1 SPACE
 TOTAL BICYCLE SPACES PROVIDED = 3 SPACES

RADIUS INFORMATION:

- 1 = 2'-0" 5 = 10'-0" 9 = 35'-0"
- 2 = 3'-0" 6 = 15'-0" 10 = 40'-0"
- 3 = 4'-0" 7 = 25'-0" 11 = 18'-0"
- 4 = 5'-0" 8 = 30'-0"

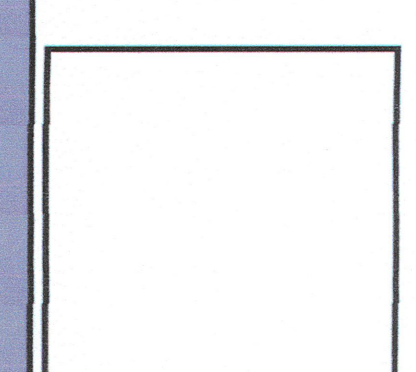


1 Amended Site Development Plan for Building Permit



rev	date	by	revision
1			
2			
3			
4			
5			

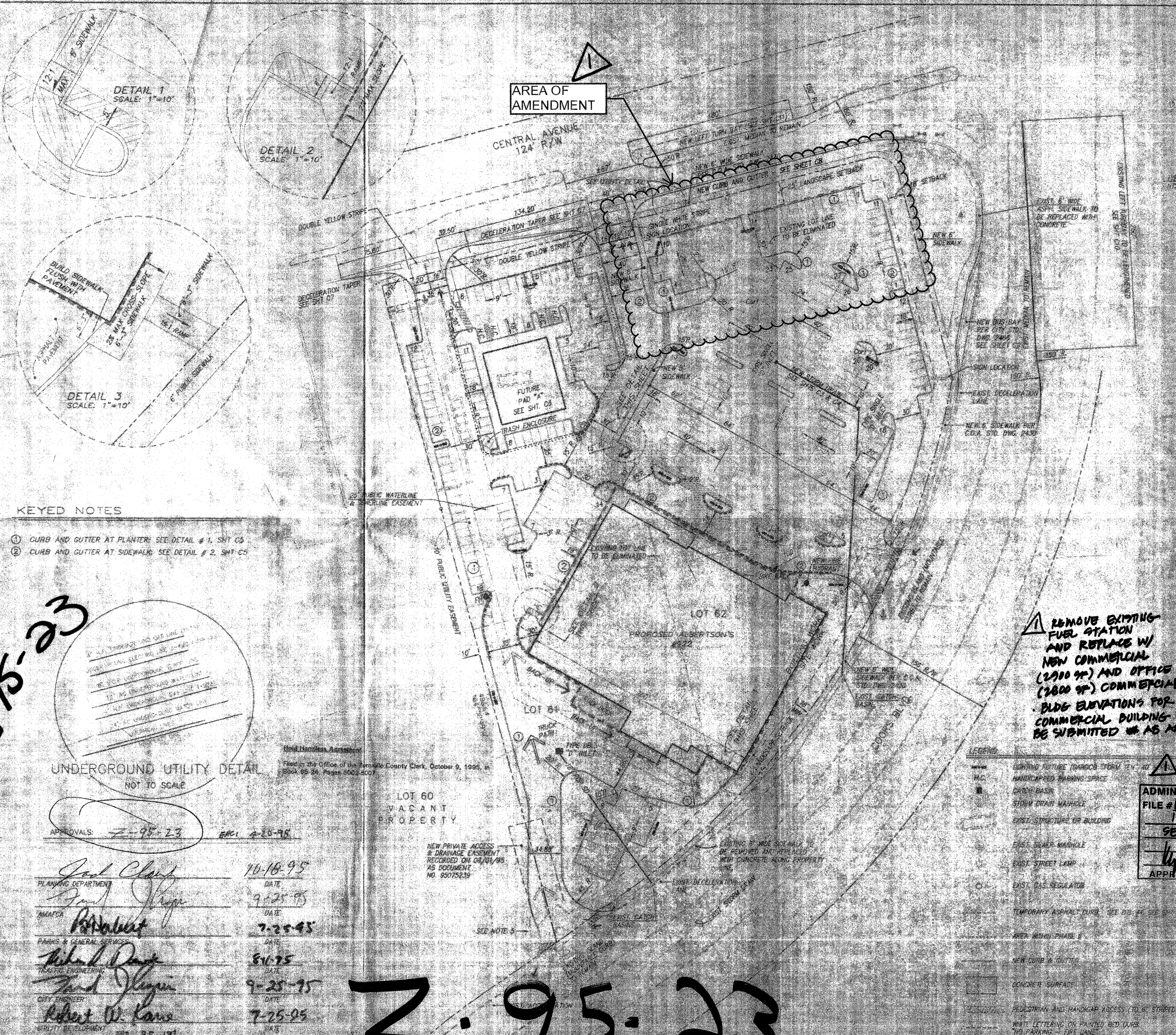
MH
 Mullen Heller
 Architecture P.C.
 924 Park Avenue SW
 Suite B
 Albuquerque 87102
 505 268 4144 [p]
 505 268 4244 [f]



job number: 13-25
 drawn by: mws
 project manager: Douglas Heller, AIA
 date: 05/14/14

project title: Coors and Central Retail Development
 SouthWest Corner of Coors Boulevard and Central Avenue SW.
 Albuquerque, New Mexico 87121
 sheet title: Site Plan for Administrative Amendment

sheet: A001



DETAIL 1
SCALE: 1"=10'

DETAIL 2
SCALE: 1"=10'

DETAIL 3
SCALE: 1"=10'

AREA OF AMENDMENT

CENTRAL AVENUE
124' R/W

LOT 52
PROPOSED ALBERTSON'S #322

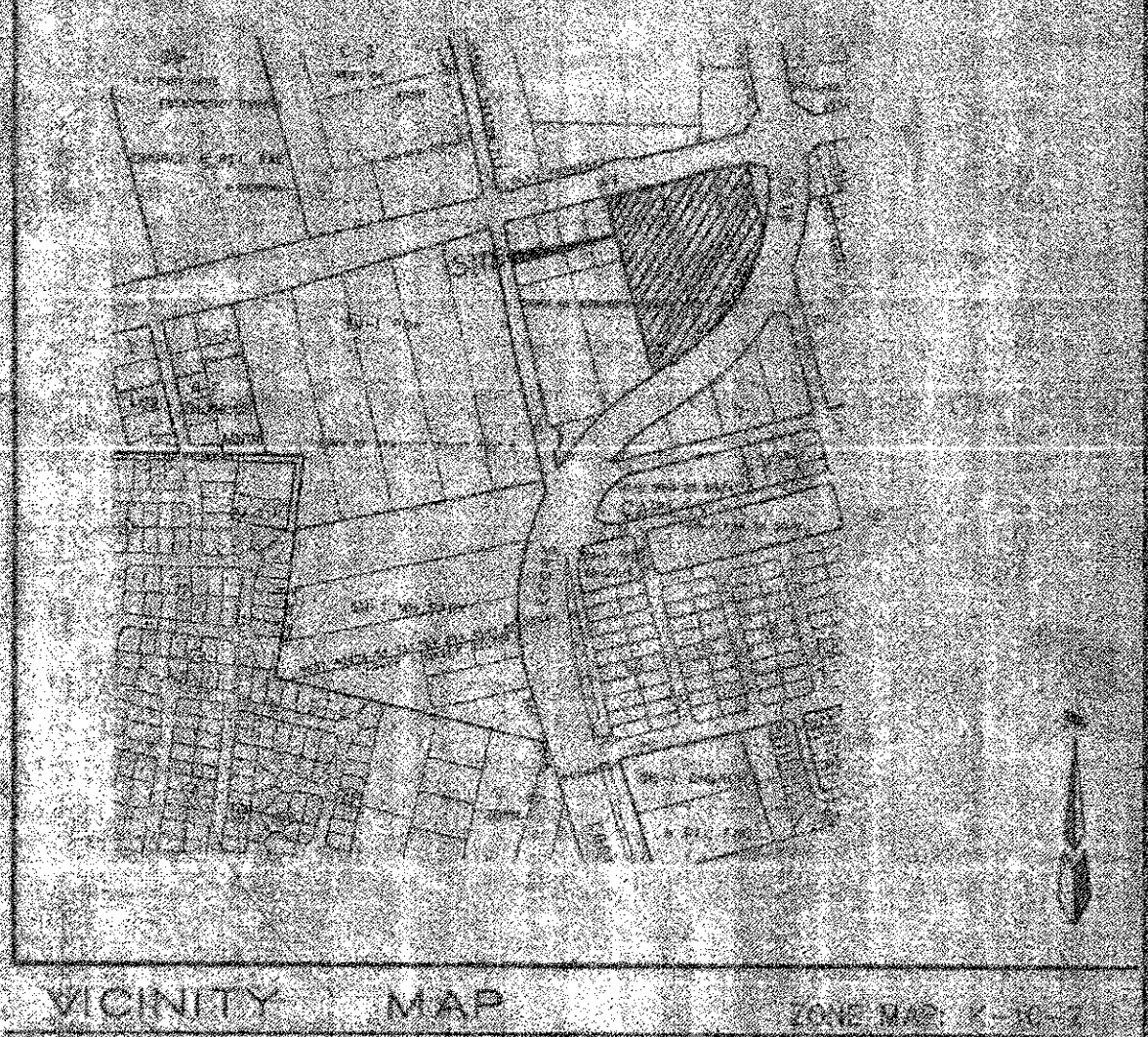
LOT 54

LOT 60
VACANT
PROPERTY

NEW PRIVATE ACCESS
& DRAINAGE EASEMENT
RECORDED ON 08/01/95
AS DOCUMENT
NO. 95075239

REMOVE EXISTING
FUEL STATION
AND REPLACE W/
NEW COMMERCIAL
(2900 SF) AND OFFICE
(2800 SF) COMMERCIAL BUILDING.
BLDG ELEVATIONS FOR
COMMERCIAL BUILDING MUST
BE SUBMITTED W/ AS AN AX.

ADMINISTRATIVE AMENDMENT
FILE #141A PROJECT #1006543
10059
SEE
APPROVED BY DATE 6-15-2014



TABULATIONS

SITE	BUILDING AREA	PARKING SPACES		HANDICAP SPACES	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
ALBERTSON'S	57,545 SQ. FT.	258	282	8	8
PAD 'A'	5,600 SQ. FT.	30	21	3	4
TOTAL	63,145 SQ. FT.	288	303	11	12

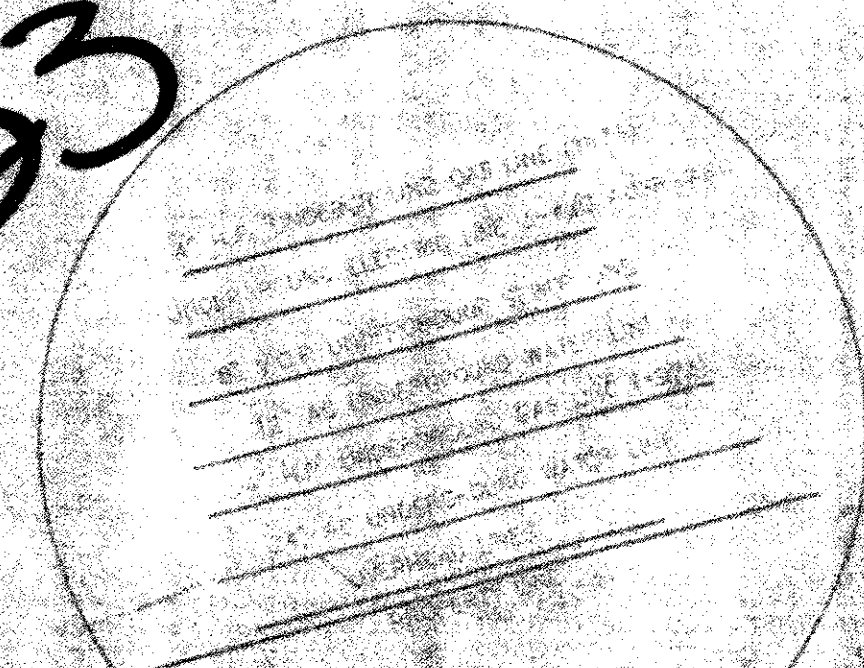
PROVIDED 57,145

TABULATIONS

LAN. NO. OF STREETS REQUIRED	PAVED AREA	LANDSCAPED AREA EXCLUDING SETBACKS	TOTAL LANDSCAPED AREA
25	188,825 SQ. FT.	28,237 SQ. FT.	217,062 SQ. FT.

KEYED NOTES

- 1 CURB AND GUTTER AT PLANTER: SEE DETAIL # 1, SHT. C5
- 2 CURB AND GUTTER AT SIDEWALK: SEE DETAIL # 2, SHT. C5



UNDERGROUND UTILITY DETAIL
NOT TO SCALE

APPROVALS: Z-95-23 ENCL. 2-20-95

10-16-95
 PLANNING DEPARTMENT DATE
 9-25-95
 AMANDA DATE
 7-25-95
 PARKS & GENERAL SERVICES DATE
 8-16-95
 HEALTH ENGINEERING DATE
 9-25-95
 CITY ENGINEER DATE
 7-25-95
 UTILITY DEVELOPMENT DATE

- LEGEND
- EXISTING FUTURE (DARGO) FORM 214 AD
 - HANDICAPPED PARKING SPACE
 - CURB BASH
 - STREET SWATH MANHOLE
 - FIRST STRUCTURE OR BUILDING
 - EAST STREET MANHOLE
 - EAST STREET LAMP
 - EAST GAS REGULATOR
 - TEMPORARY ASPHALT CURB (SEE BB-24 SEE SPACES)
 - AREA WITHIN PHASE II
 - NEW CURB & GUTTER
 - CONCRETE SURFACE
 - PEDESTRIAN AND HANDICAP ACCESS TO ST. STRIPED OR PAVED
 - BEST LETTERING ON PAINTED RED CURB "NO PARKING - FIRE LANE"

ALBERTSON'S - COORS & CENTRAL
SITE DEVELOPMENT PLAN FOR BUILDING

D.M.G. CONSULTING ENGINEERS & SURVEYORS
 P.O. BOX 90806
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 345-5010

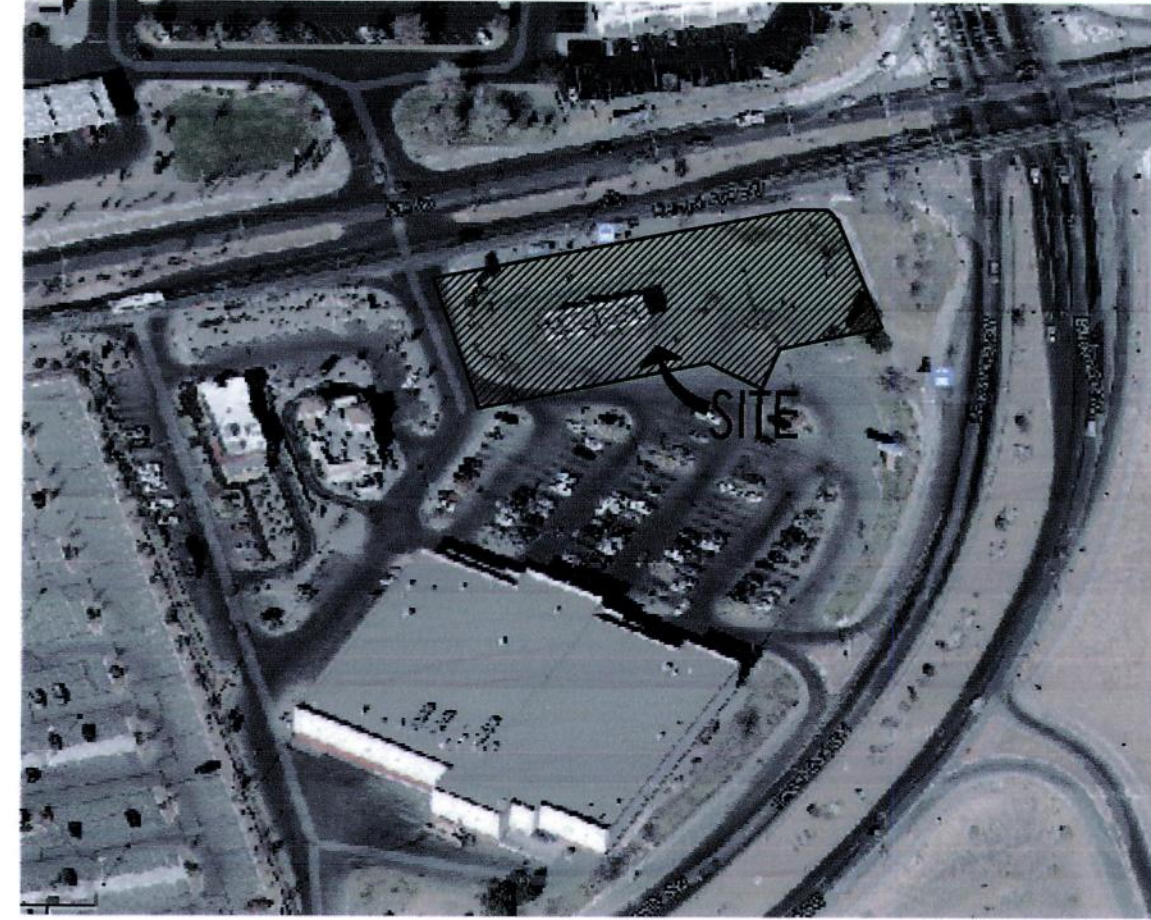
Z-95-23

Z-95-23

LINE TABLE		
LINE	LENGTH	BEARING
L1	31.55' (31.57')	S 28°56'24" W (S 29°00'47" W)
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CURVE TABLE				
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VICINITY MAP:



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LAND AREA:
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CURRENT ZONING:
 C-2 (WEST ROUTE 66 SECTOR DEVELOPMENT PLAN)

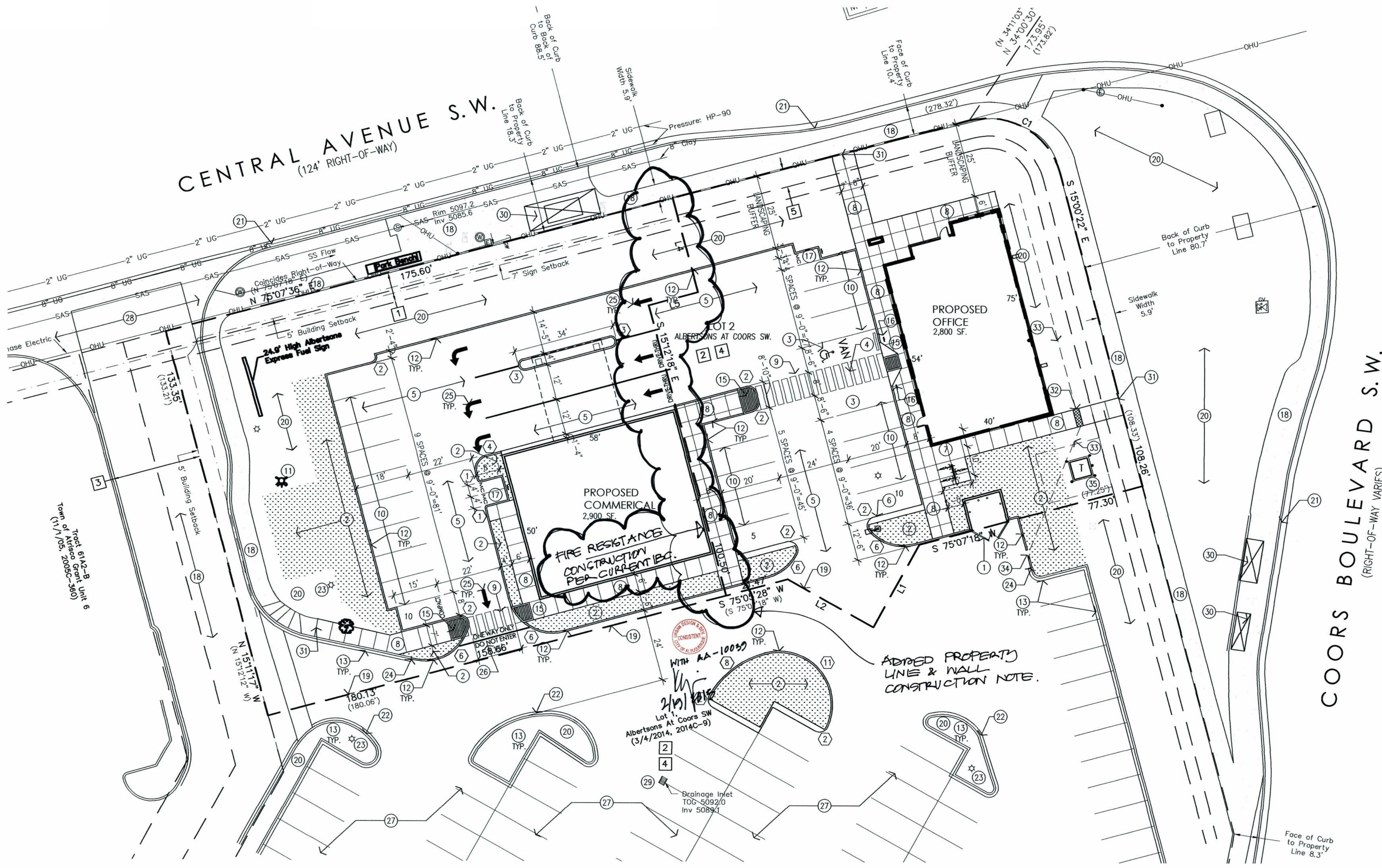
ZONE ATLAS PAGE:
 K-10-2

PROPOSED USES:
 - ALL USES PERMITTED IN THE C-2 ZONES

BUILDING AREAS:
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 PROPOSED BUILDING B 2,900 SF.
 TOTAL BUILDING AREA = 5,700 SF.

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PARKING CALCULATIONS: PROPOSED DEVELOPMENT

PROPOSED BUILDING A	14 SPACES
2,800 SF./200	
PROPOSED BUILDING B	15 SPACES
2,900 SF./200	
TOTAL REQUIRED	29 SPACES

TRANSIT REDUCTIONS:
 29 SPACES REQ'D x 15% REDUCTION = (PROXIMITY TO BUS STOP AND ROUTE 766, 66 & 155)
 29 x 15% = 25 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED = 25 SPACES
TOTAL PARKING SPACES PROVIDED = 25 SPACES

22 REGULAR SPACES
 2 HANDICAP PARKING SPACES
 1 COMPACT SPACE

DISABLED PARKING REQUIREMENTS:
 TOTAL DISABLED SPACES REQUIRED = 2 SPACES
 TOTAL DISABLED SPACES PROVIDED = 2 SPACES

MOTORCYCLE REQUIREMENTS:
 TOTAL MOTORCYCLE SPACES REQUIRED = 2 SPACES
 TOTAL MOTORCYCLE SPACES PROVIDED = 2 SPACES

COMMERCIAL BICYCLE REQUIREMENTS:
 1 BICYCLE SPACE FOR EACH 20 PARKING SPACES = 25 PARKING SPACES/20 = 1 TOTAL SPACES REQUIRED

TOTAL BICYCLE SPACES REQUIRED = 1 SPACE
 TOTAL BICYCLE SPACES PROVIDED = 3 SPACES

RADIUS INFORMATION:

1 = 2'-0"	5 = 10'-0"	9 = 35'-0"
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Amended Site Development Plan for Building Permit

Scale: 1"=20'-0"

revision by date

rev 1 2 3 4 5

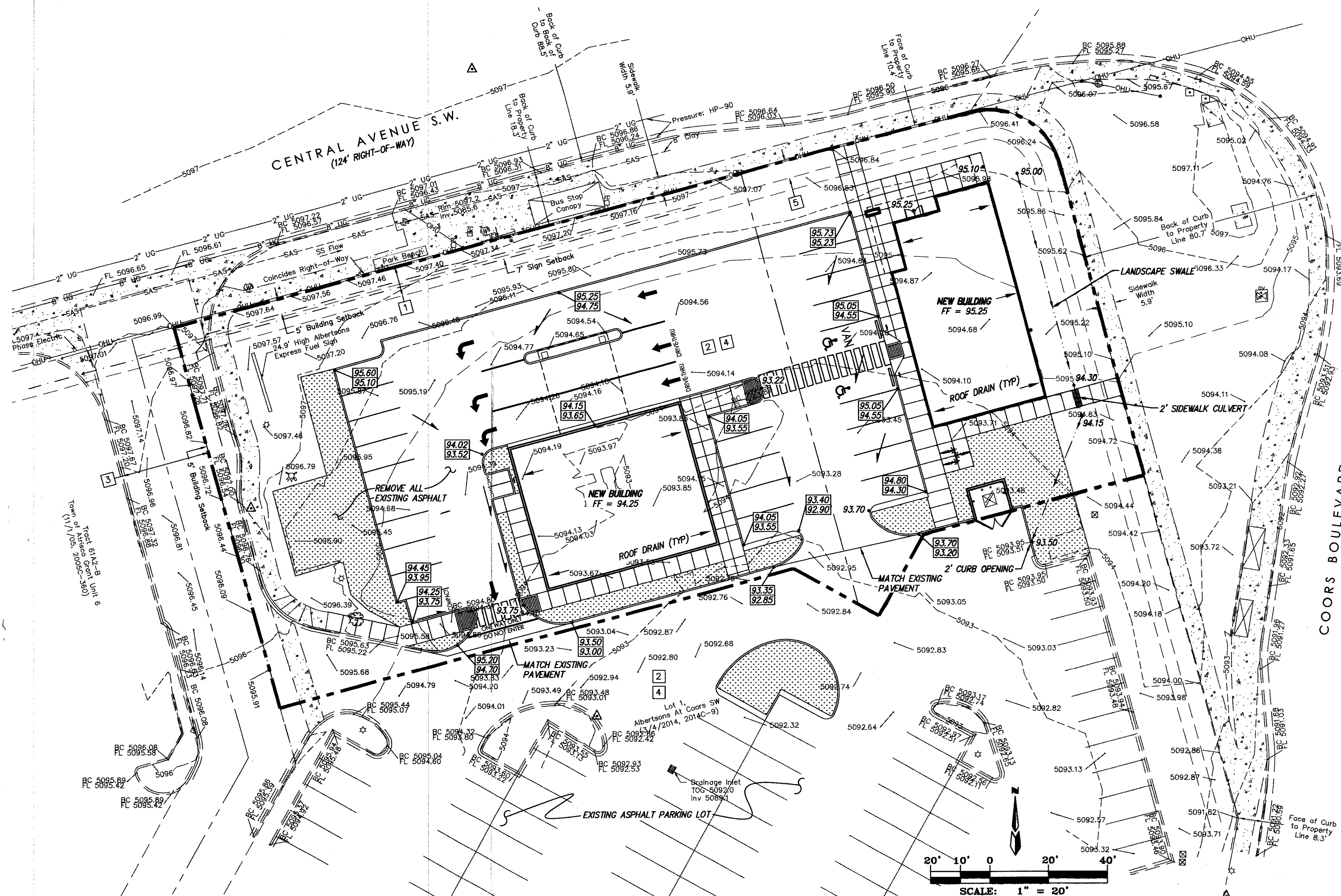
Mullen Heller Architecture P.C.
 924 Park Avenue SW Suite B
 Albuquerque 87102
 505 268 4144 [p]
 505 268 4244 [f]

13-25 myms
 job number drawn by project manager Douglas Heller, AIA
 date 05/15/14

project title
Coors and Central Retail Development
 Southwest Corner of Coors Boulevard and Central Avenue SW.
 Albuquerque, New Mexico 87121

sheet title
Site Plan for Administrative Amendment

sheet
A001



LEGAL DESCRIPTION

TRACT 61A1B, TOWN OF ATRISCO GRANT UNIT NO. 6

ACS BENCHMARK

THE STATION IS AN ACS 3/4" ALUMINUM CAP SET FLUSH IN THE TOP OF CURB AND IS STAMPED "5-K10, 1989". TO REACH THE STATION FROM THE INTERSECTION OF I-40 & COORS BLVD., TRAVEL SOUTH ON COORS BLVD. 1.89 MILES TO THE INTERSECTION OF CENTRAL AVE. & COORS BLVD. THE STATION IS 52.6' NORTH OF CENTRAL AVE., AND IS 2.7' WEST OF BACK OF CURB ON THE ISLAND.
 X = 362,341.63, Y = 1,484,685.30, Z = 5093.73

LEGEND

- 5520 --- EXISTING MAJOR CONTOURS
- 5518 --- EXISTING MINOR CONTOURS
- --- EXISTING LOT LINES
- --- EXISTING CURB & GUTTER
- --- EXISTING STORM DRAIN INLET
- --- EXISTING STORM DRAIN MANHOLE
- --- EXISTING SANITARY SEWER MANHOLE
- --- EXISTING TOP OF BACK CURB ELEVATION
- --- EXISTING FLOW LINE ELEVATION
- 97.73 x EXISTING SPOT ELEVATION
- --- EXISTING WATER METER
- --- EXISTING FIRE HYDRANT
- --- EXISTING WATER GATE VALVE
- --- EXISTING SIGN
- --- EXISTING TRAFFIC CONTROL BOX
- --- EXISTING POWER POLE
- --- EXISTING STREET LIGHT
- --- EXISTING OVERHEAD UTILITIES
- --- EXISTING SANITARY SEWER LINE
- --- EXISTING UNDER GROUND UTILITY
- --- NEW LOT LINES
- --- NEW LOT LINES
- --- NEW ESTATE CURB & GUTTER
- --- HIGH POINT/WATER BLOCK
- 78.00• NEW SPOT ELEVATION
- 78.25 NEW TOP OF CURB ELEVATION
- 78.00 NEW FLOWLINE ELEVATION
- 78.25 TW NEW TOP OF WALL ELEVATION
- 78.00 BW NEW BOTTOM OF WALL ELEVATION
- --- NEW FLOW DIRECTION ARROW
- --- NEW LANDSCAPE SWALE

PROJECT DESCRIPTION

THIS PROJECT REPLACES A GAS STATION COMPONENT OF AN EXISTING ALBERTSONS. THE EXISTING GAS STATION DRAINS TO AN EXISTING TYPE "D" INLET IN THE ALBERTSONS PARKING LOT. THE PARKING LOT ACTS AS A DETENTION POND WITH THE TYPE "D" INLET ACTING AS THE CONTROLLED OUTFALL. NEW PROJECT DECREASES IMPERVIOUS AREA BY 4446.20 S.F.

Easement Notes

- 1 EXISTING 10' P.U.E. (10/01/2007, 2007C-283)
- 2 EXISTING PRIVATE CROSS LOT PRIVATE ACCESS, PARKING, AND PRIVATE UTILITY EASEMENT TO BENEFIT AND BE MAINTAINED BY ALL LOTS (8/28/1998, 9814-7205)
- 3 EXISTING 30' PRIVATE ACCESS EASEMENT (8/28/88, BK. 9814, PG. 7205)
- 4 EXISTING CROSS LOT DRAINAGE EASEMENT (8/10/1998, 98C-236)
- 5 EXISTING 6' PUBLIC SIDEWALK EASEMENT (06/19/09, 2009C-73)

revision	
by	
date	
rev	1, 2, 3, 4



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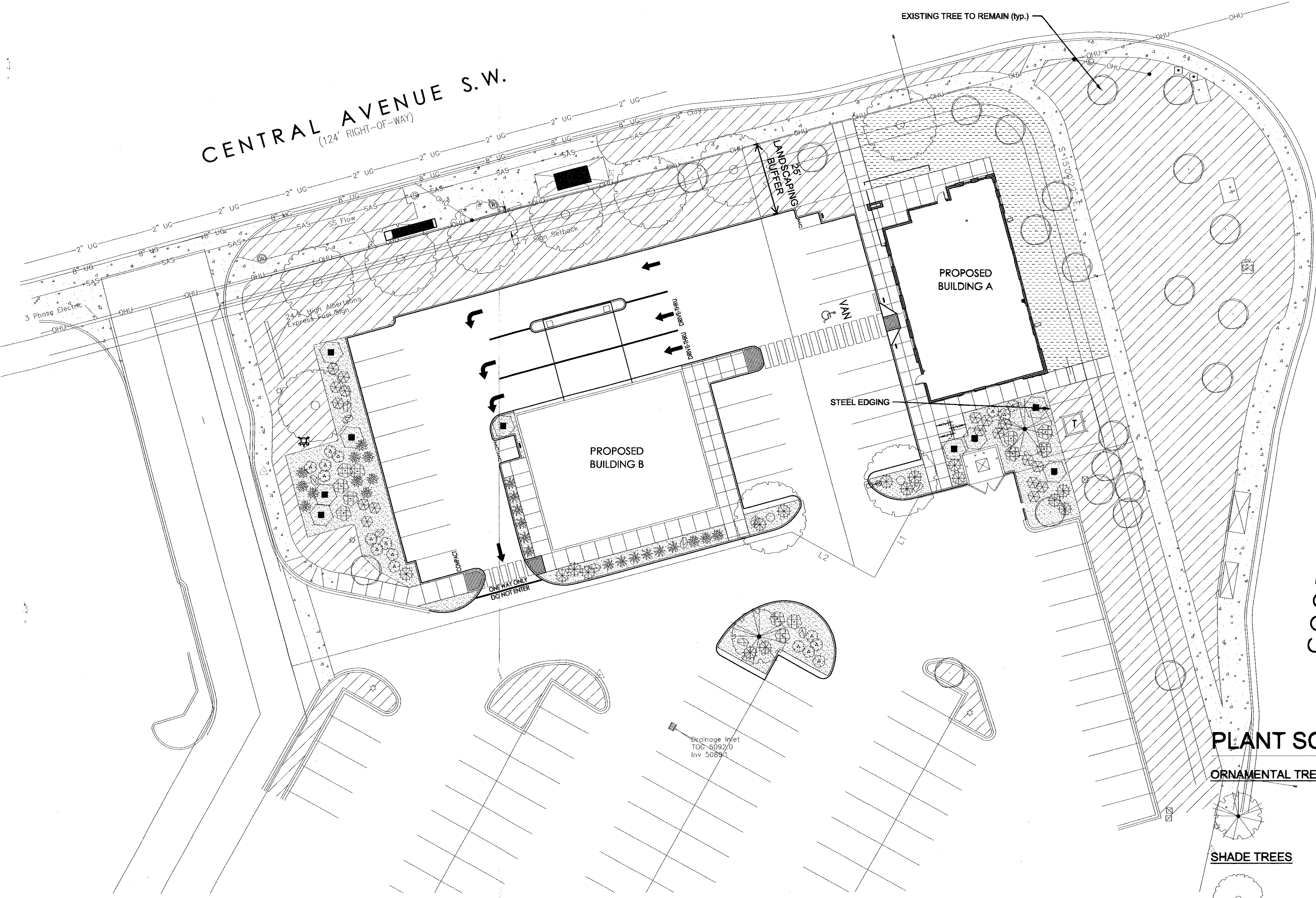
job number	A14008
drawn by	DER
project manager	Douglas Heller, AIA
date	04/18/14

project title
Coors and Central Retail Development
 SouthWest Corner of Coors Boulevard and Central Avenue SW.
 Albuquerque, New Mexico 87121
 sheet title
Grading & Drainage Plan

dmg MARK GOODWIN & ASSOCIATES, P.A.
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CENTRAL AVENUE S.W.
(124' RIGHT-OF-WAY)

COORS BOULEVARD S.W.
(RIGHT-OF-WAY VARIES)



- GENERAL NOTES:**
1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
 2. LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC OR SEEDED WITH PARK BLEND SEED - SEE PLAN.
 3. PLANTS ARE SHOWN AT MATURITY.
 4. ALL AREAS DISTURBED DURING CONSTRUCTION WILL BE RE-SEEDED WITH PARK BLEND SEED OR COVERED WITH GRAVEL MULCH DEPENDING ON LOCATION.
 5. EXISTING TREES ON SITE WILL BE PROTECTED DURING CONSTRUCTION WHERE POSSIBLE.

- IRRIGATION NOTES:**
1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER. TIE TO EXISTING IRRIGATION SYSTEM.
 2. EXISTING IRRIGATION SYSTEM IS ASSUMED TO BE IN GOOD WORKING ORDER.
 3. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

SITE DEVELOPMENT DATA:

LAND AREA	.....40,761 sf
PROPOSED BUILDING AREA	.....5,800 sf total
BUILDING A	.....2,800 sf
BUILDING B	.....3,000 sf
NET LOT AREA	.....34,961 sf

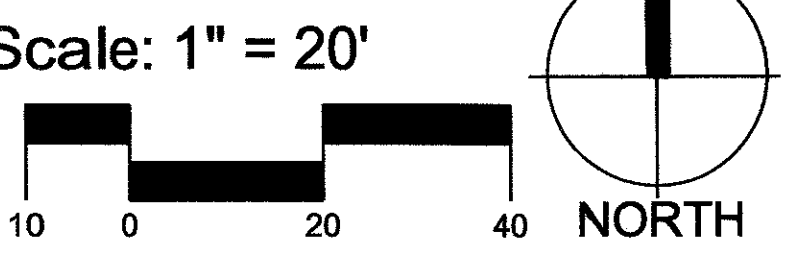
REQUIRED LANDSCAPE	.....5,244 sf
15% of NET LOT AREA	
PROVIDED LANDSCAPE	.....7,345 sf total
21% of NET LOT AREA	
PROVIDED XERISCAPE	.....4,445 sf
PROVIDED RE-SEEDING	.....2,900 sf

Re-seeding of existing turf areas assumed to be disturbed during construction. Area size depends on actual size of disturbed area during construction.

PROVIDED PARKING LOT SPACES	.....25
REQUIRED PARKING LOT TREES	.....3
1 tree per 10 parking spaces	
PROVIDED PARKING LOT TREES	.....3
REQUIRED LANDSCAPE COVERAGE	.....3,334 sf
required 75% live vegetative cover measured at maturity	
PROVIDED LANDSCAPE COVERAGE	.....3,350 sf = 75%

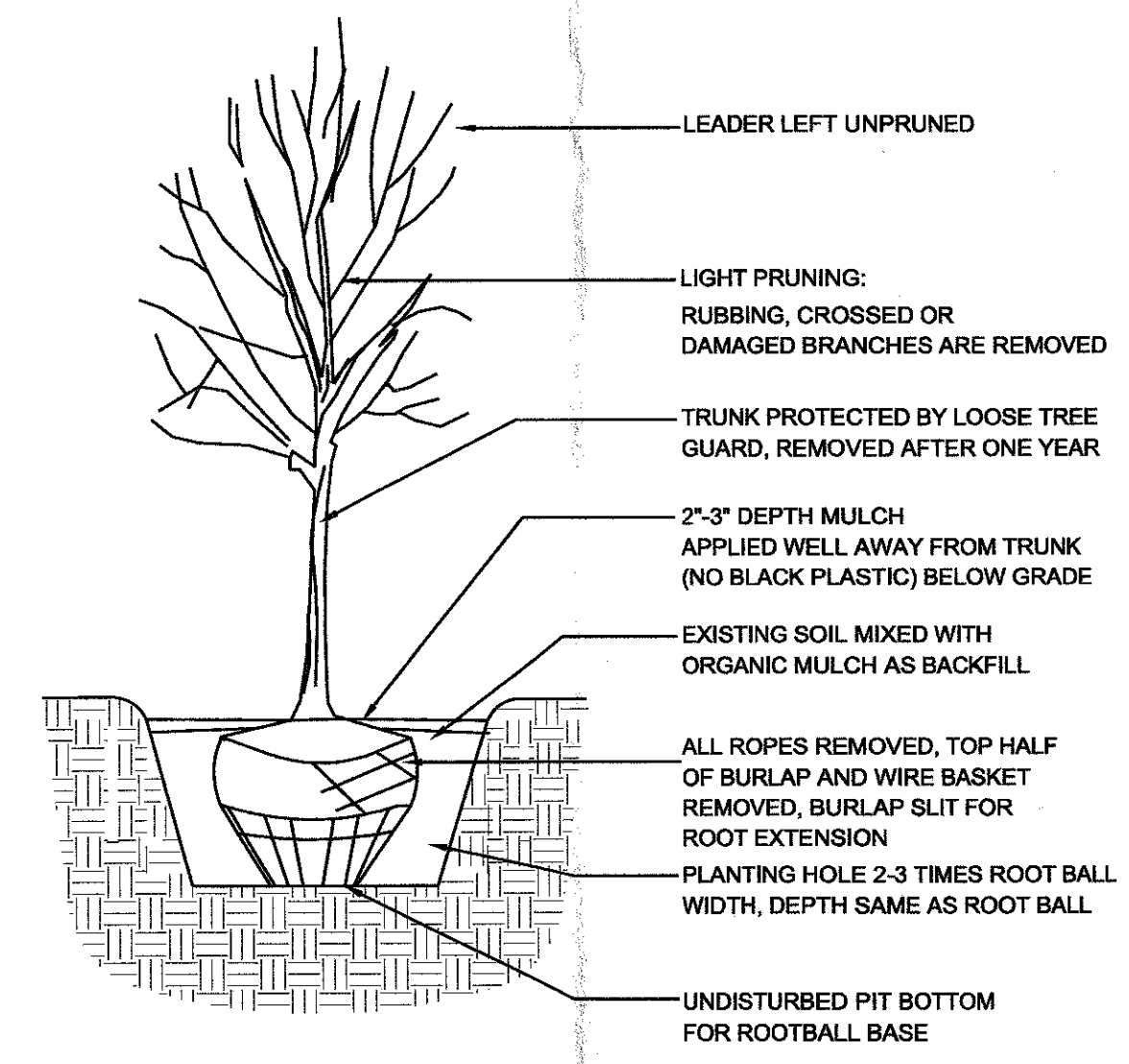
PLANT SCHEDULE

ORNAMENTAL TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	2	Chilopsis linearis / Desert Willow	24"box	RW	25'
SHADE TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	10	Gleditsia triacanthos inermis / Thornless Honeylocust	2" B&B	Medium	45'
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	18	Artemisia filifolia / Sand Sagebrush	5 gal	RW	4'
	18	Ericameria laricifolia / Turpentine Bush	5 gal	Low+	4'
	12	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Low+	5'
	9	Vauquelinia angustifolia / Narrowleaf Rosewood	5 gal	Low	8'
DESERT ACCENT	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	13	Hesperaloe parviflora / Red Yucca	5 gal	Low+	4'
GROUNDCOVERS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	16	Juniperus horizontalis 'Blue Rug' / Blue Rug Juniper	1 gal	Low	5'
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	12	Muhlenbergia rigens / Deer Grass	5 gal	Low+	4'

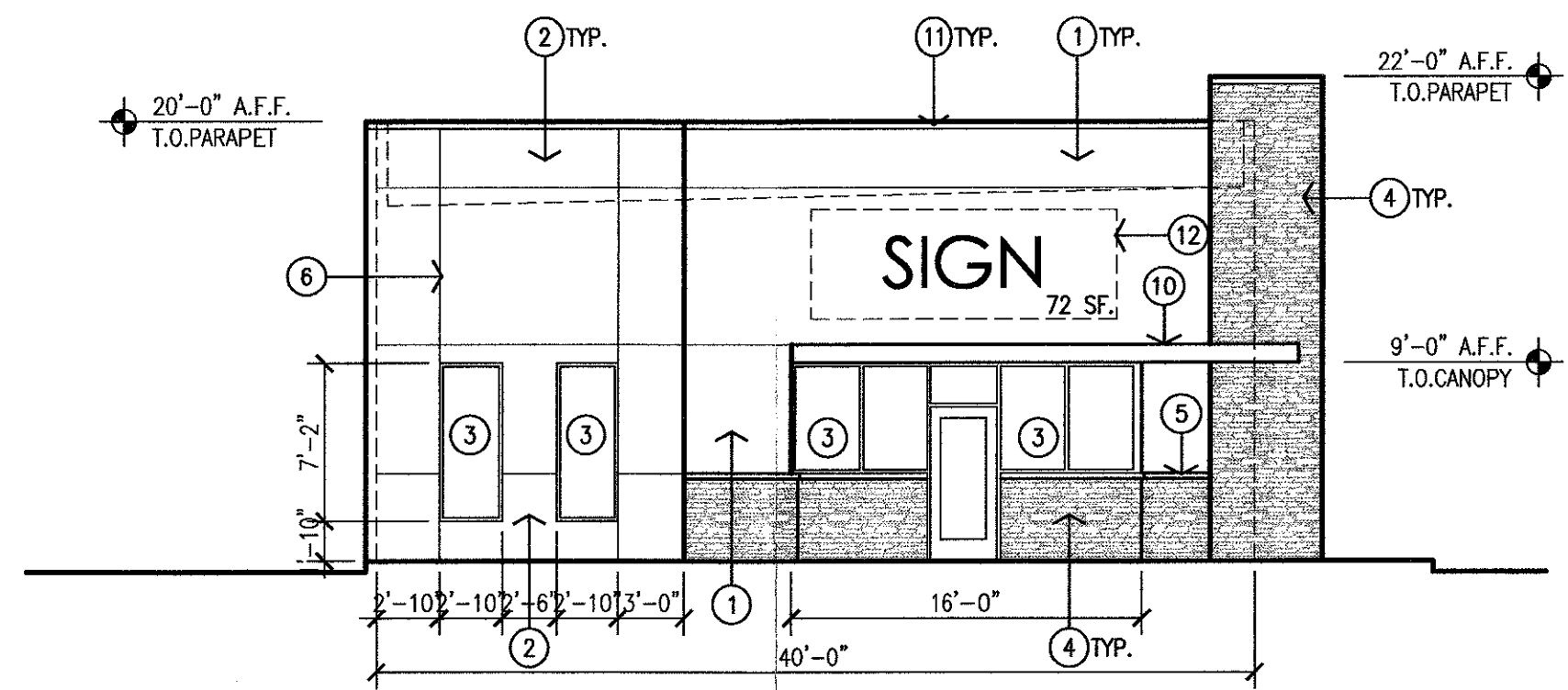


HATCH SCHEDULE

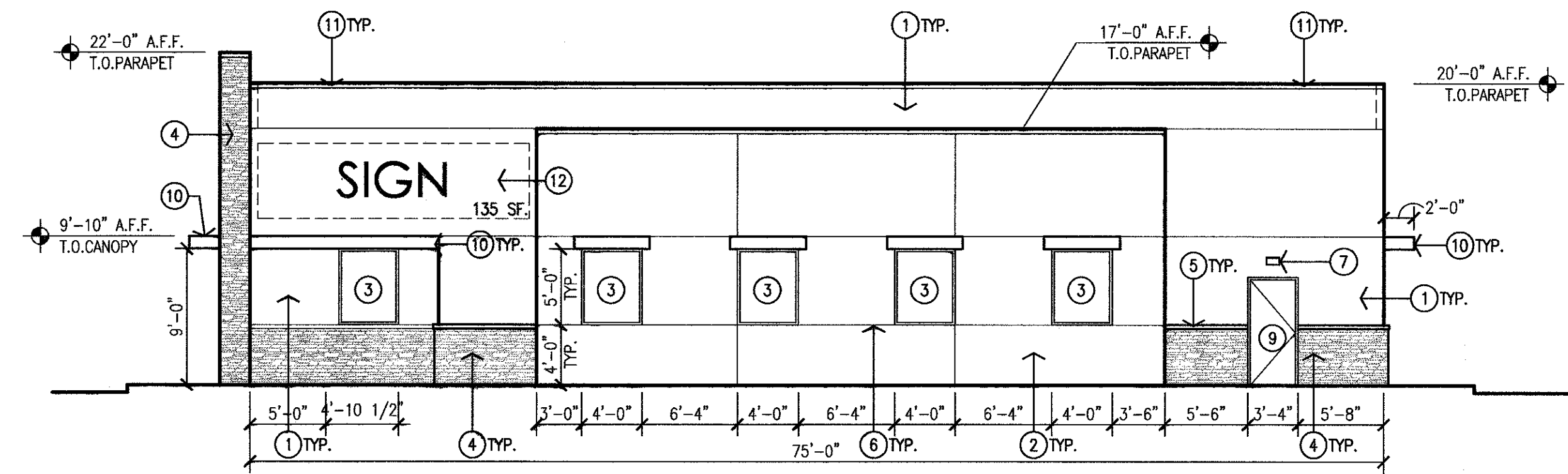
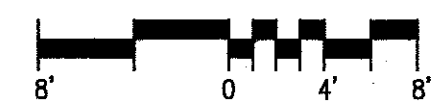
SYMBOL	DESCRIPTION
	IRRIGATED GRASS TO MATCH EXISTING LANDSCAPE
	EXISTING LANDSCAPE TO REMAIN
	3" ROUND GRAY GRAVEL AT 3" DEPTH OVER FILTER FABRIC TO MATCH EXISTING LANDSCAPE
	MOSSROCK ACCENT BOULDER (10)



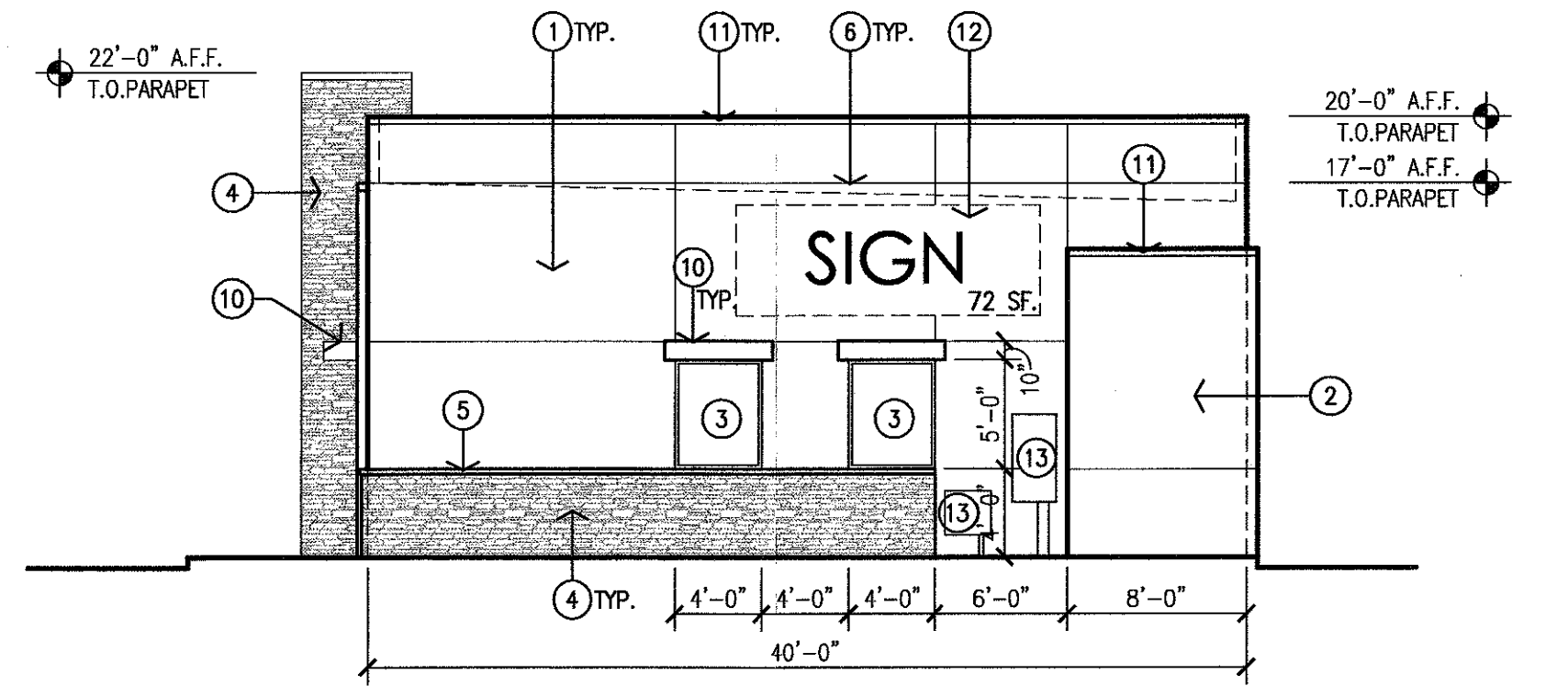
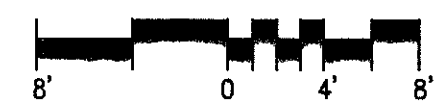
1 TREE PLANTING DETAIL



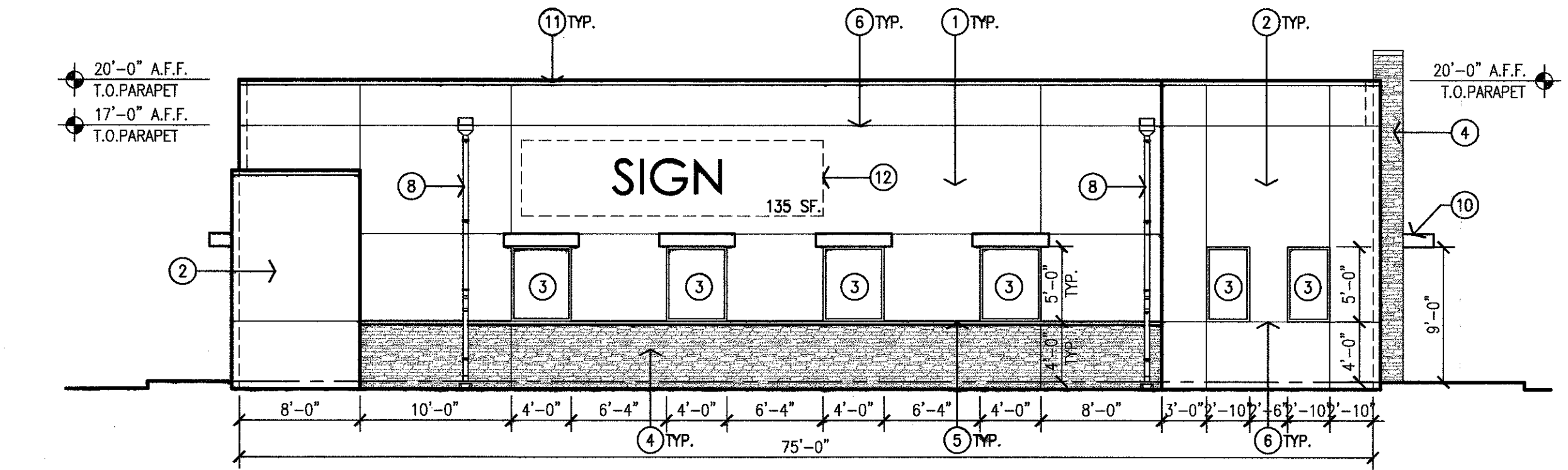
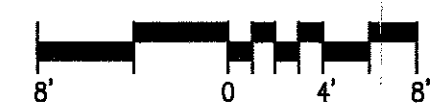
1 North Exterior Elevation
Scale: 1/8"=1'-0"



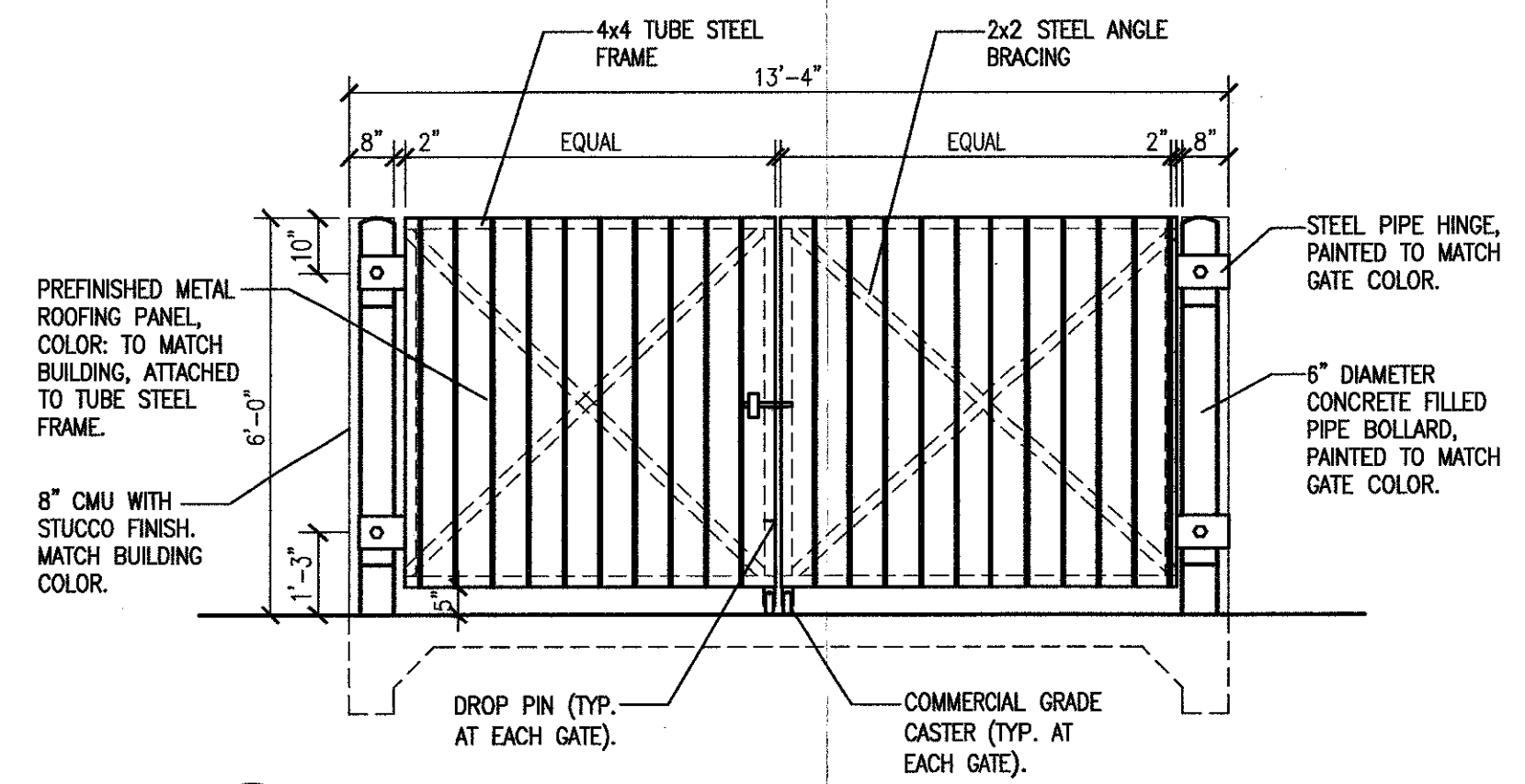
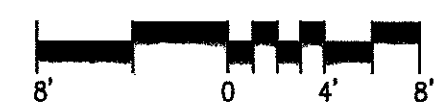
2 West Exterior Elevation
Scale: 1/8"=1'-0"



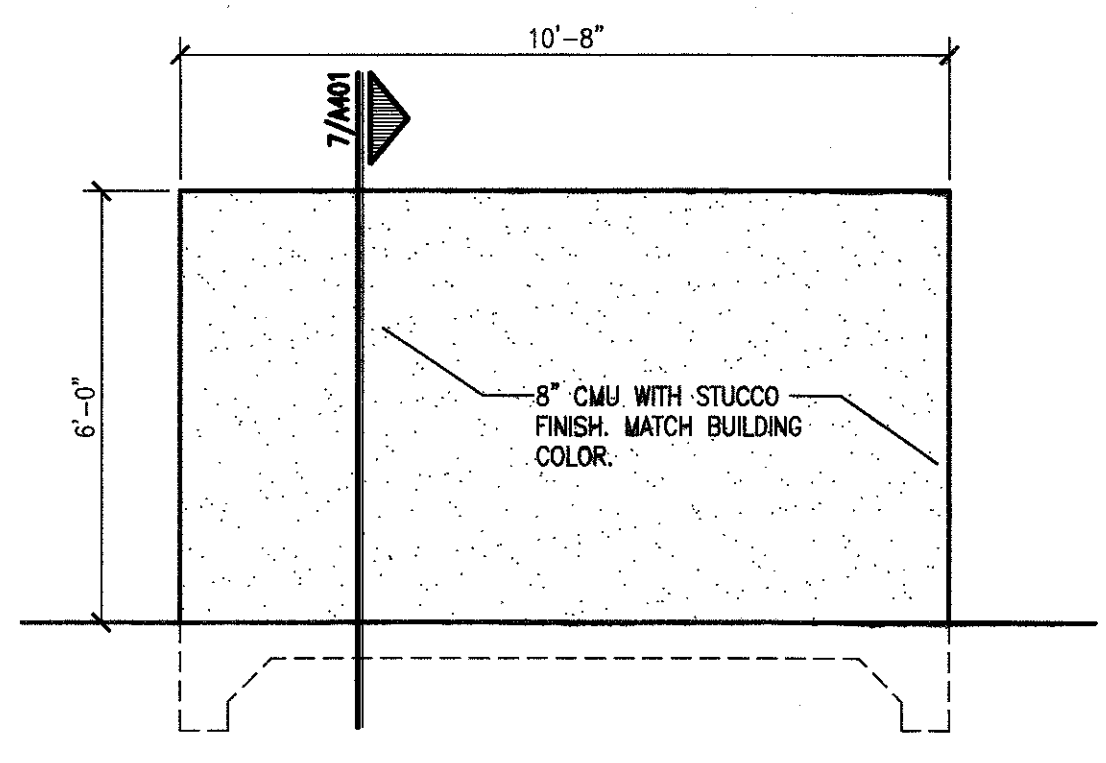
3 South Exterior Elevation
Scale: 1/8"=1'-0"



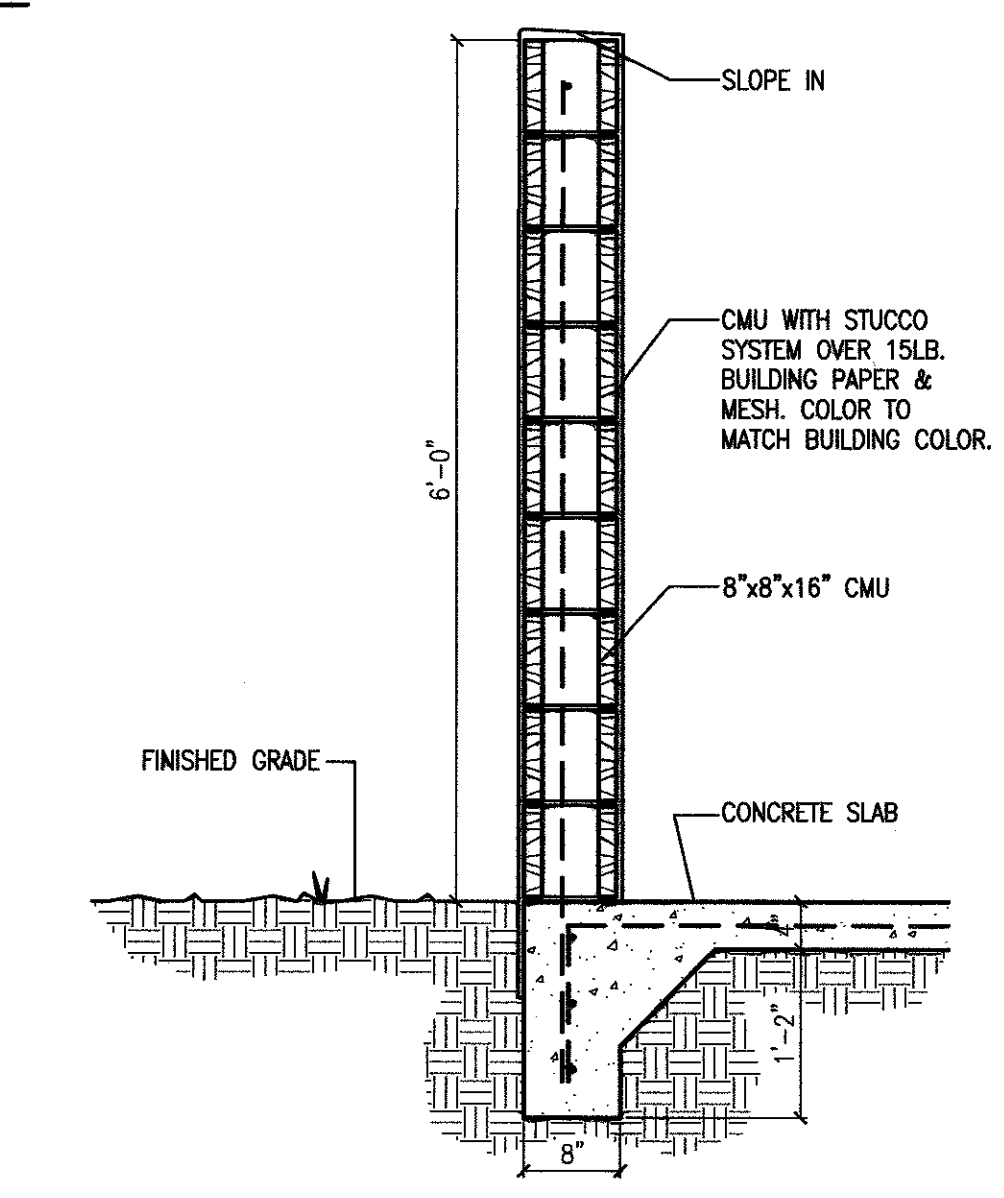
4 East Exterior Elevation
Scale: 1/8"=1'-0"



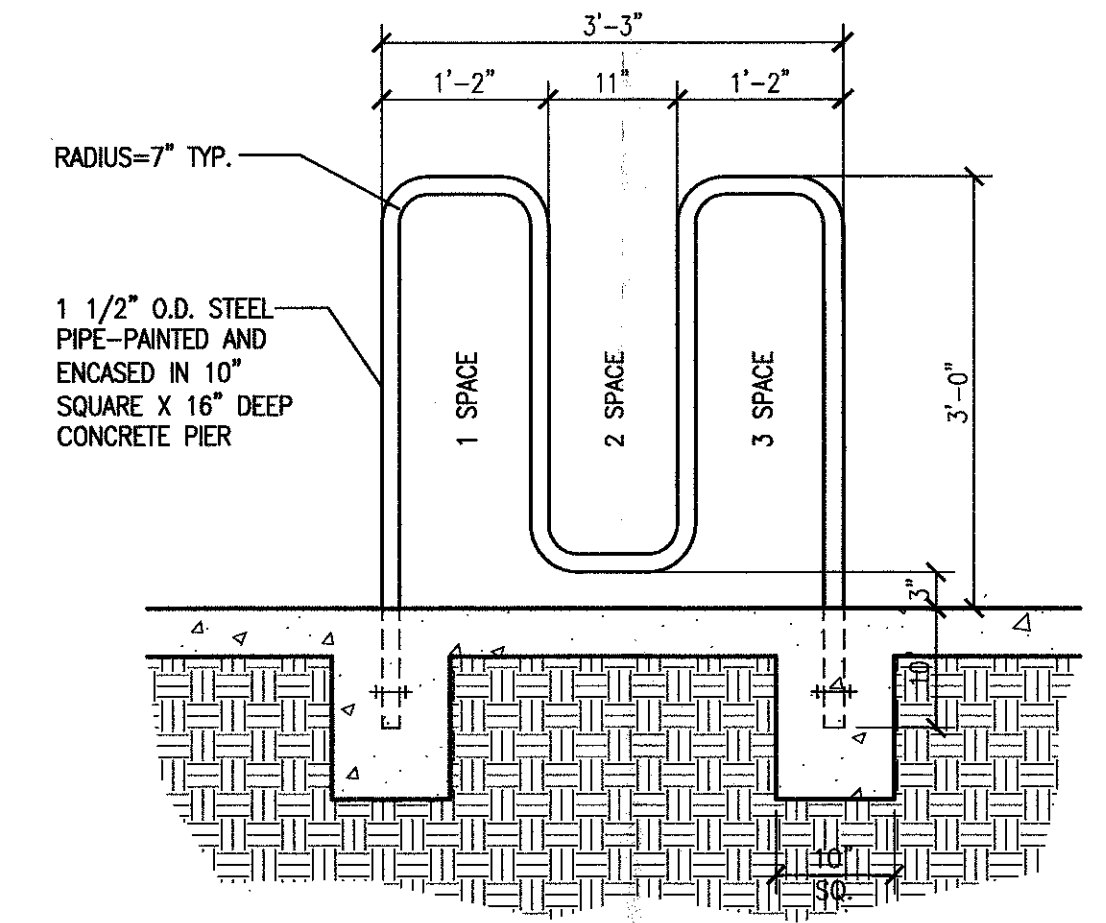
5 Dumpster Enclosure Front Elevation
Scale: 3/8"=1'-0"



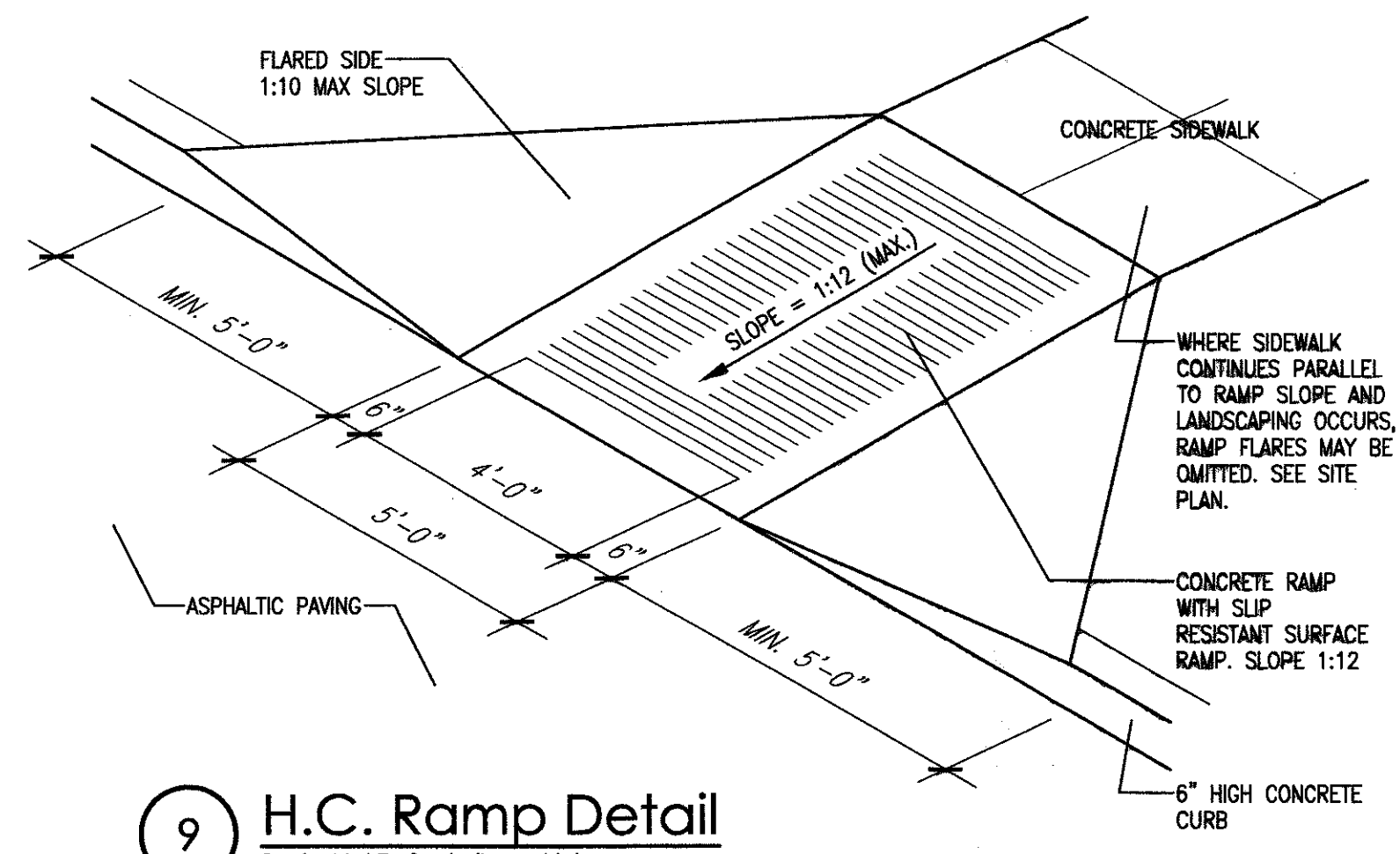
6 Dumpster Enclosure Side Elevation
Scale: 3/8"=1'-0"



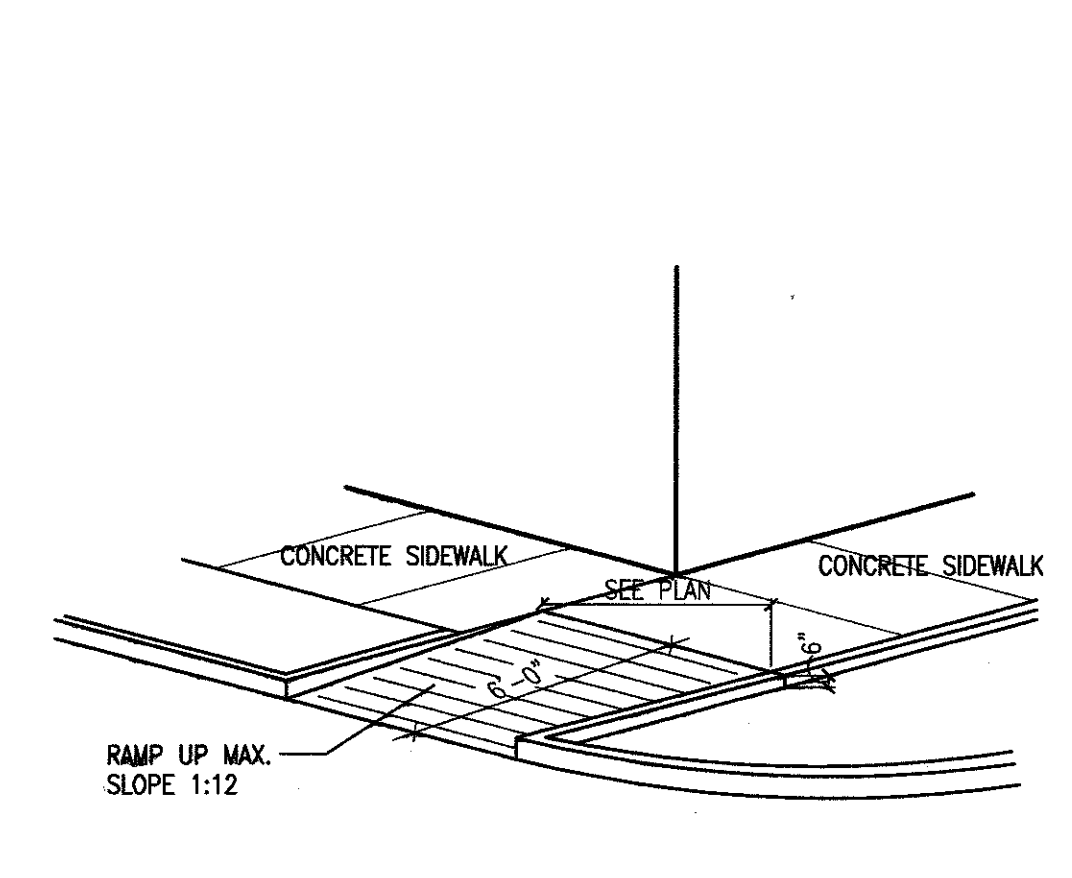
7 Refuse Enclosure Wall Section
Scale: 1"=1'-0"



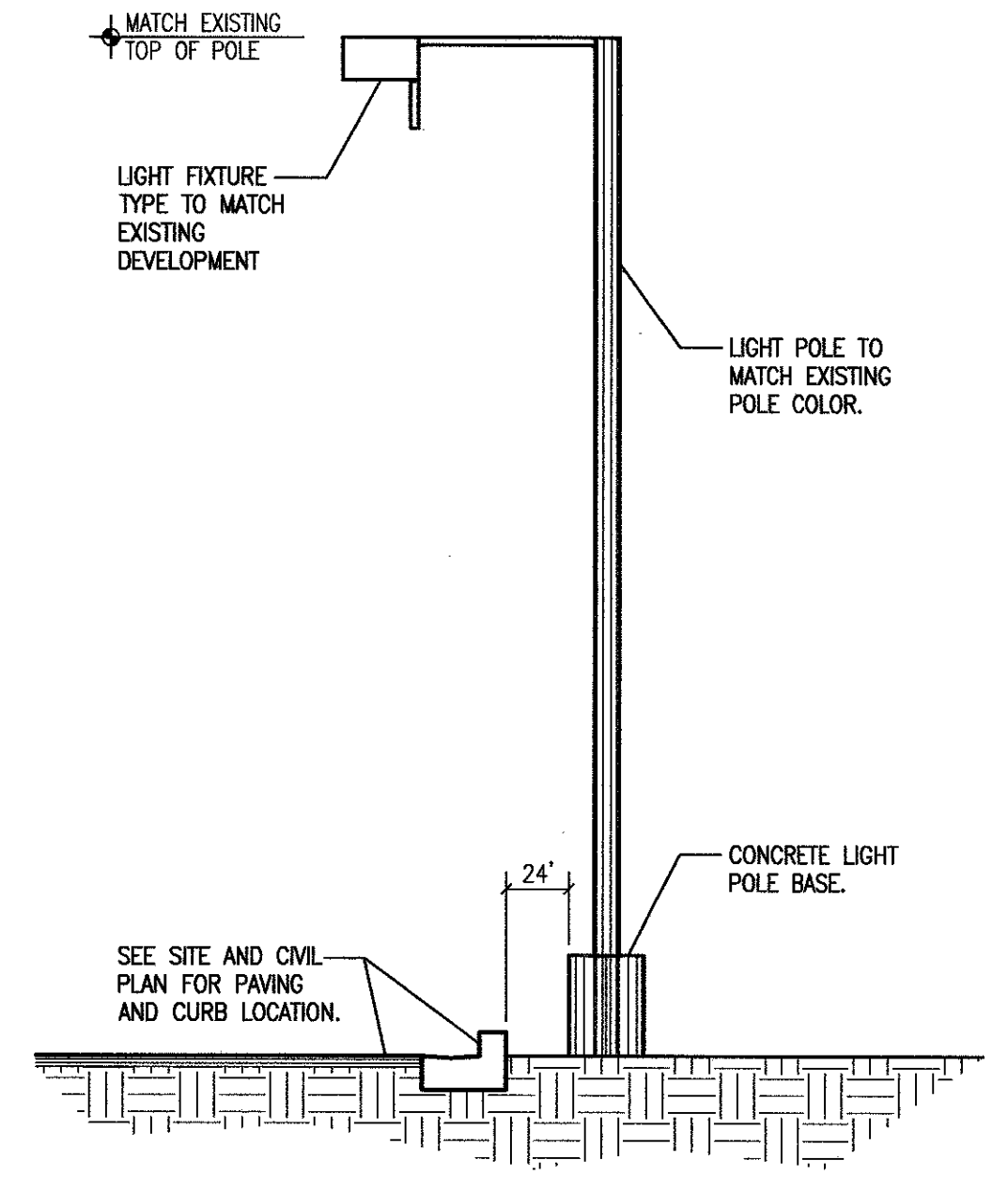
8 Bicycle Rack Detail
Scale: 3/4"=1'-0"



9 H.C. Ramp Detail
Scale: Not To Scale (Isometric)



10 H.C. Ramp Detail
Scale: Not To Scale (Isometric)



11 Light Pole Elevation Detail
Scale: 1"=1'-0"

GENERAL NOTES:
 [A] ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
 [B] EXTERIOR MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE ARCHITECTURALLY SCREENED. LOCATION OF SUCH EQUIPMENT WITHIN THE BUILDING OR AT GROUND LEVEL IS PREFERABLE TO ROOF-MOUNTING, UNLESS SUCH LOCATION WOULD ADVERSELY EFFECT THE STREETScape, PEDESTRIAN CIRCULATION, OR OPEN SPACE. ROOF MOUNTED EQUIPMENT SHOULD BE OF A LOW PROFILE TO MINIMIZE THE SCREENING PROBLEM.

- KEYED NOTES:
 [1] TWO-COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH. COLOR LIGHT TAN TO MATCH EXISTING DEVELOPMENT.
 [2] TWO-COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH. ACCENT COLOR DARK TAN TO MATCH EXISTING DEVELOPMENT.
 [3] CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED GLAZING.
 [4] CULTURED STONE VENEER. COLOR TO BE SHADES OF LIGHT AND DARK TAN.
 [5] CULTURED STUCCO CAP. COLOR TO BE LIGHT TAN.
 [6] STUCCO CONTROL JOINT, TYP.
 [7] LIGHT WALL PACK OVER DOOR, CENTER.
 [8] PREFINISHED COLLECTOR BOX AND DOWNSPOUT WITH OVERFLOW OPENING. COLOR TO MATCH MAIN BUILDING COLOR.
 [9] HOLLOW METAL DOOR, PAINTED TO MATCH BUILDING ACCENT COLOR.
 [10] TUBE STEEL CANOPY WITH PREFINISHED METAL ROOFING. COLOR TO BE MEDIUM SILVER.
 [11] PREFINISHED SHEET METAL PARAPET CAP. COLOR TO MATCH BUILDING MAIN COLOR.
 [12] INTERNALLY ILLUMINATED CHANNEL LETTER SIGN, TYPICAL.
 [13] GAS AND ELECTRICAL METER LOCATIONS.

SIGNAGE CALCULATIONS:
 BUILDING MOUNTED:

NORTH ELEVATION- 800 SF x 9%	72 SF ALLOWED	72 SF ILLUMINATED PROVIDED
WEST ELEVATION- 1500 SF x 9%	135 SF ALLOWED	135 SF ILLUMINATED PROVIDED
EAST ELEVATION- 1500 SF x 9%	135 SF ALLOWED	135 SF ILLUMINATED PROVIDED
SOUTH ELEVATION- 800 SF x 9%	72 SF ALLOWED	72 SF ILLUMINATED PROVIDED

revision

by

date

rev



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 project manager Douglas Heller, AIA
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