

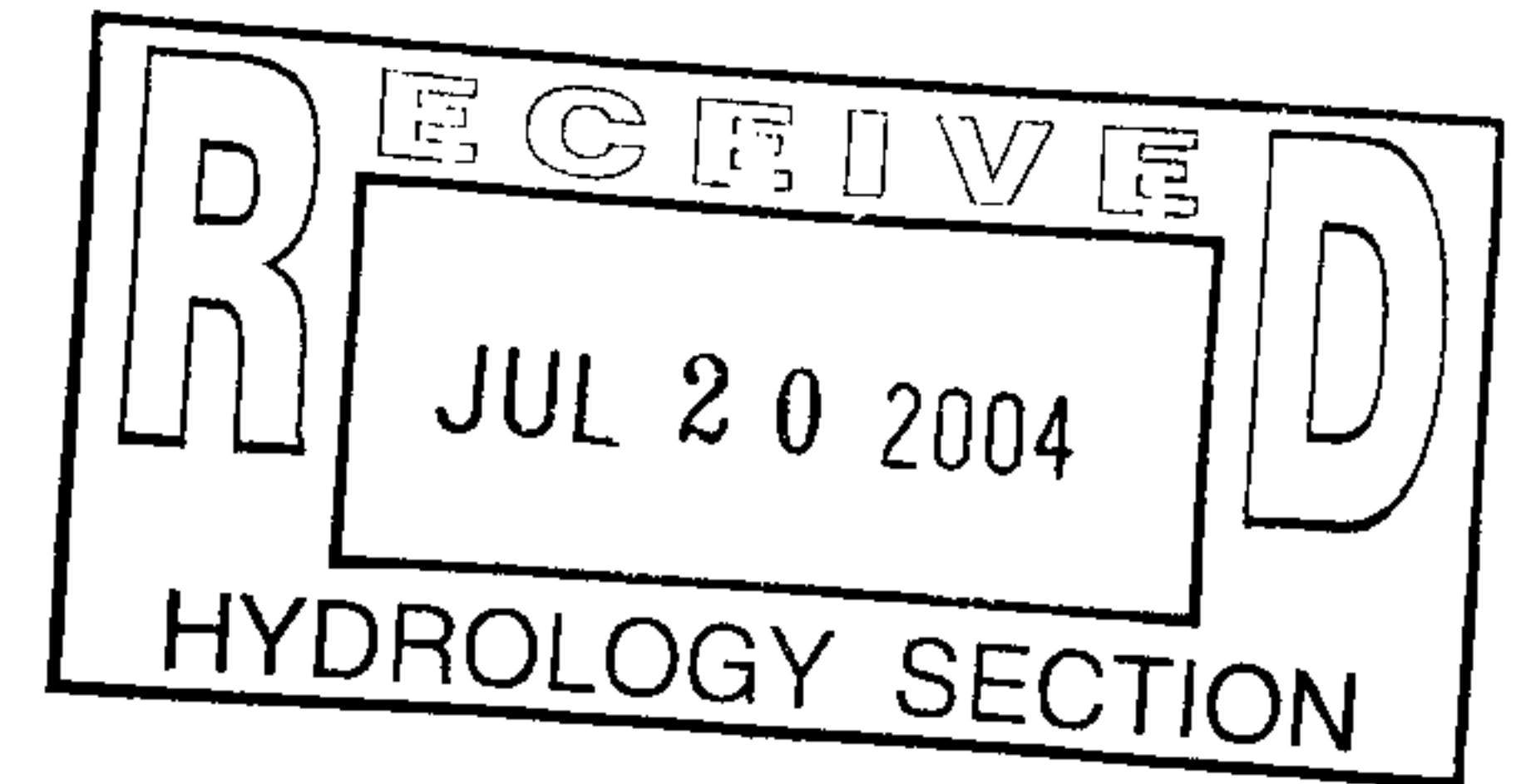
Marvin R. Kortum
1603 Speakman Drive, SE
Albuquerque, New Mexico 87123
N. M. P. E. 6519

File

K10/D26

July 19 2004

City of Albuquerque
Planning Department
Development and Building Services Division
ATTN: Brad Bingham, Hydrology Section
P. O. Box 1293
Albuquerque, New Mexico 87103



REFERENCE: Grading and Drainage Plan for Mini-storage facility (K-10/D26).

Dear Brad:

On April 25, 1995 I received an approval on a Grading and Drainage Plan for a Site Development Plan and Building Permit. The site is located at 7801 Central Avenue, NW. A copy of the approval letter is attached.

The Site Plan was approved on September 12, 1995. At that time the owner did not proceed with the construction.

The owner now has stated that he wants to proceed with the construction. My question to you is what will you require to activate the approved grading drainage plan?

If you have any questions please call me.

Sincerely,


Marvin R. Kortum



April 25, 1995

**RE: GRADING & DRAINAGE PLAN FOR MINI-STORAGE FACILITY (K-10/D26)
RECEIVED MARCH 22, 1995 FOR SITE DEV PLAN & BUILDING PERMIT
ENGINEER'S STAMP DATED MARCH 21, 1995**

Based on the information included in the submittal referenced above, City Hydrology accepts the Grading & Drainage Plan for Site Development Plan and Building Permit for the Mini Storage on Tract B-6. The proposed Infrastructure must be approved by DRB before the Site Development Plan will be signed. Include a copy of the Grading & Drainage Plan, dated March 21, 1995 in each set of construction documents that will be submitted to Code Administration for the Building Permit.

Grading/Paving Permit is covered within the Building Permit. A separate permit is not required. Questions about the infrastructure list for Sarracino Place must be addressed to the DRB or Transportation directly.

What is the width of the Drainage Easement on Tract 104? Indicate the drainage easement on Tract 104 on Sheet 2. The Access & Drainage Easement shown on Sheet 1 appears to be further east than the same easement shown on Sheet 3. Which is correct? How will the easements on Tracts 103 & 104 be granted? Is a plat being prepared or a "paper easement"?

The calculations for the channel sections do not match the sections on the Plan. Sections A-A & B-B show 5h:1v side slopes instead of 10h:1v. The DPM recommends $n = 0.017$ on Table 22.3 B-1 instead of 0.014. What is the minimum depth of Section C-C.

CONTINUED ON PAGE 2

April 25, 1995
Marvin Kortum, PE
MINI STORAGE FACILITY (K-10/D46)
Page 2 of 2

City Hydrology is not familiar with the formula used to determine the grate capacity. For low head, the weir formula usually controls ($Q_w = 3.0 * P * H^{1.5}$). For the 4x10 inlet $Q_w = 3.0 * (4 + 10 + 4 + 10) * 0.5^{1.5} = 29.7$ cfs. Indicate the grading for the sump around the inlet on Tract 104 on Sheet 3. Unless City standard inlets are used, the Contractor will need details to construct the inlets. Calculate the Hydraulic Grade Line and indicate it on the profile.

Engineer's Certification of grading & drainage per DPM checklist must be accepted by City Hydrology before any Certificate of Occupancy will be released.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,



John P. Curtin, P.E.
Civil Engineer/Hydrology

c: Andrew Garcia
Fred Aguirre, DRB 94-593
Boyd Mazer, 7801 Central Ave NE 87121



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 25, 1995

**Marvin R Kortum, PE
1605 Speakman Dr. SE
Albuquerque, NM 87123**

**RE: GRADING & DRAINAGE PLAN FOR MINI-STORAGE FACILITY (K-10/D26)
RECEIVED MARCH 22, 1995 FOR SITE DEV PLAN & BUILDING PERMIT
ENGINEER'S STAMP DATED MARCH 21, 1995**

Dear Mr. Kortum:

Based on the information included in the submittal referenced above, City Hydrology accepts the Grading & Drainage Plan for Site Development Plan and Building Permit for the Mini Storage on Tract B-6. The proposed Infrastructure must be approved by DRB before the Site Development Plan will be signed. Include a copy of the Grading & Drainage Plan, dated March 21, 1995 in each set of construction documents that will be submitted to Code Administration for the Building Permit.

The following comments must be addressed before Work Order:

Grading/Paving Permit is covered within the Building Permit. A separate permit is not required. Questions about the infrastructure list for Sarracino Place must be addressed to the DRB or Transportation directly.

What is the width of the Drainage Easement on Tract 104? Indicate the drainage easement on Tract 104 on Sheet 2. The Access & Drainage Easement shown on Sheet 1 appears to be further east than the same easement shown on Sheet 3. Which is correct? How will the easements on Tracts 103 & 104 be granted? Is a plat being prepared or a "paper easement"?

The calculations for the channel sections do not match the sections on the Plan. Sections A-A & B-B show 5h:1v side slopes instead of 10h:1v. The DPM recommends $n = 0.017$ on Table 22.3 B-1 instead of 0.014. What is the minimum depth of Section C-C.

CONTINUED ON PAGE 2

**April 25, 1995
Marvin Kortum, PE
MINI STORAGE FACILITY (K-10/D46)
Page 2 of 2**

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Engineer's Certification of grading & drainage per DPM checklist must be accepted by City Hydrology before any Certificate of Occupancy will be released.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

A handwritten signature in black ink, appearing to read "John P. Curtin".

**John P. Curtin, P.E.
Civil Engineer/Hydrology**

**c: Andrew Garcia
Fred Aguirre, DRB 94-593
Boyd Mazer, 7801 Central Ave NE 87121**

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Mini-storage Facility ZONE ATLAS/DRNG. FILE #: K010/D26

LEGAL DESCRIPTION: Tract B-6, Hubbell Heights Addition

CITY ADDRESS: 7801 Central Avenue, NW

ENGINEERING FIRM: Marvin R Kortum CONTACT: Marvin R Kortum
 ADDRESS: 1605 Speakman Dr. SE PHONE: (505) 299-0774
Albuquerque, NM 87123

OWNER: Boyd Mazer CONTACT: _____
 ADDRESS: 7801 Central Avenue NW PHONE: 831-6112
Albuquerque, NM 87121

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☒ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☒ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☒ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

MAR 22 1995

DATE SUBMITTED: March 21, 1995

BY: Marvin R Kortum

Marvin R Kortum
1605 Speakman Drive SE
Albuquerque, New Mexico 87123
NMPE 6519
(505) 299-0774

March 21, 1995

City of Albuquerque
Design Hydrology Section
Public Works Department
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Grading and drainage plan for mini-storage facility, 7801 Central Avenue, NW Albuquerque, New Mexico. K10/D26 (DRB No. 94-593)

Dear Mr. Davis:

The drawings for the referenced project have been revised in accordance with your comments in your letter of December 20, 1994, as discussed below:

Comment 1. Calculations for the sizing of the storm drain catch basins and pipe are now shown.

Comment 2. Detailed grading information is now provided showing the routing of the storm runoff to the catch basin. Also detailed grading is shown for Sarracino Place, NW, showing routing of the storm runoff to Unser Boulevard, NW. Please advise me concerning that portion of Sarracino Place which fronts along the West Mesa Water Well property. I understand that the well property is City of Albuquerque property. Will permanent curb and gutter and pavement be required for that area? Who will pay for that portion of the street? It would seem most economical for the permanent work to be done at one time.

Comment 3. The drawings now show in detail the routing of the 24" storm drain through the maze of other utilities. There does not appear to be a conflict, using available as-built information on the location of utilities.

Comment 4. The work within the right-of-way on Unser Boulevard, Central Avenue and Sarracino Place will require a City of Albuquerque Project Work Order. The work order process does require a barricading and traffic control plan, which will be prepared at the appropriate time.

Please review the current plan for comment and approval of the drainage plan. I am preparing the additional construction details, which will include the street work, utilities, and the drainage, for submittal through DRC for Project and Work Order approval.

Contact me by telephone if there are further questions.

Thank you.

Sincerely,



Marvin R. Kortum



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 20, 1994

Marvin R. Kortum
1605 Speakman Dr. SE
Albuquerque, NM 87123

RE: MINI-STORAGE FACILITY (K010/D26) ENGINEER'S STAMP DATED
12/6/94

Dear Mr. Kortum:

Based upon your 12/8/94 submittal, the referenced project is approved for Site Development Plan.

Please keep in mind that future submittals will need to be more specific on:

1. Hydraulic calculations relating to the sizing of the proposed storm drain and catch basins.
2. Detailed grade information concerning the entrance road should be shown to accurately depict how developed storm flows will be routed to the proposed storm drain.
3. The construction drawings concerning the proposed 24" storm drain tie to the 84" Unser line should be of sufficient detail to address the sanitary sewer conflict. A mere note stating that the contractor shall avoid the SAS line is not adequate. For the work shown within the Unser Blvd. right-of-way, a Work Order Permit will be required. In order to obtain that permit, it will be necessary to prepare a Traffic Control Plan. I recommend contacting Construction Barricading at 768-3623 to discuss what will be required.

If I can be of further assistance, feel free to contact me at 768-3622.

c: Andrew Garcia
File

Cordially,

Scott Davis
PWD, Hydrology Division

DRAINAGE INFORMATION SHEET

DEB 94-593

PROJECT TITLE: Mini-storage Facility ZONE ATLAS/DRNG. FILE #: K010/D.26

LEGAL DESCRIPTION: Tract B-6, Hubbell Heights Addition

CITY ADDRESS: 7801 Central Avenue, NW

ENGINEERING FIRM: Marvin R Kortum CONTACT: Marvin R Kortum

ADDRESS: 1605 Speakman Dr. SE PHONE: (505) 299-0774

Albuquerque, NM 87123

OWNER: Boyd Mazer CONTACT: _____

ADDRESS: 7801 Central Avenue NW PHONE: 831-6112

Albuquerque, NM 87121

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN

☒ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☒ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER 10/1 (SPECIFY)

DATE SUBMITTED: DEC 6, 1994

BY: Marvin R Kortum

DEC - 8 1994

Marvin R Kortum
1605 Speakman Drive SE
Albuquerque, New Mexico 87123
NMPE 6519
(505) 299-0774

December 6, 1994

City of Albuquerque
Design Hydrology Section
Public Works Department
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Conceptual grading and drainage plan for
mini-storage facility, 7801 Central Avenue, NW Albuquerque,
New Mexico. K10/D26 (DRB No. 94-593)

Dear Mr. Davis:

The drawings for the referenced project have been
revised in accordance with your comments in your letter of
October 24, 1994, as discussed below:

Comment 1. Spot elevations are now shown on the
plan for that portion of the Central Avenue frontage road
adjacent to the property.

Comment 2. Catch basins are now shown within the
property, with only the 100 feet along the front of tract
105, and the crossing of Unser Boulevard, being within the
right-of-way.

Comment 3. There are utilities within the Unser
right-of-way that will have to be crossed at right angles.
Utilities within the frontage road are parallel to the
proposed storm drain, and do not present a problem. The new
storm drain line can be placed through or below the existing
utilities.

Comment 4. Easements are now shown.

Please review the plan for comment and approval.
Contact me by telephone if there are further questions.

Thank you.

Sincerely,


Marvin R. Kortum

DEC - 8 1994



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 24, 1994

Marvin R. Kortum
1605 Speakman Dr. SE
Albuquerque, NM 87123

RE: MINI-STORAGE FACILITY (K-10/D26) ENGINEER'S STAMP DATED 10/14/94

Dear Mr. Kortum:

Having reviewed your 10/17/94 submittal, I have the following comments relating to the referenced project which will need to be addressed prior to authorizing Site Development Plan Approval.

1. Given your drainage management proposal, you will need to supply this office with typical sections of the Central Ave. Frontage Road you plan on discharging to. Is there curb along the roadway? Can the roadway carry the expected flow? How will the water enter the roadway from Tract 103?
2. In discussing your proposal with both Hydrology and Transportation officials here at the City, it appears that a more favorable alternative would be to collect the flows at the southern edge of Tract 103 rather than discharging them onto the frontage road. Since the frontage road is not up to current standards and since there is not to date a plan for reconstructing the roadway, it is not possible today to forecast what any future improvements to the frontage road may entail. The inverted cattleguard may not fit with the future plans and would thus possibly have to be sacrificed in the future. Future development of Tracts 104 & 105 could follow the same scenario and tie to your proposed system in the frontage road.
3. Have you investigated any existing utilities within the frontage road for possible conflicts with the proposed storm drain?
4. The Access Easement shown across Tract 103 will have to be a Drainage Easement as well.
5. There does appear to be sufficient capacity in the Unser storm drain to accept your storm flows.

If I can be of further assistance, feel free to contact me at 768-3622.

Sincerely,

Scott Davis
PWD, Hydrology Division

(wp+8914)

c: Andrew Garcia
File

DRAINAGE INFORMATION SHEET

8914

PROJECT TITLE: Mini-storage Facility ZONE ATLAS/DRNG. FILE #: K010/1926

LEGAL DESCRIPTION: Tract B-6, Hubbell Heights Addition

CITY ADDRESS: 7801 Central Avenue, NW

ENGINEERING FIRM: Marvin R Kortum CONTACT: Marvin R Kortum

ADDRESS: 1605 Speakman Dr. SE PHONE: (505) 299-0774
Albuquerque, NM 87123

OWNER: Boyd Mazer CONTACT: _____

ADDRESS: 7801 Central Avenue NW PHONE: 831-6112
Albuquerque, NM 87121

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN

☒ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☒ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE-OF-OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: October 17, 1994

BY: Marvin R Kortum