



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

March 26, 2004

A. Miguel Trujillo, Registered Architect
8504 Spain NE
Albuquerque, NM 87111

Re: Certification Submittal for Final Building Certificate of Occupancy for
Private Caretaker's Residence(Storage Unit Site), [K-10 / D32A]
8181 Central Ave NW
Architect's Stamp Dated 02/18/04

Dear Mr. Trujillo:

The TCL / Letter of Certification submitted on **March 26, 2004** is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: ☐ Engineer
☐ Hydrology file
CO Clerk

PLAN CORRE

6/25/99

Plans "NOT" Current.
NO CHANGE
Signed in 1995.

OK
7/26/99
Hydrology
924-3984

MIGUEL TRUJILLO & ASSOCIATES

Architecture
8504 Spain Road NE

Planning
Albuquerque, NM 87111

Construction Management
Tele.& Fax. #s 797-7663
Cellular # 410-4776

March 17, 2004

City of Albuquerque
Planning Department
600 2nd Street N.W.
Albuquerque, N.M. 87102
c/o Nilo E. Salgado-Fernandez PE
Transportation Development

Subject: Certification of Site Development

Re: Private Caretaker's Residence on
Commercial Storage Units Site

Location: 8181 Central Avenue N. W.

Att: Mr. Salgado-Fernandez:



3/18/04

The above captioned project is basically complete, the owners have requested that I perform a site visit and review it against the original documents and certify the site. I did perform that site visit and checked it in detail. The siting of the home is in **"Substantial Compliance"** with the original site development plan, grading and drainage and meet the criteria of my further site development and design.

I understand that your are overseeing the certification of the project for the purpose of securing a C.O. by the owners.

I have entered some dimensional changes that are as-built conditions and further notes to comply with your normal data for certification by my office.

I am the architect-of-record on the project and am fully familiar with the site.

I am herein forwarding a copy to the owners, and you will be hearing from them directly very soon as they are anxious to receive a "Certificate of Occupancy" They will be providing you with the drainage plan as approved by the Transportation Dept. and the Drainage information sheet as signed by me last week.

If there are any question or concerns please contact me directly at 821-5687

Respectfully,

A. Miguel Trujillo, Architect

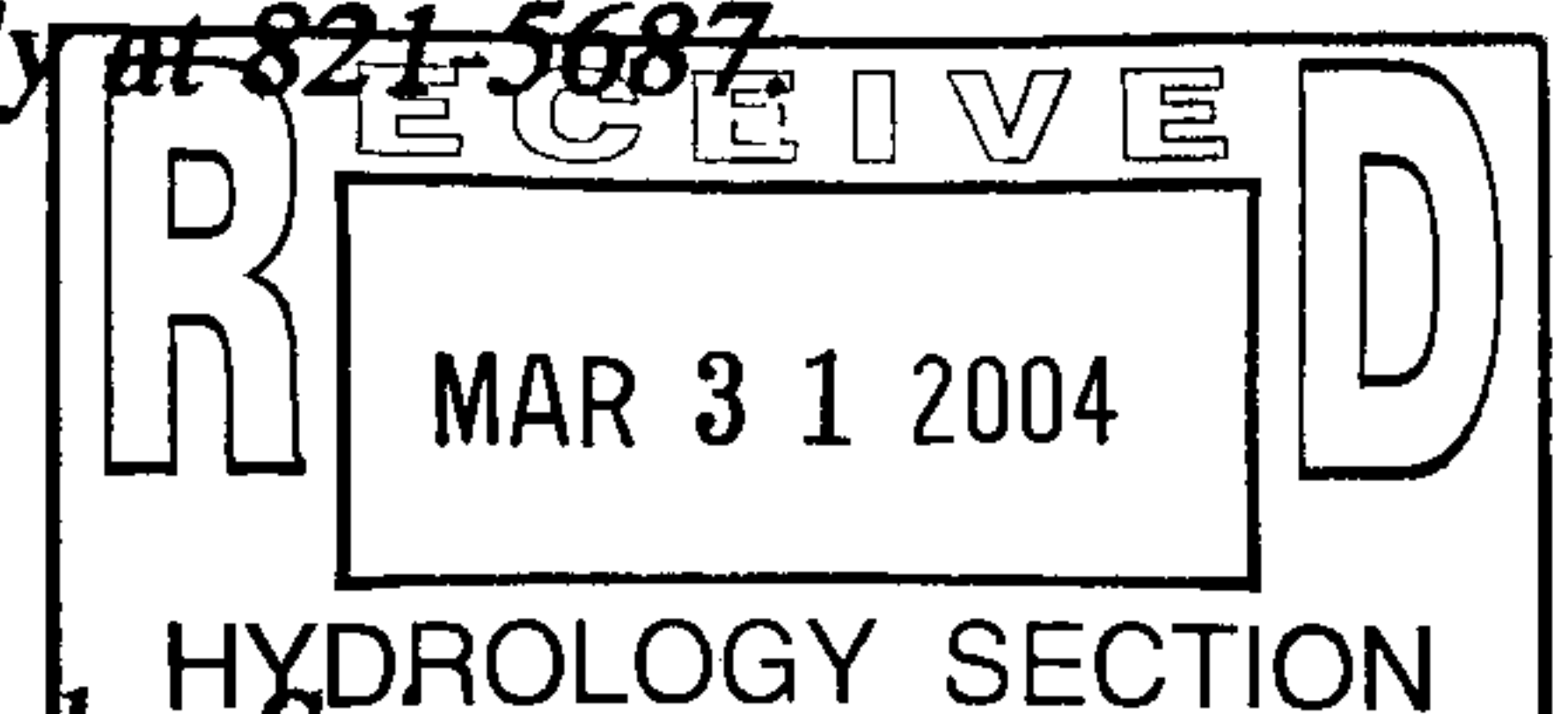
Registered Architect

A. Miguel Trujillo, NCARB

XC: Joe and Odalys Saiz

Licensed Contractor

Assoc. Member ASLA



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

K-10/D32A

D32A

PROJECT TITLE: NEW CARETAKER'S RESIDENCEDRB #: _____ EPC#: _____ ZONE MAP/DRG. FILE #: K-10-Z

WORK ORDER#: _____

LEGAL DESCRIPTION: WEST HALF TRACT C-45 UNIT 4 TOWN OF ATRISCO GRANTCITY ADDRESS: 8181 CENTRAL AVE N.W.ENGINEERING FIRM: JC EngineeringADDRESS: 1924 Rasmussen Dr NECITY, STATE: Rio Rancho 87144OWNER: Joseph P + Odalys SainzADDRESS: 8181 Central NWCITY, STATE: Alb NMCONTACT: Joe KelleyPHONE: 263-9032ZIP CODE: 87144CONTACT: odalys SainzPHONE: 836-0194ZIP CODE: 87121ARCHITECT: MIGUEL TRUJILLO & ASSOCIATESADDRESS: 3904 SPAIN ROAD NECITY, STATE: ALBUQ. NM 87111CONTACT: A. MIGUEL TRUJILLOPHONE: 821-5687

ZIP CODE: _____

SURVEYOR: _____

ADDRESS _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: Epi Gurule ConstADDRESS: 707 Alameda NWCITY, STATE: Alb NMCONTACT: Epi GurulePHONE: 898-0789ZIP CODE: 87114

CHECK TYPE OF SUBMITTAL:

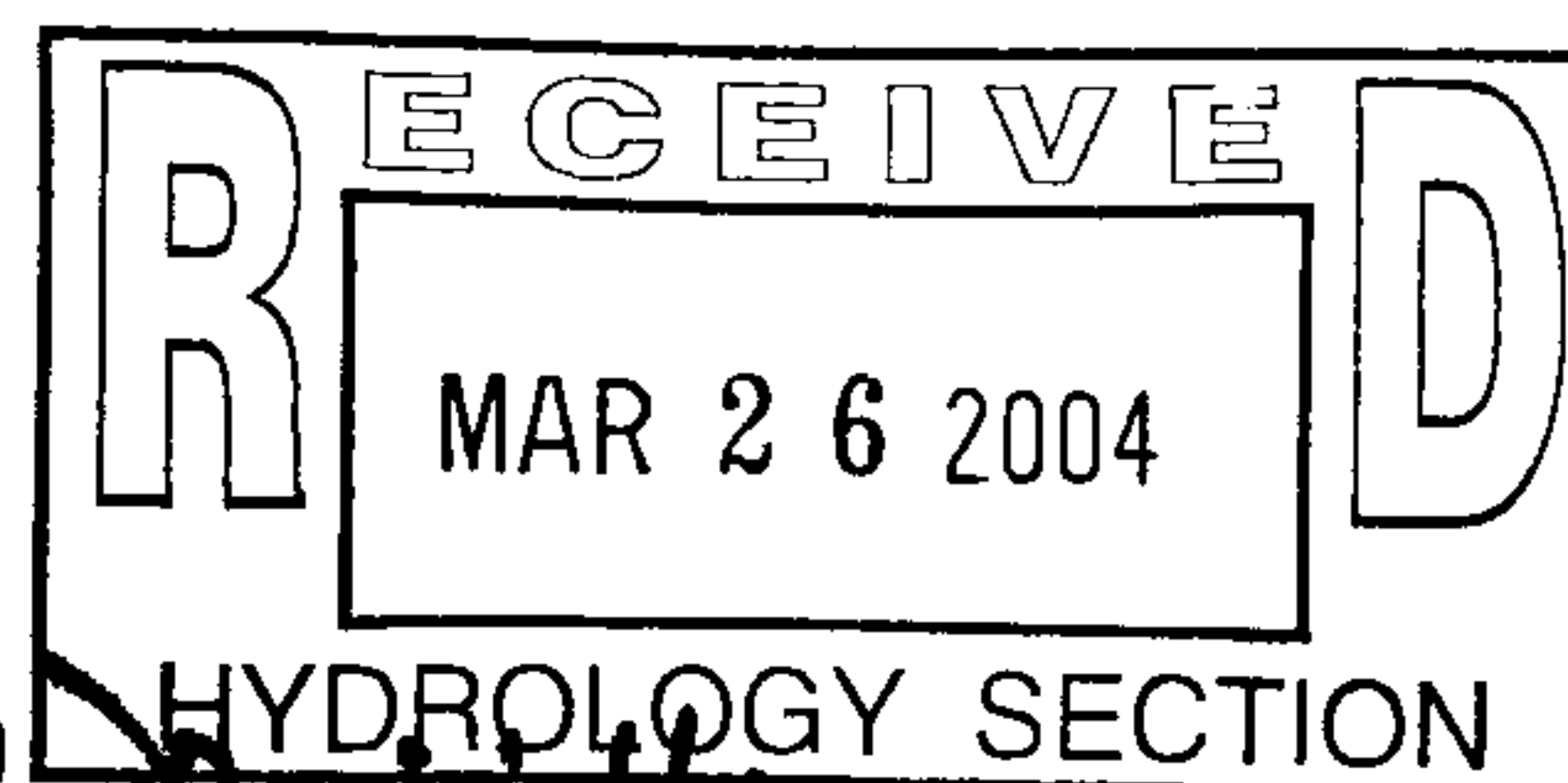
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMPLOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☒ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED **NOT APPLICABLE**

DATE SUBMITTED: MARCH 12, 2004BY: A. Miguel Trujillo

Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

Attn:

Nilo Salgado

From: Odalys Saiz

836-0194

Re: 8181 Central NW

MIGUEL TRUJILLO & ASSOCIATES

Architecture
8504 Spain Road NE

Planning
Albuquerque, NM 87111

Construction Management
Tele. & Fax. #s 797-7663
Cellular # 410-4776

March 17, 2004

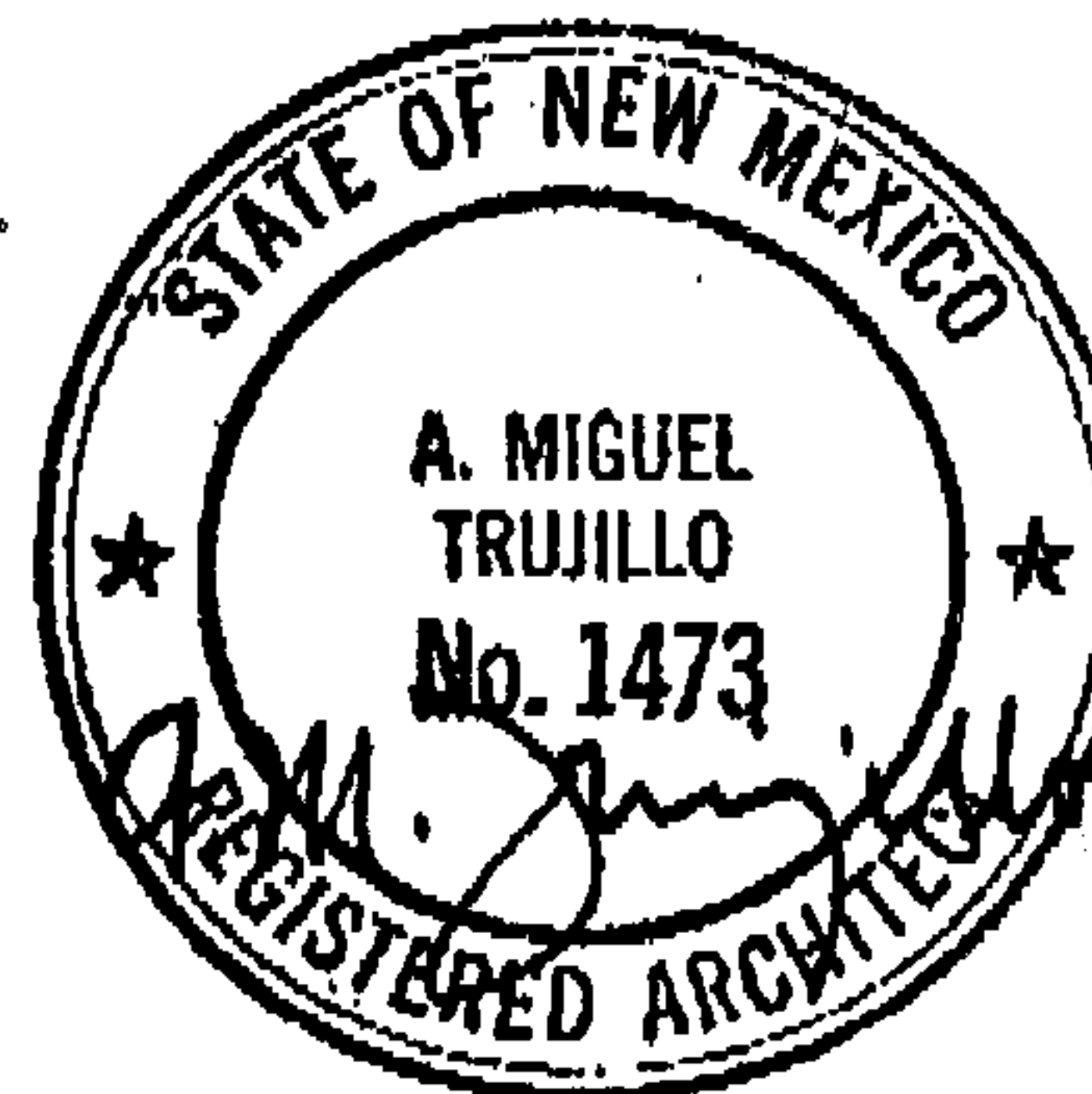
City of Albuquerque
Planning Department
600 2nd Street N.W.
Albuquerque, N.M. 87102
c/o Nilo E. Salgado-Fernandez PE
Transportation Development

Subject: Certification of Site Development

Re: Private Caretaker's Residence on
Commercial Storage Units Site

Location: 8181 Central Avenue N. W.

Att: Mr. Salgado-Fernandez:



2/18/04

The above captioned project is basically complete, the owners have requested that I perform a site visit and review it against the original documents and certify the site. I did perform that site visit and checked it in detail. The siting of the home is in "Substantial Compliance" with the original site development plan, grading and drainage and meet the criteria of my further site development and design.

I understand that you are overseeing the certification of the project for the purpose of securing a C.O. by the owners.

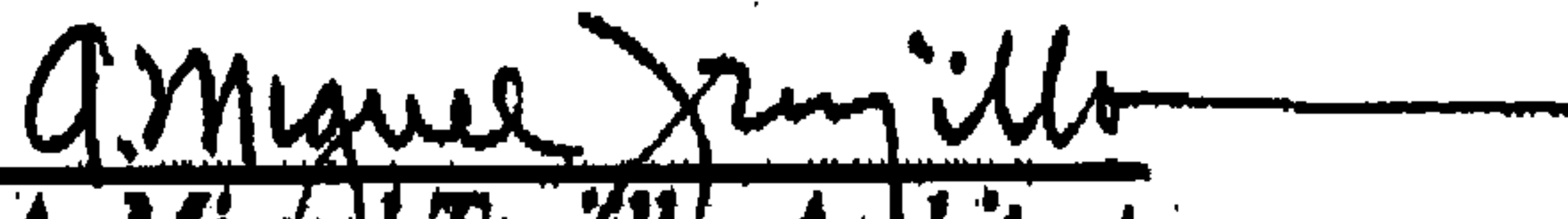
I have entered some dimensional changes that are as-built conditions and further notes to comply with your normal data for certification by my office.

I am the architect-of-record on the project and am fully familiar with the site.

I am herein forwarding a copy to the owners, and you will be hearing from them directly very soon as they are anxious to receive a "Certificate of Occupancy". They will be providing you with the drainage plan as approved by the Transportation Dept. and the Drainage information sheet as signed by me last week.

If there are any question or concerns please contact me directly at 821-5687.

Respectfully,


A. Miguel Trujillo, Architect

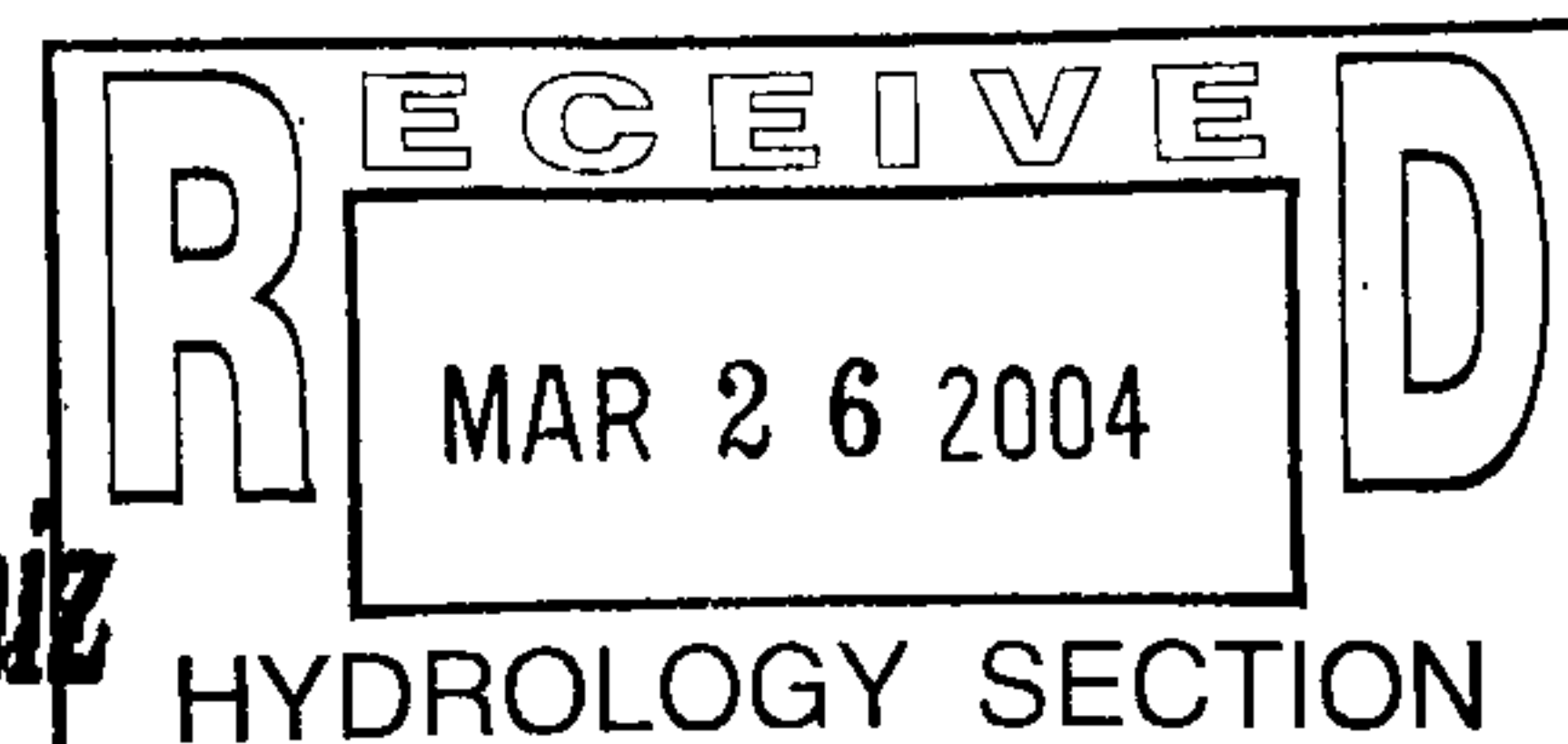
Registered Architect

A. Miguel Trujillo, NCARB

XC: Joe and Odalys Saiz

Licensed Contractor

Assoc. Member ASLA





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 17, 2004

Joe Kelley, P.E.
JC Engineering
1924 Roanoke Dr. NE
Rio Rancho, NM 87144

**Re: Outwest Self Storage, 8181 Central Ave. NW, Certificate of Occupancy
Engineer's Stamp dated 4-10-97 (K10/D32A)
Certification dated 3-12-04**

Dear Mr. Kelley,

Based upon the information provided in your submittal received 3-15-04, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Phyllis Villanueva
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/29/2003rd)

K-10/032A

PROJECT TITLE Outwest Self-Storage ZONE MAP/DRG. FILE # K-10
DRB#: _____ EPC#: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: West Half Tract C-45, Unit 4, Town of Atrisco Grant
CITY ADDRESS: 8181 Central Ave. NW

ENGINEERING FIRM: JC Engineering CONTACT: Joe Kelley, P.E.
ADDRESS: 1924 Roanoke Dr. NE PHONE: 263-9032
CITY, STATE: Rio Rancho, NM ZIP CODE: 87144-5532

OWNER: Joseph and Odalys Saiz CONTACT: Odalys Saiz
ADDRESS: 8181 Central Ave. NW PHONE: 836-0194
CITY, STATE: Albuquerque, NM ZIP CODE: 87121-2125

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

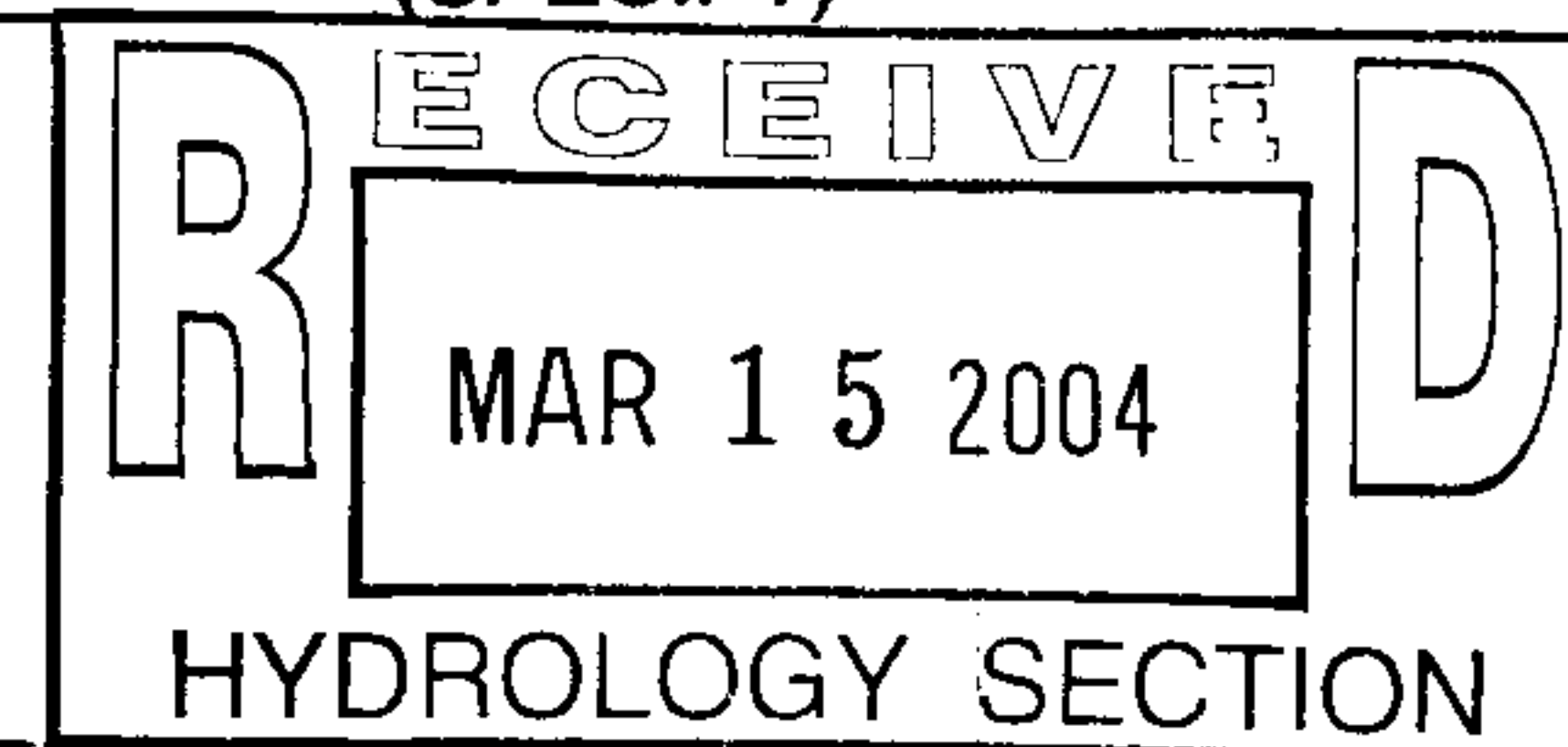
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PRMT. APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER _____ (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: March 14, 2004

BY: Joe P. Kelley, P.E.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

JC=Engineering, LLC

1924 Roanoke Dr. NE Rio Rancho, NM 87144-5532
Tel(505)263-9032 Fax (505)867-9304 www.jcengineering.com

TRANSMITTAL

TO:	Hydrology Dept.	DATE:	March 14, 2004
COMPANY:	City of Albuquerque	FROM:	Joe P. Kelley, P.E.
ADDRESS:	600 Second St. NW	PROJECT:	Outwest Storage
	Albuquerque, NM 87103	TOPIC:	Engineer's Certification

ITEMS TRANSMITTED:

Quantity	Description	For
1	24 x 36 Grading Plan	Approval
1	Drainage Information Sheet	Your use

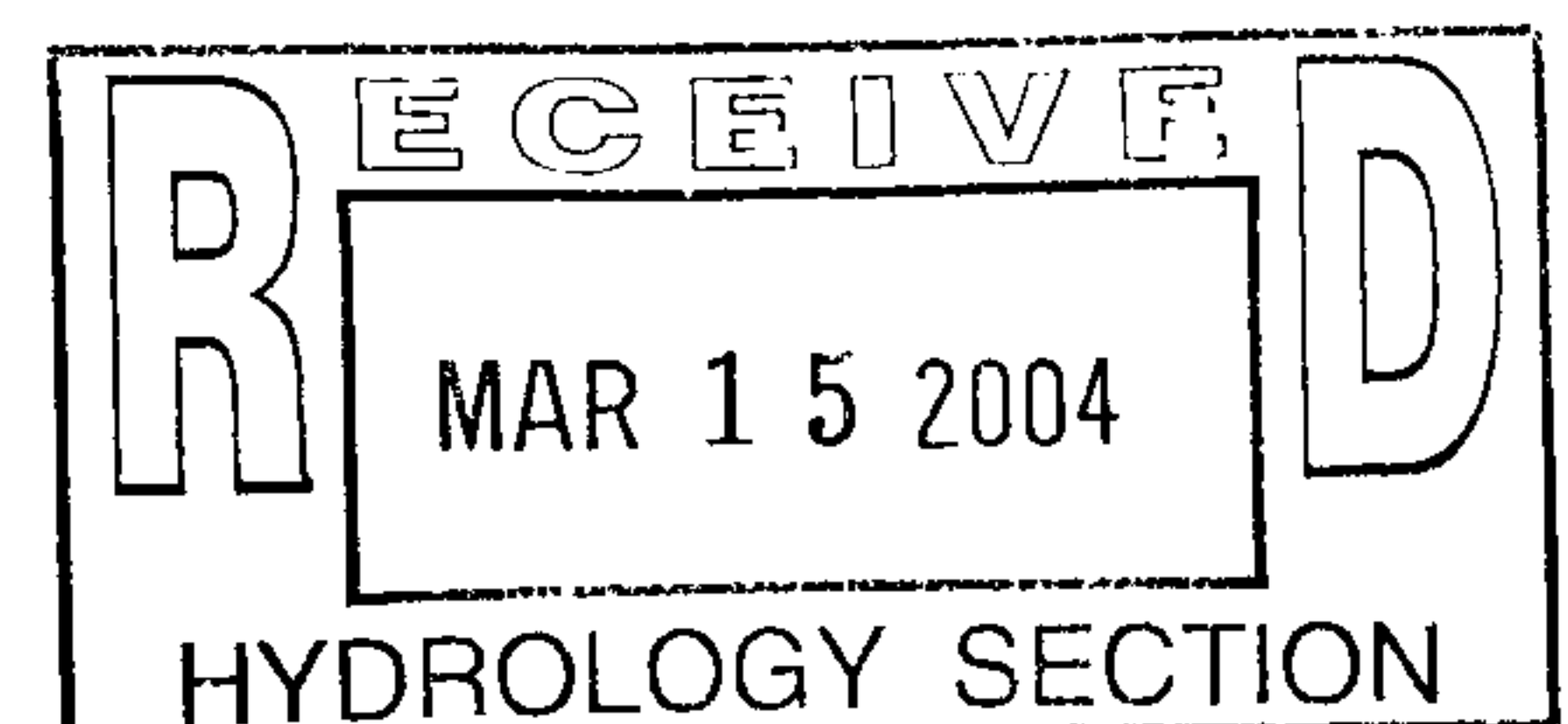
MESSAGE:

This plan is submitted for Certificate of Occupancy approval. The owner had spoken to Brad Bingham, and he may be somewhat familiar with the project.

Most of the site was constructed in 1997, with the exception of the building that is indicated as "Office/Security". That building has been constructed now, and this engineer's certification is submitted for the C.O. for that building. This certification does also extend to the entire site, and this plan describes what exists on the site today.

Feel free to call if you have any questions or need further explanation so that the permanent C.O. may be issued.

Joe





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Planning Department Transportation Development Services Section

March 5, 2004

A Miguel Trujillo, Registered Architect
Miguel Trujillo & Associates
8509 Spain Road NE
Albuquerque, NM 87111

Re: Certification Submittal for Final Building Certificate of Occupancy for
Private Caretaker's Residence on Commercial Storage Unit Site, [K-10 / D32A]
8181 Central Ave NW
Architect's Stamp Dated 03/04/04

Dear Mr. Trujillo:

The TCL / Letter of Certification submitted on March 5, 2004 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). The following will be needed:

- An approved Site Plan with Transportation stamp and signature need to accompany letter of certification.
- The words 'substantial compliance' need to be included in your letter of certification.
- Accompanying letter of certification and approved site plan should be a Drainage Information sheet (as mentioned below).

The TCL (or DRB Site Plan) submitted for Final C.O. needs to be the exact copy of the approved TCL in the plan set approved for building permit. This will be the latest edition, which may have redlined comments, initialled and dated by the designer-of-record.

Resubmit acceptable package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Hydrology.file
Transportation file

MS 5A7
836-0194
Provide T. @mp
CO.

Temp. C.D.
Issued 3/5/04
NSF.

MIGUEL TRUJILLO & ASSOCIATES

Architecture
8504 Spain Road NE

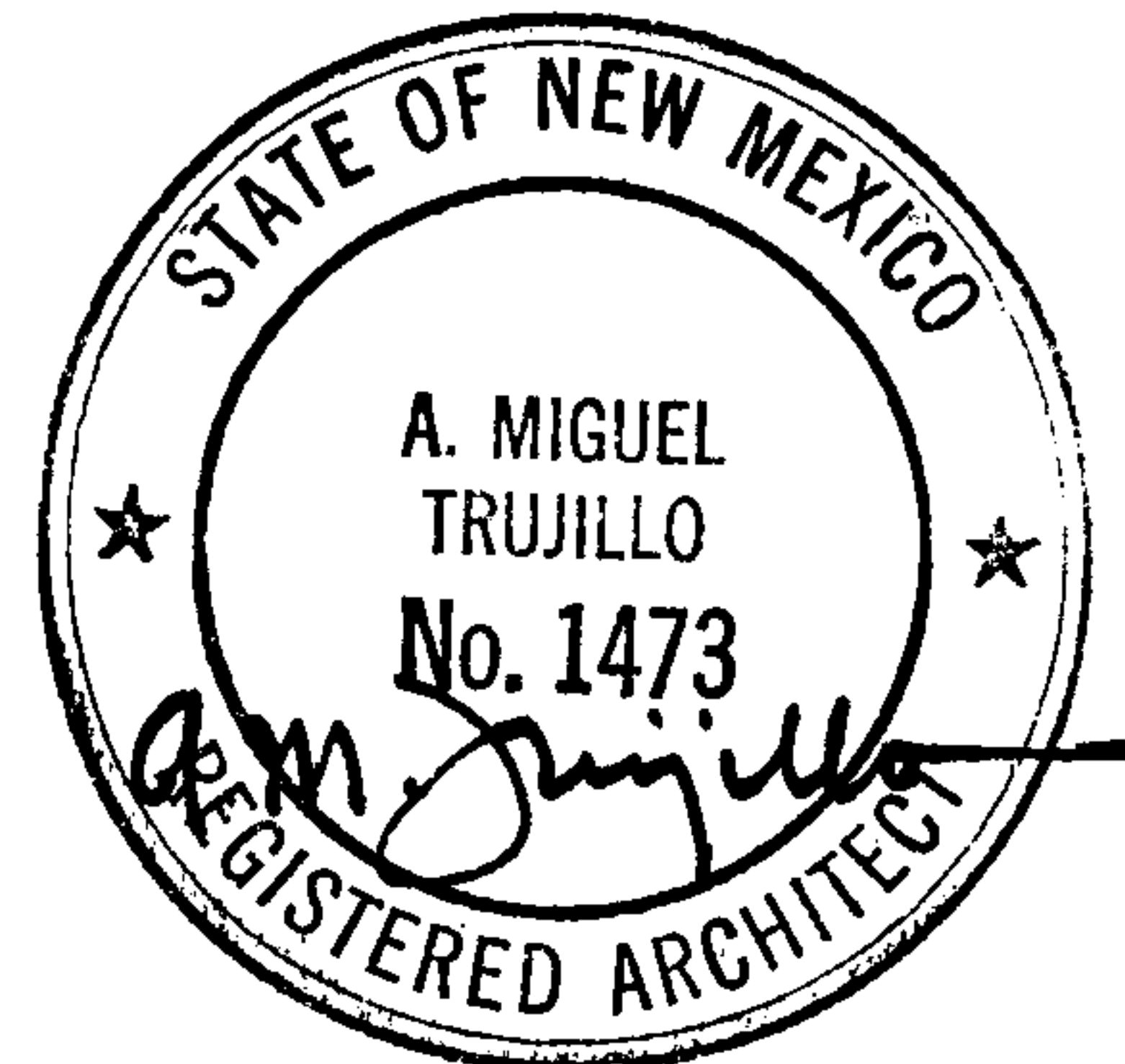
Planning
Albuquerque, NM 87111

Construction Management
Tele. & Fax. #s 797-7663
Cellular # 410-4776

K-10/ P 32A

March 3, 2004

City of Albuquerque
Planning Department
600 2nd Street N.W.
Albuquerque, N.M. 87102



MAR 4, 2004

Transportation Development

Subject: Certification of Site Development

Re: Private Caretaker's Residence on
Commercial Storage Units Site

Location: 8181 Central Avenue N. W.

Att: Mr. Wilfred Gallegos

Mr. Gallegos: On the above captioned project is basically complete, the owners have requested that I perform a site visit and review it against the original documents and certify the site.

Not having another contact or person in your department to send the certification to I selected you since I have submitted to you previously.

I will hand deliver to you this letter and an attached current Site Plan that I have entered some dimensional changes that are as-built conditions and further notes to comply with your normal data for certification by my office.

I am the architect-of-record on the project and am fully familiar with the site.

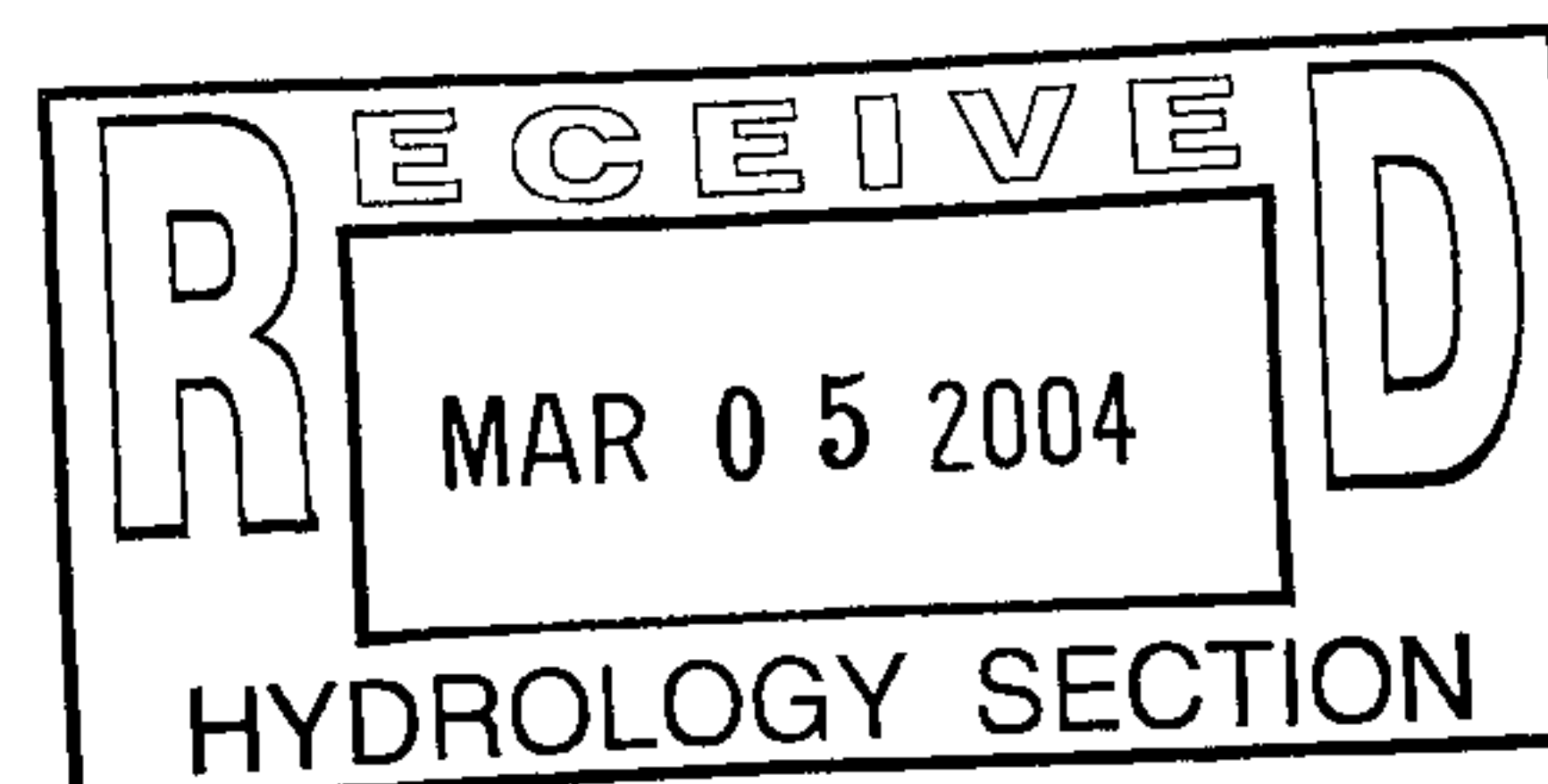
I am herein forwarding a copy to the owners, and you may be hearing from them directly very soon as they are anxious to receive a "Certificate of Occupancy"

If there are any question or concerns please contact me directly at 821-5687.

Respectfully,


A. Miguel Trujillo, Architect

XC: Joe and Odalys Saiz



1000 2. 10.14

1000 2. 10.14
1000 2. 10.14
1000 2. 10.14
1000 2. 10.14

1000 2. 10.14

1000 2. 10.14

1000 2. 10.14

- Need an approved Solo Plan w/ Transp. approval stamp & signature
- Need to words "substantiated compliance on letter of cert."
- D/T w/ go St. County (obtain at front)

1000 2. 10.14

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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 26, 1995

Ernie Salazar
Chavez-Grieves
5693 Jefferson NE
Albuquerque, NM 87103

**RE: CENTRAL SELF STORAGE (K10/D32) GRADING AND DRAINAGE PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED 9-18-95.**


Dear Mr. Salazar:

Based on the information provided on your submittal dated August 15, 1995, City Hydrology has the following comments:

1. Please show roof drain locations.
2. From your calculations, it appears that the total allowable discharge from this site is 3.16 cfs. You are discharging 3.16 cfs from each pond, which gives a total discharge of 6.32 cfs.
3. Who maintains the downstream pond at Central and Unser? Are there any drainage problems currently with this pond?
4. Please be more specific (show detail) on how you plan to discharge your ponds. It appears that you want to discharge pond into a public right-of-way. This requires SO-19 approval. Refer to the DPM section 22.7 for more information on work within City right-of-way.
5. I suggest you re-verify with the Planning Department that DRB approval for this site is not necessary.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

K10 West Cenl

8181 ~~Albion~~

Central NW



HOT NEWS!

Miguel Trujillo & Associates
8504 Spain Road NE
Albuquerque, NM 87111

Phone - 505 797-7663
Fax 505 797-7663

Date: 6-17-03

Time: _____

From: A. Miguel Trujillo, Arch.

Company Name: City of ALBUQ.

Attention: TERRY MARTIN

Address: _____

City: _____ State: NM Zip _____

Fax Number: (1) 924-3864

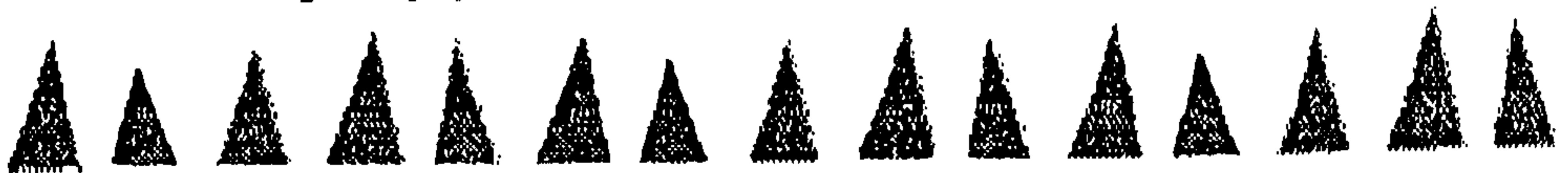
*CO.'S FOR
AN 3 PHASES!*

K-10/D32A

☐ Total number of pages transmitted including this page

☒ Please confirm receipt of FAX by:

☐ Fax ☒ Phone ☐ Mail



Certificate of Occupancy

City of Albuquerque
Planning Department
Building Safety Division

This Certificate, issued pursuant to the requirements of Section 308 of the Albuquerque Uniform Administrative Code, certifies that at the time of issuance this structure was in compliance with the above code and other technical codes and city ordinances regulating building construction or use.

Building Address 8181 Central Avenue N.W. Zip 87121
Portion of Building 1 Self Storage Building
Use Classification Commercial Project Bldg. Permit No. 9512849
Occupancy Group B-2 Type of Construction II-N and Use Zone SU-2 JP
Owner of Building Joseph P. & Odalys Saiz Address 8181 Central NW, Albuquerque, NM 87121
By: David S. Steele Date: August 23, 1996
Signature: Victorie Chavez

(THIS BUILDING OFFICIAL)

PLACED IN A CONSTRUCTION PLACE

Certificate of Occupancy

City of Albuquerque
Planning Department
Building Safety Division

This Certificate, issued pursuant to the requirements of Section 308 of the Albuquerque Uniform Administrative Code, certifies that at the time of issuance this structure was in compliance with the above code and other technical codes and city ordinances regulating building construction or use.

Building Address	8181 Central Avenue N.W.	Zip	87121
Portion of Building	Self Storage Building		
Use Classification	Commercial Project	Bldg. Permit No.	9702601
Occupancy Group	B-2	Type of Construction	II-N
		Land Use Zone	SU-2 IP
Owner of Building	Joseph P. Saiz	Address	3181 Central Avenue NW, Albuquerque, NM 87121
David S. Steele		By:	Vicki Chavez
		Date:	July 12, 1999

CHIEF BUILDING OFFICIAL

POST IN A CONSPICUOUS PLACE

Certificate of Occupancy

City of Albuquerque
Planning Department
Building Safety Division

This Certificate, issued pursuant to the requirements of Section 308 of the Albuquerque Uniform Administrative Code, certifies that at the time of issuance this structure was in compliance with the above code and other technical codes and city ordinances regulating building construction or use.

Building Address 8181 Central Avenue N.W. Zip 87121
Position of Building Addition to Self Storage
Use Classification Commercial Project Bldg. Permit No. 9908071
Occupancy Group S-1 Type of Construction II-N Land Use Zone _____
Owner of Building Joseph and Odalys Saiz Address 8181 Central Ave. NW, Albuquerque, NM 87121
By: David L. Steele Date: 3/16/00
Chief Building Official

POST IN A CONSPICUOUS PLACE



City of Albuquerque

February 11, 2000

Kevin Donnelly, P.E.
Chavez-Grieves
5639 Jefferson Street NE
Albuquerque, NM 87109

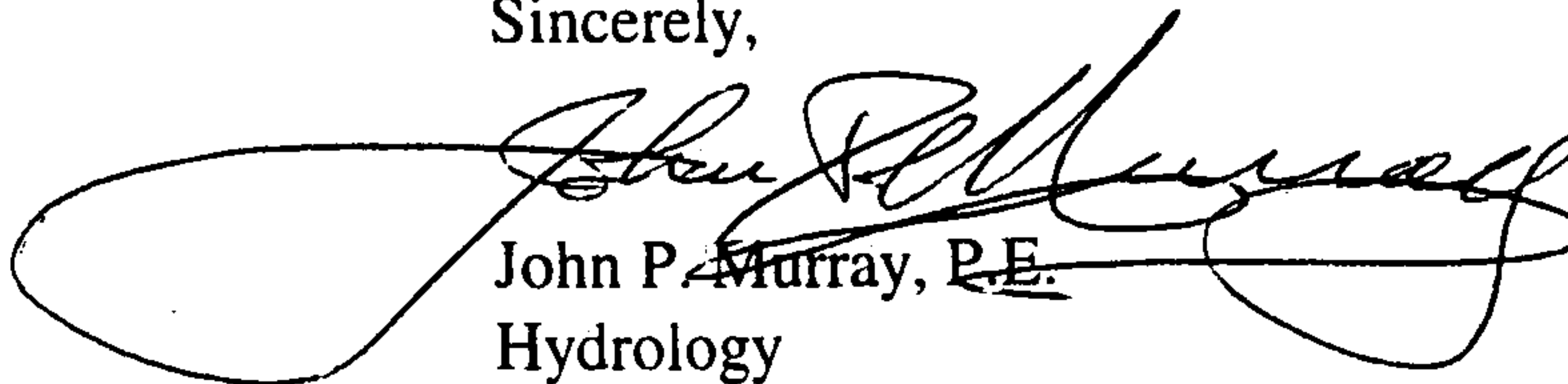
**RE: CENTRAL SELF-STORAGE UNITS - 8181 Central Ave NW - (K10-D32A).
ENGINEER'S CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
APPROVAL. ENGINEER'S STAMP DATED JANUARY 13, 2000.**

Dear Mr. McCarty:

Based on the information provided on your January 13, 2000 submittal, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: WR
✓ File

(phase 3)

DRAINAGE INFORMATION

PROJECT TITLE: Central Self Storage ZONE ATLAS/DRNG. FILE #: K-10

DRB#: _____ EPC #: _____ WORK ORDER# _____

LEGAL DESCRIPTION: West Half Tract C-45, Unit 4, Tracts Alloted From Town Of Atrisco Grant

CITY ADDRESS: 8181 Central Ave. N.W.

ENGINEERING FIRM: Chavez-Grieves

CONTACT: Kevin Donnelly

ADDRESS: 5639 Jefferson NE

PHONE: 344-4080

OWNER: Joe & Odalys Saiz

CONTACT: Joe Saiz

ADDRESS: 8181 Central Ave. N.W.

PHONE: 836-0194

ARCHITECT: Lawrence Garcia

CONTACT: Lawrence Garcia

ADDRESS: 9741 Candelaria NE Albuq. NM

PHONE: 292-7229

SURVEYOR: Percision Surveys

CONTACT: Larry Medrano

ADDRESS: _____

PHONE: 856-5700

CONTRACTOR: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

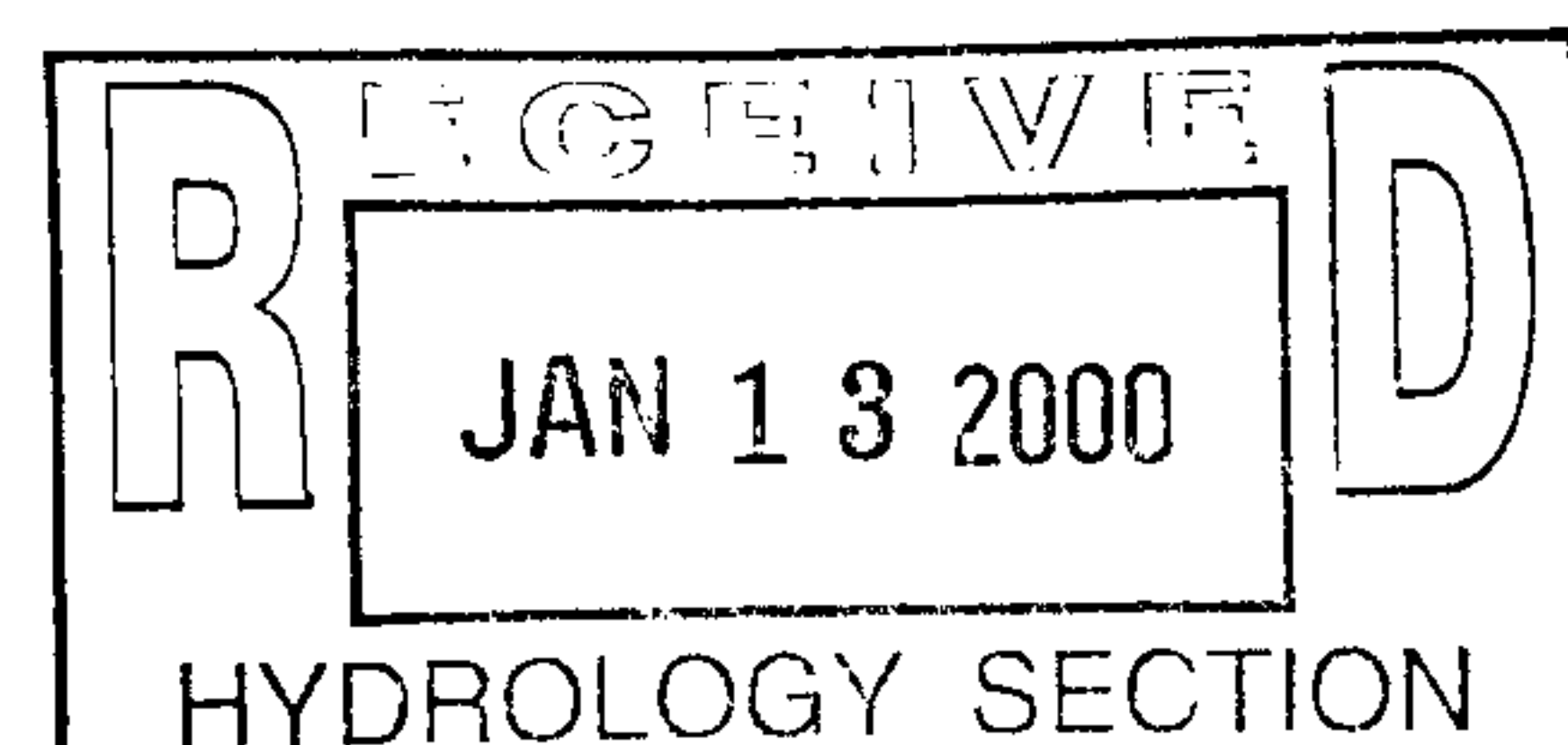
- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PRMT. APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ DRB SITE PLAN APPROVAL

PRE-DESIGN MEETING:

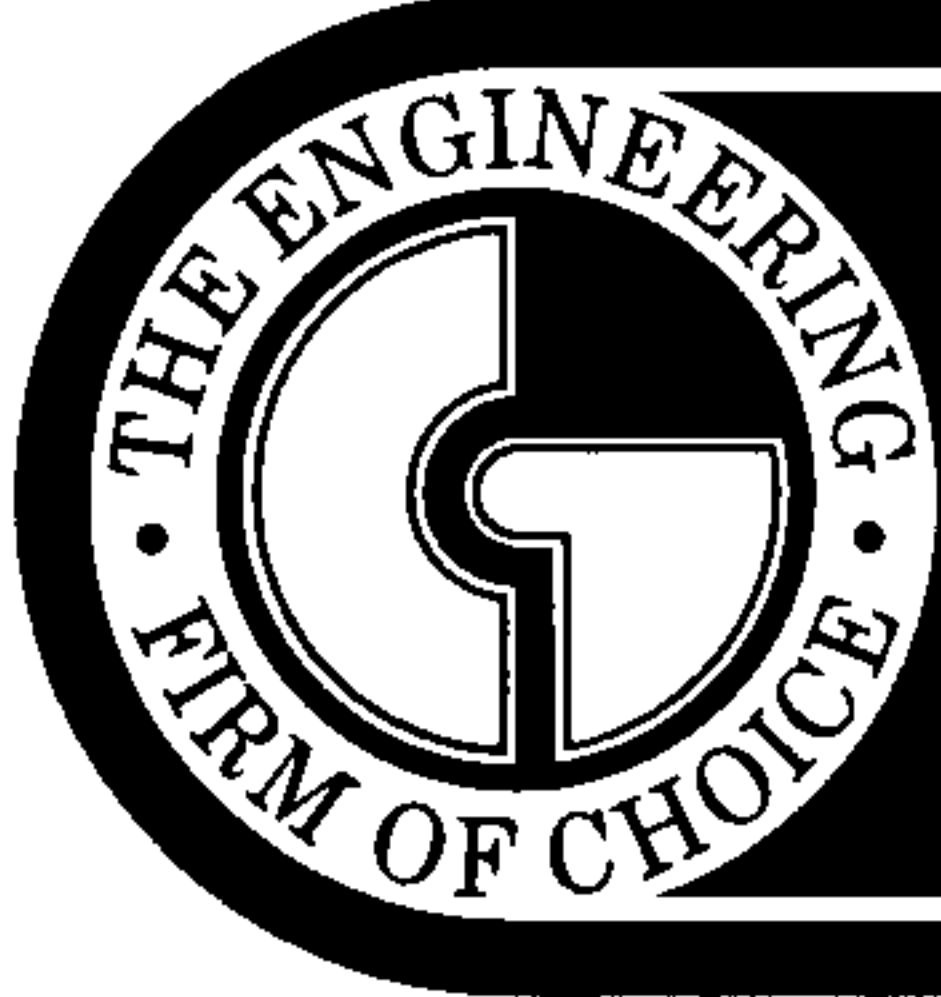
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED IN REPORT

DATE SUBMITTED: January 13, 2000

BY: Kevin Donnelly



K-10/0032



CHAVEZ • GRIEVES

CONSULTING ENGINEERS, INC.

5639 JEFFERSON STREET NE • SUITE 1 • ALBUQUERQUE, NEW MEXICO 87109 • PHONE (505) 344-4080 • FAX (505) 343-8759

LETTER OF TRANSMITTAL

TO: City of Albug.
Hydrology
Plaza Del Sol Bldg
ATTN: 2nd st

DATE: 01-13-00
JOB # S47-100-5195
RE: Drainage Certification

WE ARE SENDING YOU ATTACHED UNDER SEPARATE COVER, THE FOLLOWING ITEMS:

SHOP DRAWINGS ☒ PLANS SPECIFICATIONS DISKETTE
CHANGE ORDER PRINTS CALCULATIONS PROPOSAL INFO
COPY OF LETTER SAMPLES REPORT

COPIES	DATE	NO.	DESCRIPTION
<u>1</u>	<u>Drainage Plan</u>	<u>and</u>	<u>Drainage info sheet</u>

THESE ARE TRANSMITTED AS CHECKED BELOW:

☒ FOR YOUR USE ☐ FOR REVIEW & COMMENT
☐ AS REQUESTED ☐ RETURNED AFTER LOAN TO US
☐ PLEASE CORRECT AND RESUBMIT ☐ SUBMIT COPIES FOR DISTRIBUTION
☐ RESUBMITTAL IS NOT REQUIRED ☐ RETURN CORRECTED PRINTS
CORRECTIONS, IF ANY, ARE NOTED ☐ BIDS/PROPOSALS DUE 199

REMARKS: _____

COPIES TO: file

SIGNED: [Signature]
JAN 13 2000
HYDROLOGY SECTION

IF ENCLOSURES ARE NOT AS NOTED, KINDLY NOTIFY US AT ONCE.

DRAINAGE INFORMATION

PROJECT TITLE: Central Self-Storage Units

ZONE ATLAS/DRNG. FILE #: K10/1032

DRB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: West Half Tract C-45, Unit 4, Tracts Alloted From Town of Atrisco Grant

CITY ADDRESS: 8181 Central Ave. NW

ENGINEERING FIRM: Chavez-Grieves

CONTACT: Ernie Salazar

ADDRESS: 5639 Jefferson NE

PHONE: 344-4080

OWNER: Joe & Odalys Saiz

CONTACT: Joe Saiz

ADDRESS: 1021 Riverview PL NW, Albuq. NM

PHONE: 836-0194

ARCHITECT: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

SURVEYOR: Precision Surveys

CONTACT: Larry Medrano

ADDRESS: 2929 Coors Blvd NW Suite 105

PHONE: 839-0569

CONTRACTOR: not selected

CONTACT: _____

ADDRESS: _____

PHONE: _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☒ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☒ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PRMT. APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☒ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

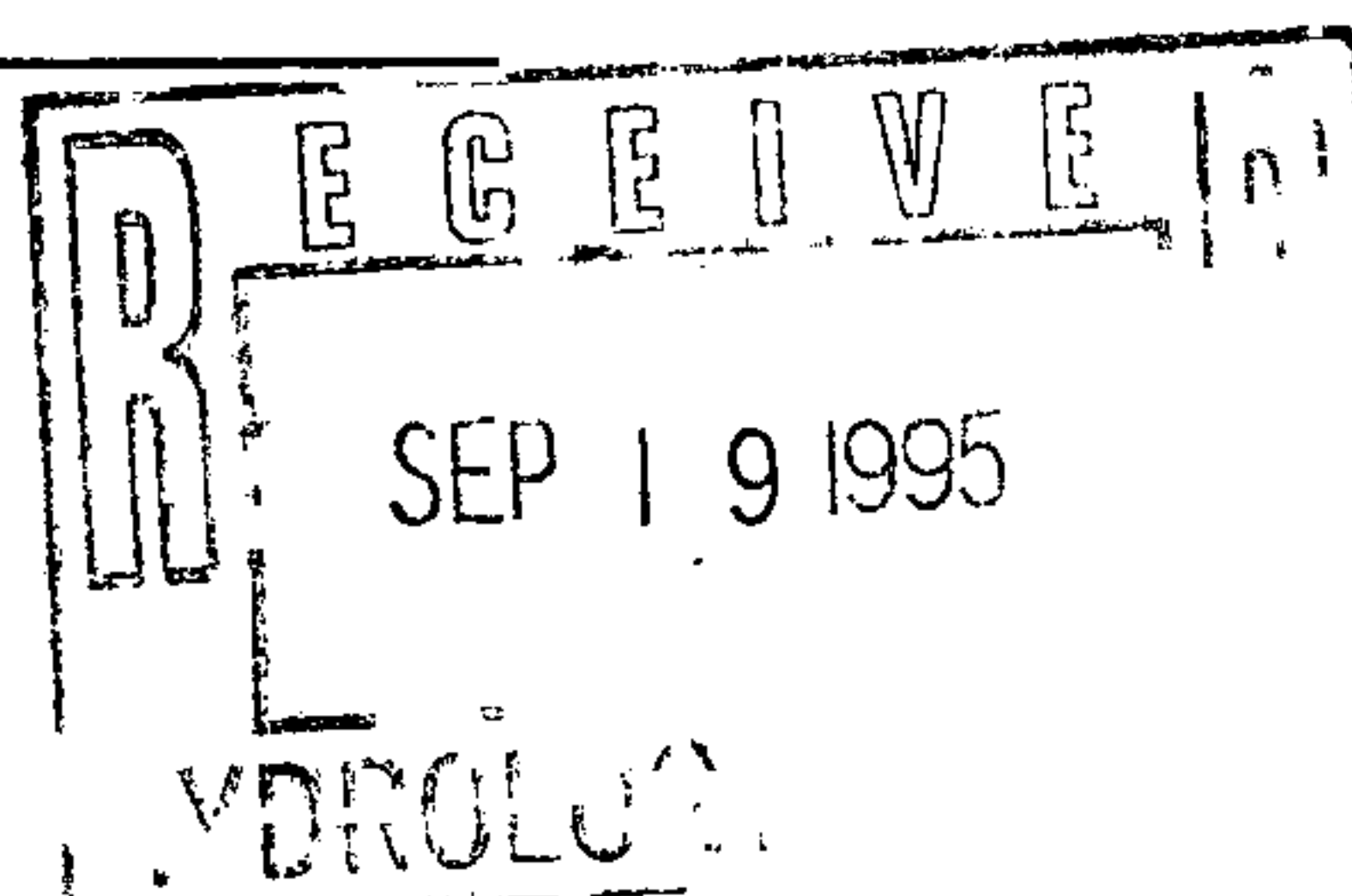
☐ YES

☒ NO

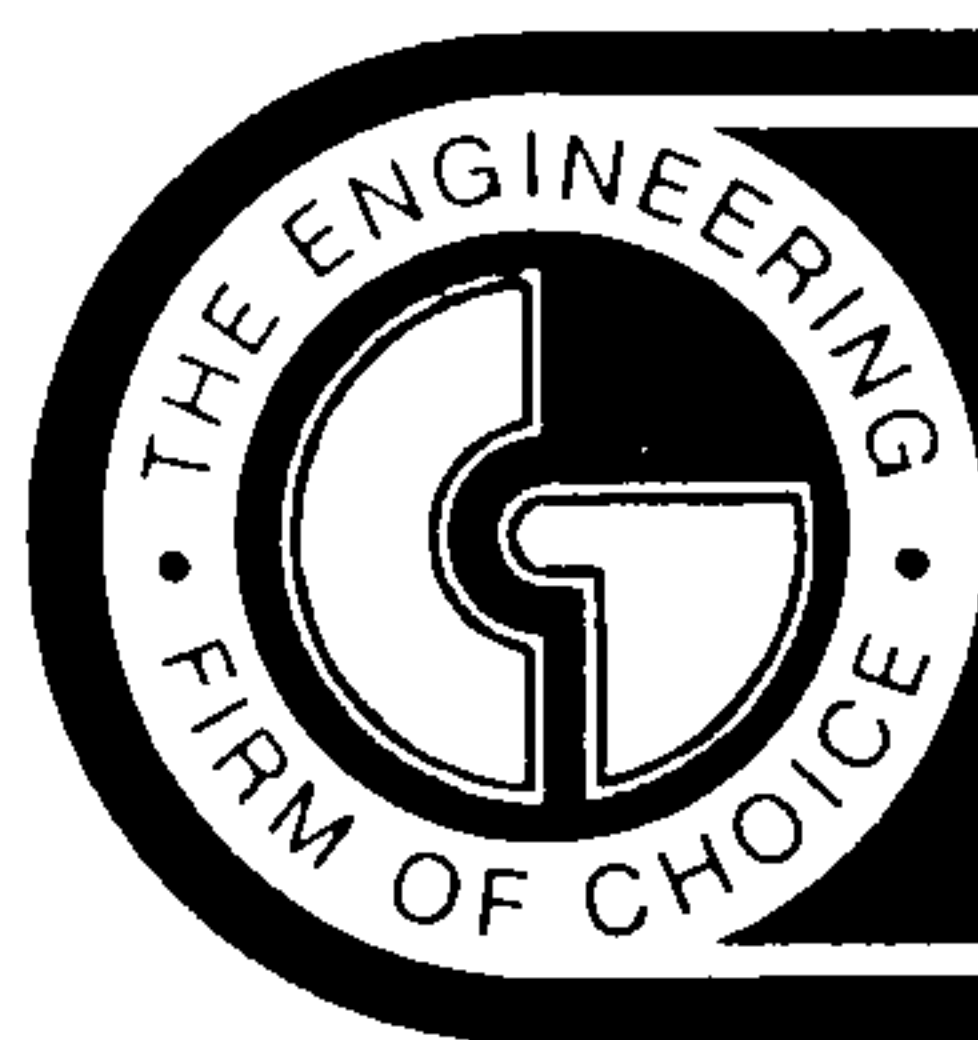
☐ COPY PROVIDED

DATE SUBMITTED: September 18, 1995

BY: Ernie Salazar



*Please Log This in.
JPC 9-19-95*



CHAVEZ • GRIEVES

CONSULTING ENGINEERS, INC.

5639 JEFFERSON STREET NE • ALBUQUERQUE, NEW MEXICO 87109 • PHONE (505) 344-4080 • FAX (505) 343-8759

LETTER OF TRANSMITTAL

TO: City of Albug Hydrology Div.
ATTN: John P. CURTIN

DATE: 9/18/95

JOB # AA-95-91

RE: _____

WE ARE SENDING YOU _____ ATTACHED _____ UNDER SEPARATE COVER, THE FOLLOWING ITEMS:

____ SHOP DRAWINGS ☒ PLANS _____ SPECIFICATIONS _____ DISKETTE
____ CHANGE ORDER _____ PRINTS _____ CALCULATIONS _____
____ COPY OF LETTER _____ SAMPLES ☒ REPORT _____

COPIES	DATE	NO.	DESCRIPTION
--------	------	-----	-------------

			<u>GRADING & Drainage plans & DRAINAGE Report</u>
			<u>For Central Self-storage</u>

THESE ARE TRANSMITTED AS CHECKED BELOW:

<input type="checkbox"/> FOR YOUR USE	<input checked="" type="checkbox"/> FOR REVIEW & COMMENT
<input type="checkbox"/> AS REQUESTED	<input type="checkbox"/> RETURNED AFTER LOAN TO US
<input type="checkbox"/> PLEASE CORRECT AND RESUBMIT	<input type="checkbox"/> SUBMIT _____ COPIES FOR DISTRIBUTION
<input type="checkbox"/> RESUBMITTAL IS NOT REQUIRED	<input type="checkbox"/> RETURN _____ CORRECTED PRINTS
CORRECTIONS, IF ANY, ARE NOTED	

REMARKS: John, please replace the submittal with dated
Aug 8, 1995 with this submittal. Note the new pond due
to the asphalt surface vs. the Gravel surface.

I would greatly appreciate it if you could expedite
your review of this project.

This submittal has been Thank you ERNIE SALAZAR

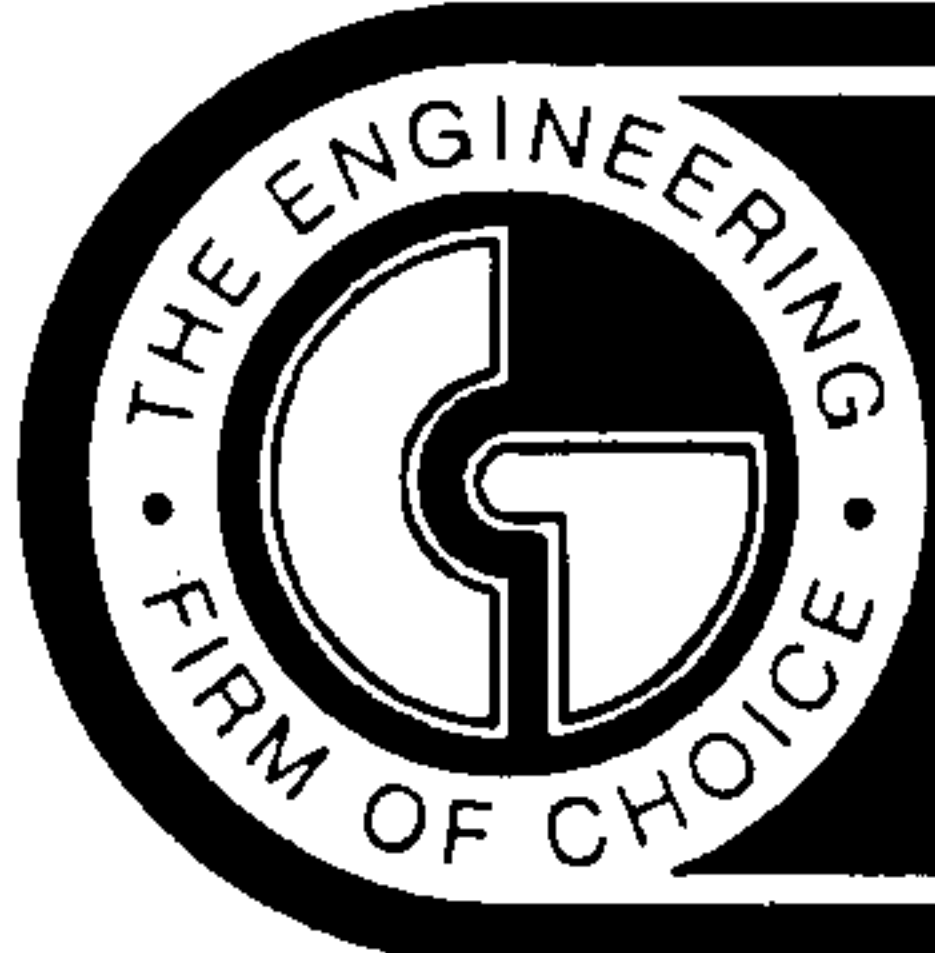
Closed. SEP 19 1995

COPIES TO: File

SIGNED: Ernie Salazar

IF ENCLOSURES ARE NOT AS NOTED, KINDLY NOTIFY US AT ONCE.

REV.1/92



CHAVEZ • GRIEVES
CONSULTING ENGINEERS, INC.

5639 JEFFERSON STREET NE • ALBUQUERQUE, NEW MEXICO 87109 • PHONE (505) 344-4080 • FAX (505) 343-8759

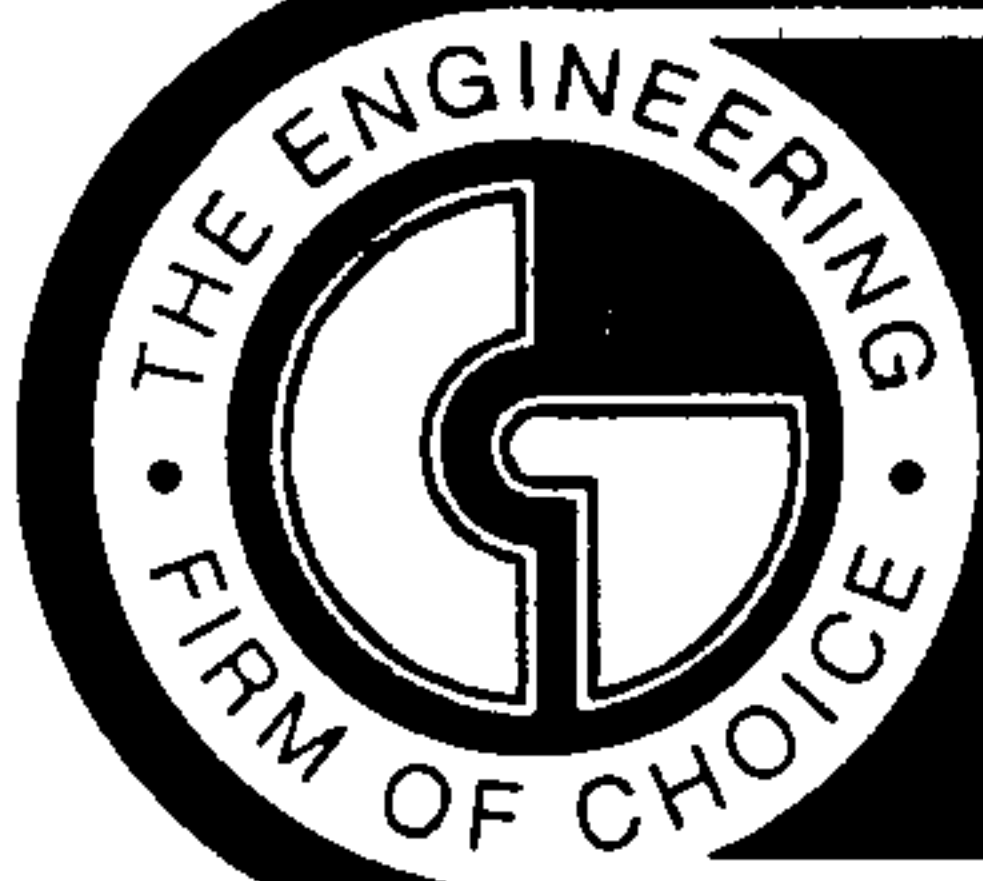
GRADING AND DRAINAGE PLAN

FOR

CENTRAL SELF-STORAGE UNITS

ALBUQUERQUE, NEW MEXICO

SEPTEMBER, 1995



CHAVEZ • GRIEVES

CONSULTING ENGINEERS, INC.

5639 JEFFERSON STREET NE • ALBUQUERQUE, NEW MEXICO 87109 • PHONE (505) 344-4080 • FAX (505) 343-8759

GRADING AND DRAINAGE PLAN

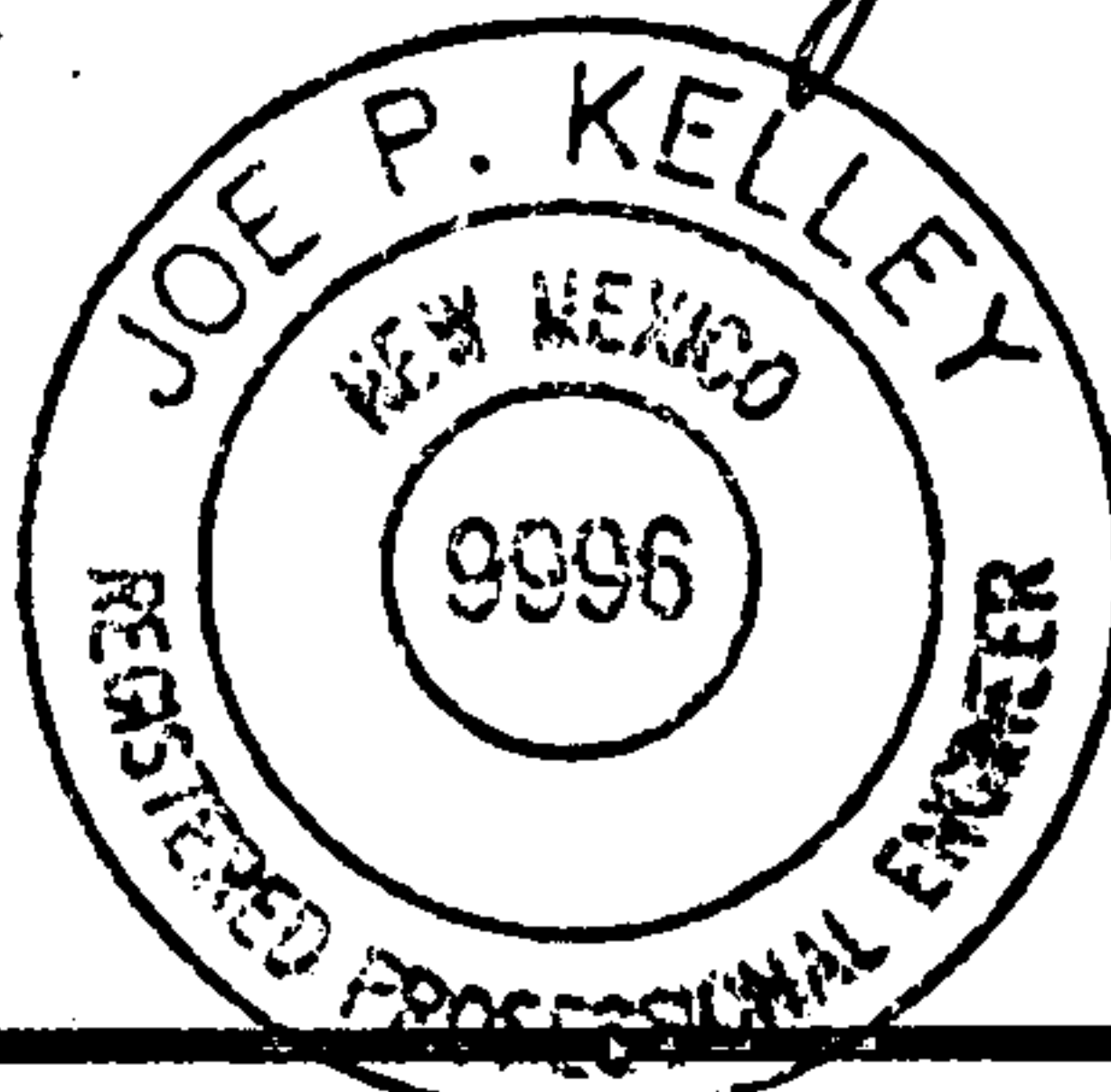
CENTRAL SELF-STORAGE UNITS

SEPTEMBER 1995

ENGINEER'S STATEMENT

I certify that I am a Registered Professional Engineer in the State of New Mexico and that this report was prepared by me or under my supervision. Chavez-Grievess personnel have inspected this land, and it appears that no grading, filling, or excavation has occurred thereon since the existing contour map was prepared.

Joe Paul Kelley 9/15/95



Celebrating 15 Years of Engineering Leadership

LOCATION AND SURROUNDING DEVELOPMENT

This site is located on Albuquerque's West Central Ave. approximately 1/4 mile west of Unser Blvd. and on the north side of Central Ave. It is undeveloped land located within the West Route 66 Sector Development Plan. The tract proposed for development is zoned SU-2, IP as are the surrounding tracts. The west property line borders a private dirt road that provides access to the property on the west. On the east is the east 1/2 of the tract proposed for development, which is also undeveloped. A paved frontage road located between Central Ave. and the south boundary of the tract runs east and west adjacent to the tract. Development in the area is sparse, with most of the development occurring near Unser Blvd.

LEGAL DESCRIPTION

West Half Tract C-45, Unit No. Four, Tracts Allotted From Town Of Atrisco Grant, Albuquerque, Bernalillo County, New Mexico

FLOOD HAZARD ZONES

As shown by Panel 3500020027 of the National Flood Insurance Rate Maps for the City of Albuquerque, dated October 14, 1983, there are no designated flood hazard zone, on this site.

EXISTING SITE CONDITIONS AND DRAINAGE PATTERN

The site is presently undeveloped and slopes from the northwest down to the southeast at about 0.4%. The ground is vegetated with native grasses. No off-site runoff discharges onto the site. Runoff from the site sheet flows onto an asphalt frontage road and dirt median in the right-of-way south of the site. Runoff then discharges east via the road and dirt median to a ponding area located near Unser and Central Ave.

RELATED REPORTS

No related reports were on file at the City of Albuquerque, Hydrology Department at the time of this report.

PROPOSED SITE CONDITIONS AND DRAINAGE PATTERN


Proposed development of the site includes construction of approximately 28,000 sq.ft.

of storage units, two trailers and a carport. Areas of vehicle traffic will have an asphalt surface and the remaining area will be grass or native vegetation. The site is to be developed in phases. The first phase will include construction of approximately 6000 sq.ft. of storage units and placement of the two trailers. The remaining phases will be developed as permitted by finances. Site grading will be done in conjunction with the development phases. The undeveloped portion of the site will continue to discharge in historical fashion, while the developed portion will discharge in accordance with this plan.

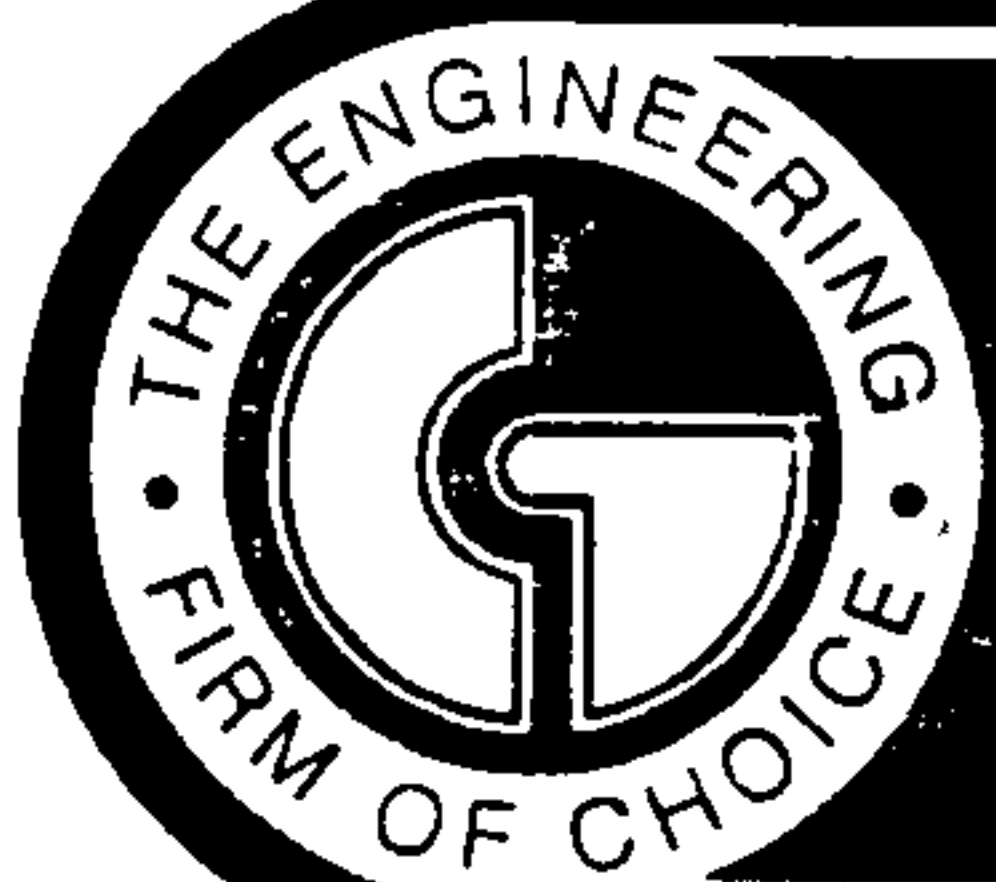
As shown in the runoff summary, the development of the site will increase runoff by approximately 9800 cu.ft. Two detention ponds will be constructed on site and for each pond runoff will discharge via a 8" DIP at the historical rate of 3.16 cfs. The 8"DIP will direct runoff to the dirt median and frontage road located adjacent to the tract, which is the site's historical point of discharge. Thus the drainage pattern and peak discharge from the 100-year storm will be the same as existing.

RUNOFF SUMMARY

Discharge from	Discharge to	$Q_{\text{EXIST.}}$ (CFS)	Q_{DEV} (CFS)	$V_{\text{EXIST.}}$ (CU.FT.)	V_{DEV} (CU.FT.)
Site	Frontage Rd. & Dirt median	3.16	9.10	3913	13714
Detention Ponds	Right-of-way	3.16	3.16	3913	11508

A vertical dashed line on the left side of the page, consisting of 18 short black horizontal segments separated by gaps.

HYDROLOGIC AND HYDRAULIC COMPUTATIONS



CHEAVEZ • GRIEVES

CONSULTING ENGINEERS, INC.

5639 JEFFERSON STREET NE • ALBUQUERQUE, NEW MEXICO 87109 • PHONE (505) 344-4080 • FAX (505) 343-8759

RUNOFF CALCULATIONS - SIMPLIFIED PROCEDURE

By: ERNIE SALAZAR
Project: CG# S47-100-5195

Date: 9/15/95
Zone Atlas: K-10-Z

This procedure is in accordance with the City of Albuquerque Development Process Manual, Volume 2, Section 22.2, "Hydrology", peak discharge rate for small watersheds less than forty acres in size.

Precipitation Zone from Figure A-1: 1
Land treatment descriptions are in Table A-4.

1. RUNOFF RATE COMPUTATION

Use Equation a-10: $Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$

Values of Q_{pi} are from Table A-9, and are in CFS/acre. Area values are in acres.

BASIN	Q_{PA}	A_A	Q_{PB}	A_B	Q_{PC}	A_C	Q_{PD}	A_D	Q_p
EXISTING BASIN RATE OF RUNOFF (CFS)									
1	1.29	2.45							3.16 cfs
DEVELOPED BASIN RATE OF RUNOFF (CFS)									
					2.87	1.07	4.37	1.38	9.10 cfs

2. RUNOFF VOLUME COMPUTATION

Use Equation a-5 to compute weighted excess precipitation:

$$\text{Weighted } E = "E" = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / (A_A + A_B + A_C + A_D)$$

$$(A_A + A_B + A_C + A_D) = \sum A_i$$

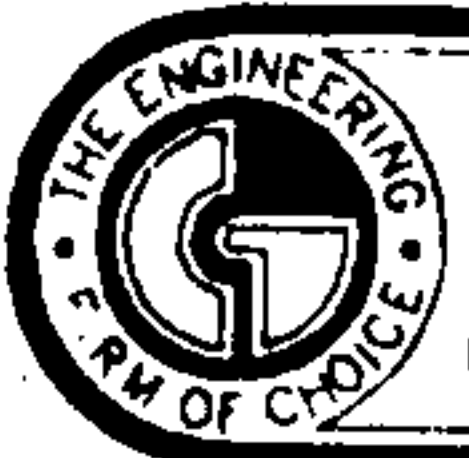
Use Equation a-6 to compute the volume:

$$V_{360} = "E" \times (A_A + A_B + A_C + A_D) \times 3630 \text{ feet}^3/\text{acre} \cdot \text{inch}$$

Values of E_i are from Table A-8, and are in inches. Area values are in acres.

BASIN	E_A	A_A	E_B	A_B	E_C	A_C	E_D	A_D	$\sum A_i$	"E"	V_{360}
EXISTING BASIN VOLUME OF RUNOFF (CUBIC FEET)											
1	.44	2.45								.44	3913 cf
DEVELOPED BASIN VOLUME OF RUNOFF (CUBIC FEET)											
					.99	1.07	1.97	1.38	2.45	1.542	13,714 cf

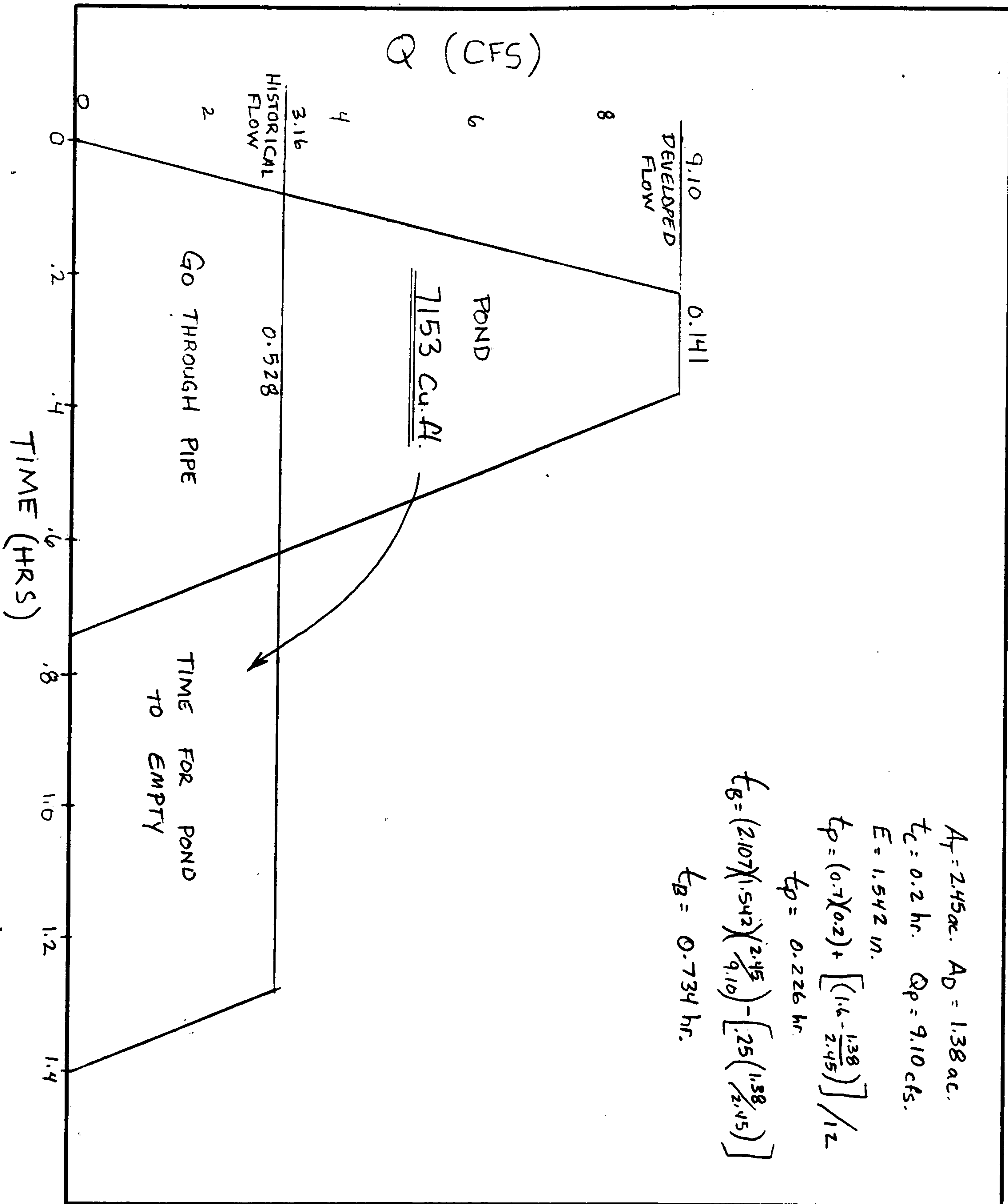
$$\text{WEIGHTED } "E" = \frac{(.99)(1.07) + (1.97)(1.38)}{1.07 + 1.38} = 1.542$$

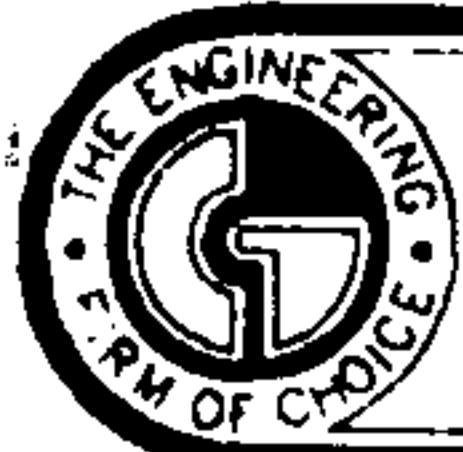


CHAVEZ • GRIEVES CONSULTING ENGINEERS, INC.

5639 JEFFERSON STREET N.E. • ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 344-4080 • FAX (505) 343-8759

SHEET NO. 1 OF 1
JOB CENTRAL SELF STORAGE
SUBJECT HYDROGRAPH
CLIENT SAIZ
JOB NO. 547-100-5195
BY E. SALAZAR DATE 9/15/95



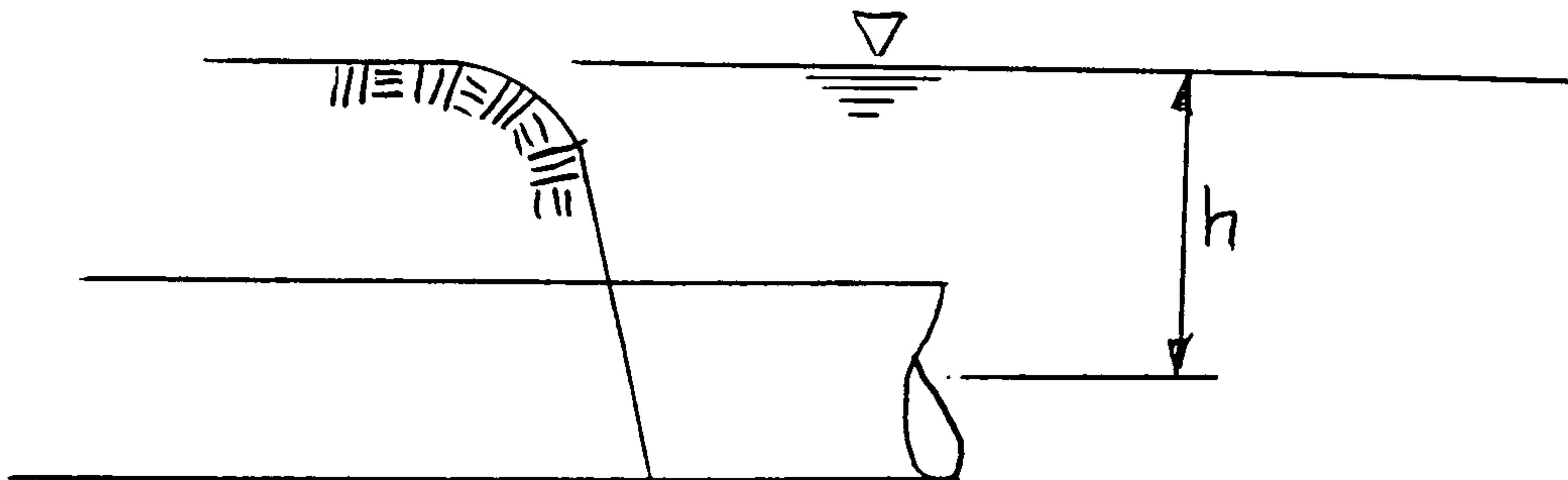


CHAVEZ • GRIEVES CONSULTING ENGINEERS, INC.

5639 JEFFERSON STREET N.E. • ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 344-4080 • FAX (505) 343-8759

SHEET NO. _____ OF _____
JOB CENTRAL SELF STORAGE
SUBJECT CULVERT DESIGN
CLIENT SAIZ
JOB NO. 547-100-5195
BY E. SALAZAR DATE 9/15/95

Q REQUIRED = 3.16 CFS



ORIFICE EQ.

$$Q = 0.6 A \sqrt{2gh}$$

A = AREA of pipe

g = 32.2 ft/sec²

Q = FLOW

8" Dia. D.I.P.

A = .349 ft², h = 1.97 ft.

$$(0.6)(.349) \sqrt{(62.4)(1.97)} = 2.32 \text{ CFS}$$



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 23, 1995

Ernie Salazar
Chavez-Grieves
5693 Jefferson NE
Albuquerque, NM 87103

**RE: CENTRAL SELF STORAGE (K10/D32) GRADING AND DRAINAGE PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED 10-16-95.**

Dear Mr. Salazar:

Based on the information provided on your submittal dated October 19, 1995, the above referenced project is approved for Building Permit.

Prior to Certificate of Occupancy approval, an Engineer's Certification is required for the approved plans.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,

Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

DRAINAGE INFORMATION

PROJECT TITLE: Central Self-Storage Units ZONE ATLAS/DRNG. FILE #: K10 / 432

DRB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: West Half Tract C-45, Unit 4, Tracts Alloted From Town of Atrisco Grant

CITY ADDRESS: 8181 Central Ave. NW

ENGINEERING FIRM: Chavez-Grieves

CONTACT: Ernie Salazar

ADDRESS: 5639 Jefferson NE

PHONE: 344-4080

OWNER: Joe & Odalys Saiz

CONTACT: Joe Saiz

ADDRESS: 1021 Riverview PL NW, Albuq. NM

PHONE: 836-0194

ARCHITECT: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

SURVEYOR: Precision Surveys

CONTACT: Larry Medrano

ADDRESS: 2929 Coors Blvd NW Suite 105

PHONE: 839-0569

CONTRACTOR: not selected

CONTACT: _____

ADDRESS: _____

PHONE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☒ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

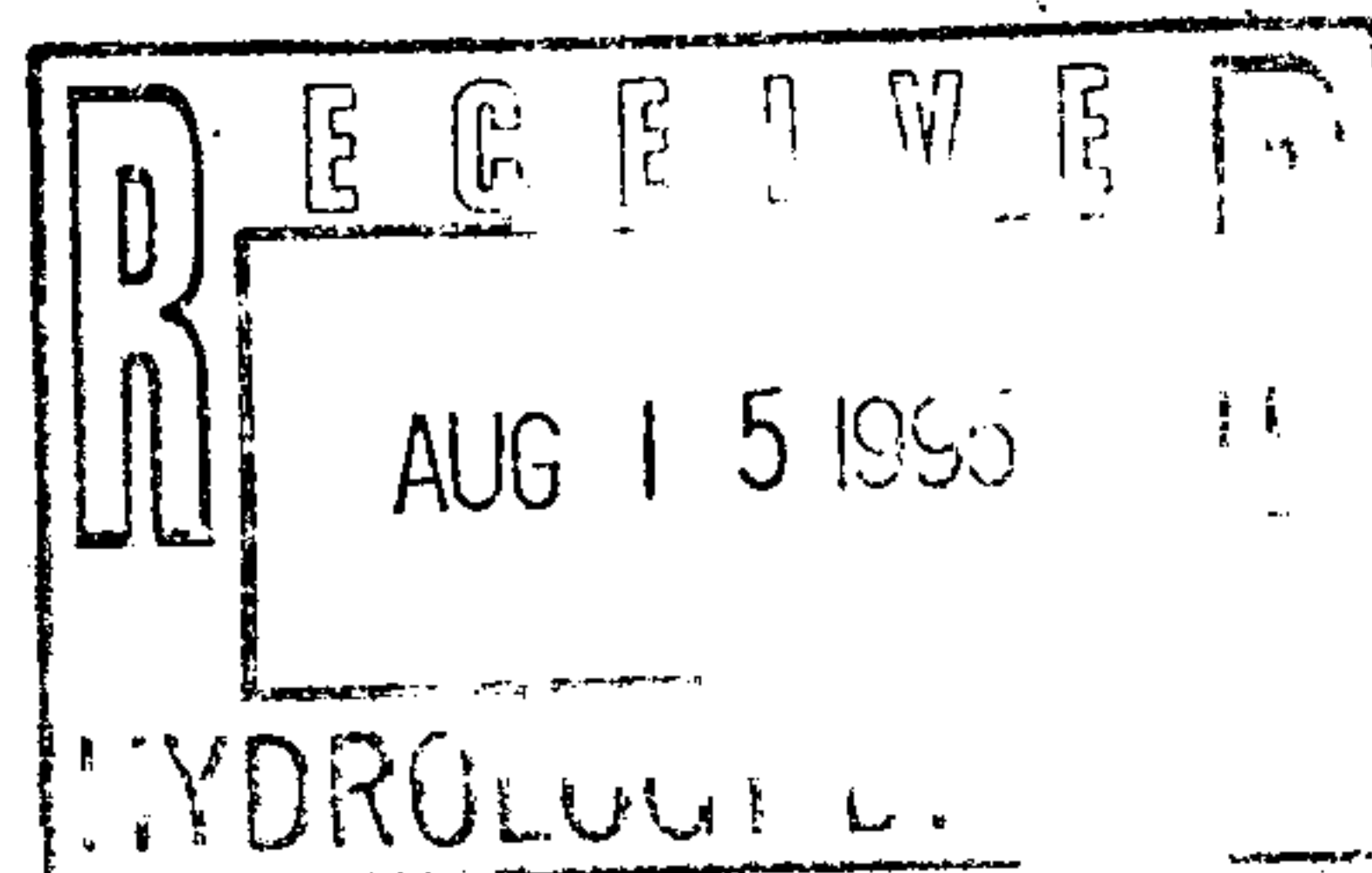
DATE SUBMITTED: August 8, 1995

BY: Ernie Salazar

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PRMT. APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

Verbal Comment
Revise Pond
Volume to accomodate
extra runoff
from additional
paving.
JPC 8-28-95





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 11, 1995

Joe Kelley, PE
Chavez-Grievess
5639 Jefferson NE
Albuquerque, NM 87109

RE: DRAINAGE REPORT FOR CENTRAL SELF-STORAGE (K-10/D32)
RECEIVED JUNE 12, 1995 FOR SITE DEV PLAN, GRADING & BLDG PRMT
ENGINEER'S STAMP DATED 6-9-95

Dear Mr. Kelley:

Based on the information included in the submittal referenced above, City Hydrology has the following comments:

What is the DRB number of the Site Plan? Are any permanent improvements required in Central. Indicate the extent of Phase 1 on the Grading & Drainage Plan.

According to F.I.R.M. panel 27 this site drains to the FHZ A0 (Depth 1) on the north side of Central. Calculate the volume provided in the detention pond at the maximum water surface elevation. Provide an emergency spillway capable of discharging Q100 per the Mayor's Emergency Rule published 5-14-91. No clogging factor is used when an orifice is required to limit the discharge. Execute a Drainage Covenant for the detention pond and submit it to City Hydrology for processing.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.
Civil Engineer/Hydrology

c: Andrew Garcia
Fred Aguirre, DRB ??-???
Joe Saiz, 1021 Riverview Pl NW 87105

DRAINAGE INFORMATION

PROJECT TITLE: Central Self-Storage Units ZONE ATLAS/DRNG. FILE #: K10 / 432

DRB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: West Half Tract C-45, Unit 4, Tracts Alloted From Town of Atrisco Grant

CITY ADDRESS: 8181 Central Ave. NW

ENGINEERING FIRM: Chavez-Grieves

CONTACT: Ernie Salazar

ADDRESS: 5639 Jefferson NE

PHONE: 344-4080

OWNER: Joe & Odalys Saiz

CONTACT: Joe Saiz

ADDRESS: 1021 Riverview PL NW, Albuq. NM

PHONE: 836-0194

ARCHITECT: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

SURVEYOR: Precision Surveys

CONTACT: Larry Medrano

ADDRESS: 2929 Coors Blvd NW Suite 105

PHONE: 839-0569

CONTRACTOR: not selected

CONTACT: _____

ADDRESS: _____

PHONE: _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☒ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☒ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PRMT. APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☒ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY PROVIDED

DATE SUBMITTED: June 8, 1995

BY: Ernie Salazar

JUN 12 1995



5639 JEFFERSON STREET NE · ALBUQUERQUE, NEW MEXICO 87109 · PHONE (505) 344-4080 · FAX (505) 343-8759

August 10, 1995

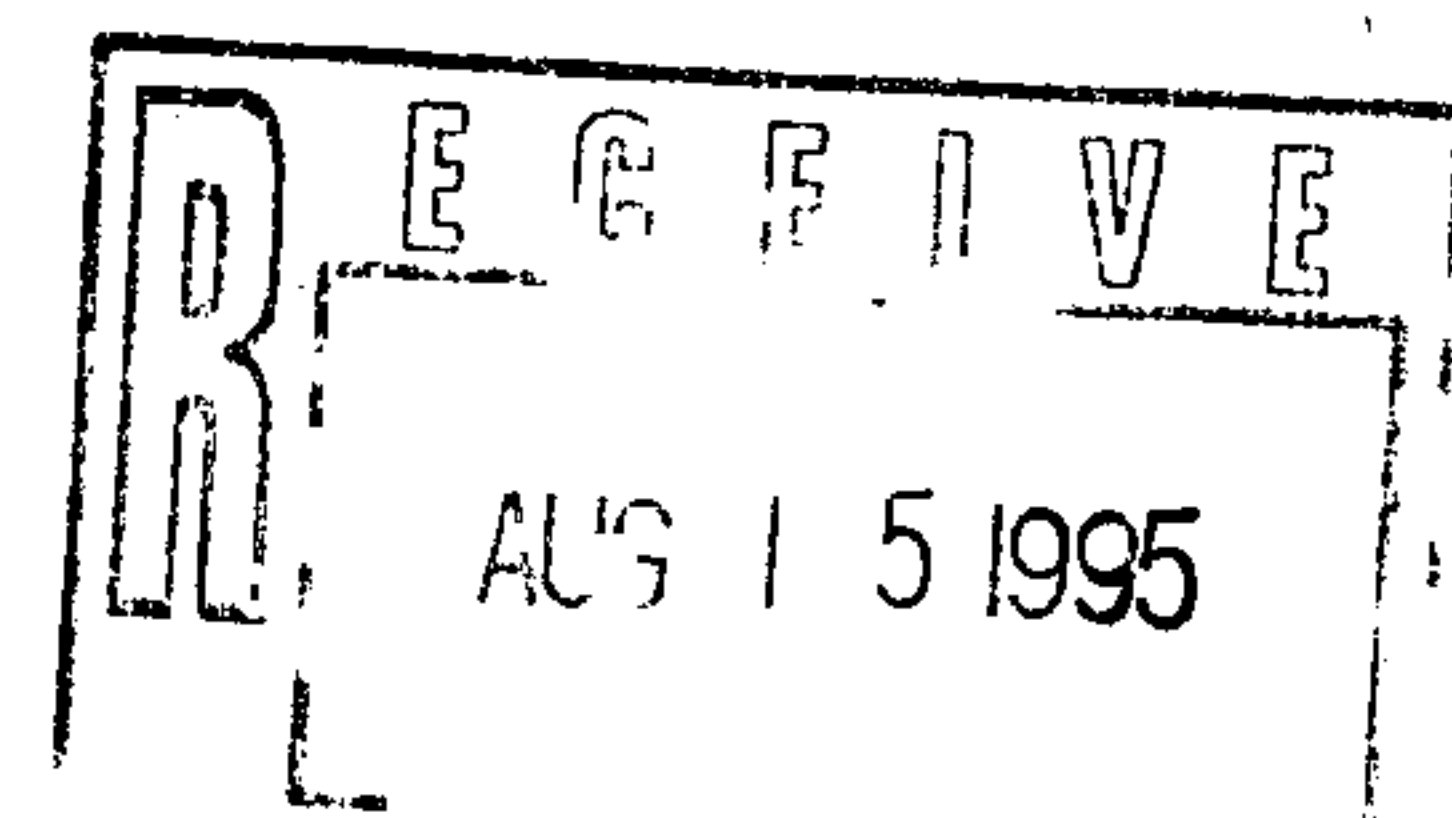
John P. Curtin, P.E.
City of Albuquerque Public Works Dept., Hydrology Division
City-County Building Room 301
P.O. Box 1293
Albuquerque, New Mexico 87103

**RE: DRAINAGE REPORT FOR CENTRAL SELF-STORAGE SITE (K10/D32)
C/G PROJECT NO. S47-100-5195**

Dear Mr. Curtin:

Transmitted herewith is a revised grading plan for site plan and building permit approval. Your comments dated July 11, 1995 have been addressed as follows:

1. There is no DRB number for the site plan. The site is being administratively processed by the Planning Department. Reference number is AA-95-91. Preliminary indications from the Planning Department are that the site is in conformance with their requirements.
2. No new improvements are required in Central.
3. The extent of Phase I improvements has been indicated. We would like to point out that our client desires grading approval for the ultimate development of the entire site. That way he will not have to submit a new request to City Hydrology every time he adds more storage units. He will still need to go through the City building permit process, and a new certificate of occupancy will be obtained each time. But he doesn't want to (and shouldn't need to) pay an engineer to submit a new grading plan each time. That saves him money, and it saves engineers and City Hydrology the headache of shuffling paperwork back and forth.
4. As shown in the hydrograph for the detention pond, the 100-year ponding volume required is 4983 cubic feet. The volume provided is 5169 cubic feet. For storms greater than the design storm, the detention pond will overflow into the public right-of-way.
5. Thank you for attaching a copy of the Mayor's Emergency Rule published 5-14-91. This site will have a detention pond. According to the Mayor's Emergency Rule, the only requirement that applies to this detention facility is that it drain in six hours or less. As shown in our calculations, it drains much sooner than that.
6. We eliminated the clogging factor from the orifice equation.



Celebrating 15 Years of Engineering Leadership

7. Per our conversation of July 20, 1995, our client isn't obligated to execute a drainage covenant with the City.

Please call if you have any questions prior to your final approval.

Sincerely,

CHAVEZ-GRIEVES CONSULTING ENGINEERS, INC.


Joe P. Kelley, P.E.
Project Engineer

JPK/cjr

Enclosure

Cy: Mr. and Mrs. Joseph Saiz
Mr. Ernie Salazar



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 5, 1995

Ernie Salazar
Chavez-Grieves
5693 Jefferson NE
Albuquerque, NM 87103

**RE: CENTRAL SELF STORAGE (K10/D32) GRADING AND DRAINAGE PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED 9-30-95.**

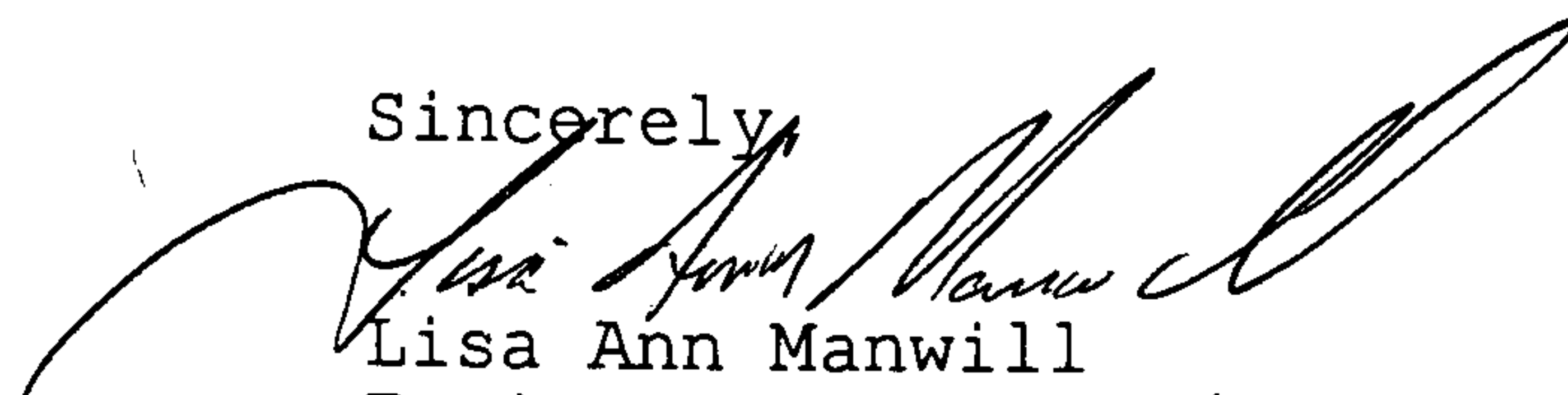
Dear Mr. Salazar:

Based on the information provided on your submittal dated October 3, 1995, City Hydrology has the following comments:

1. Please show roof drain locations on office/security building, carport, and caretaker building.
2. It appears that a considerable amount of runoff misses the east pond and flows directly into the Frontage Road. I suggest constructing a water block at the Frontage Road to insure all runoff goes into the pond.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

DRAINAGE INFORMATION

PROJECT TITLE: Central Self Storage

ZONE ATLAS/DRNG. FILE #: K-10 0032

DRB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: West Half Tract C-45, Unit 4, Tracts Alloted From Town Of Atrisco Grant

CITY ADDRESS: 8181 Central Ave. NW

ENGINEERING FIRM: Chavez-Grieves

CONTACT: Ernie Salazar

ADDRESS: 5639 Jefferson NE

PHONE: 344-4080

OWNER: Joe & Odalys Saiz

CONTACT: Joe Saiz

ADDRESS: 8181 Central Ave. NW, Albuq. NM

PHONE: 836-0194

ARCHITECT: Lawrence Garcia

CONTACT: Lawrence Garcia

ADDRESS: 9741 Candelaria NE, Albuq. NM

PHONE: 292-7229

SURVEYOR: Precision Surveys

CONTACT: Larry Medrano

ADDRESS: 2929 Coors Blvd NW Suite 106

PHONE: 839-0569

CONTRACTOR: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER

PRE-DESIGN MEETING:

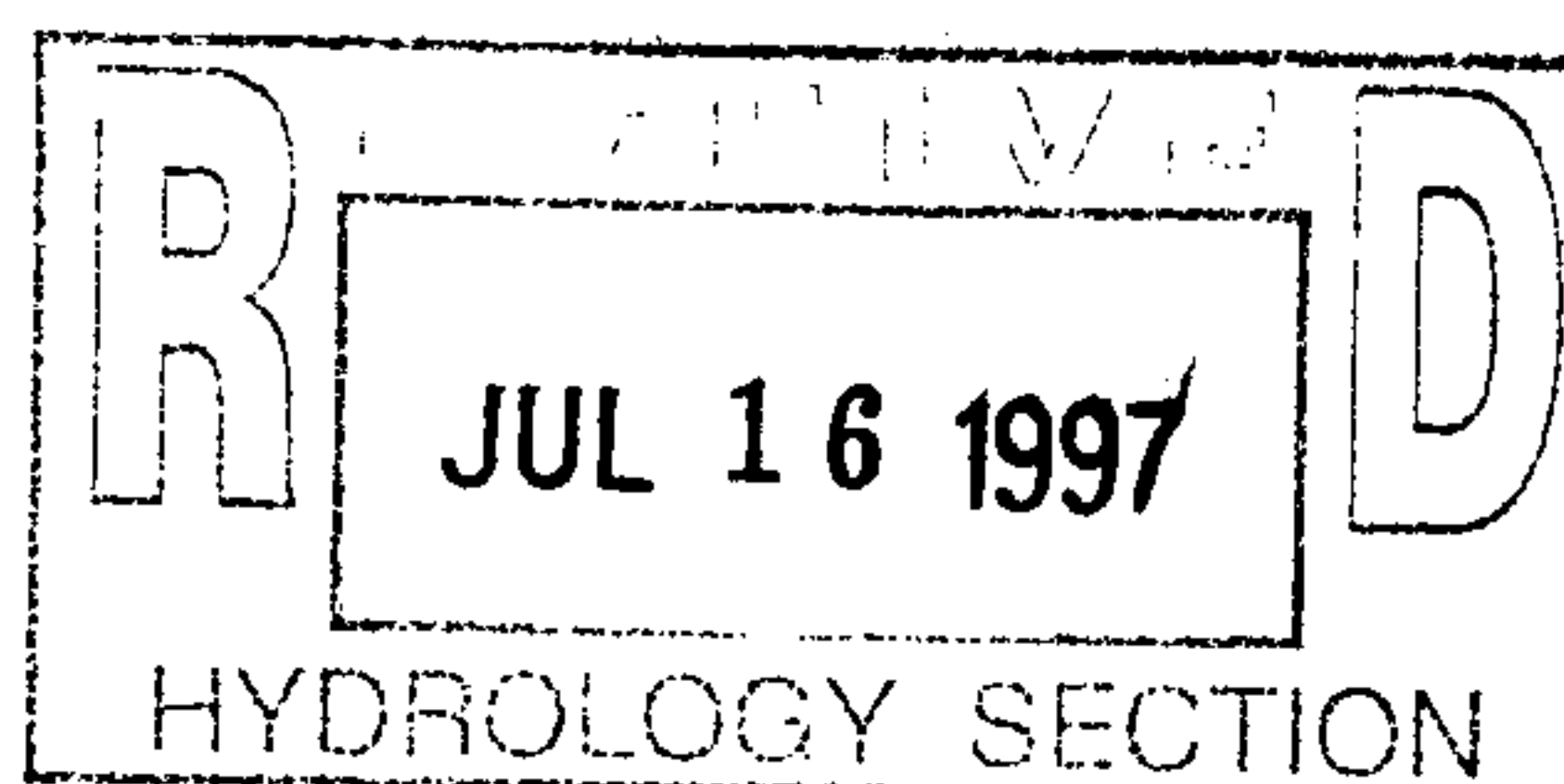
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- ☒ NO
- ☐ COPY PROVIDED

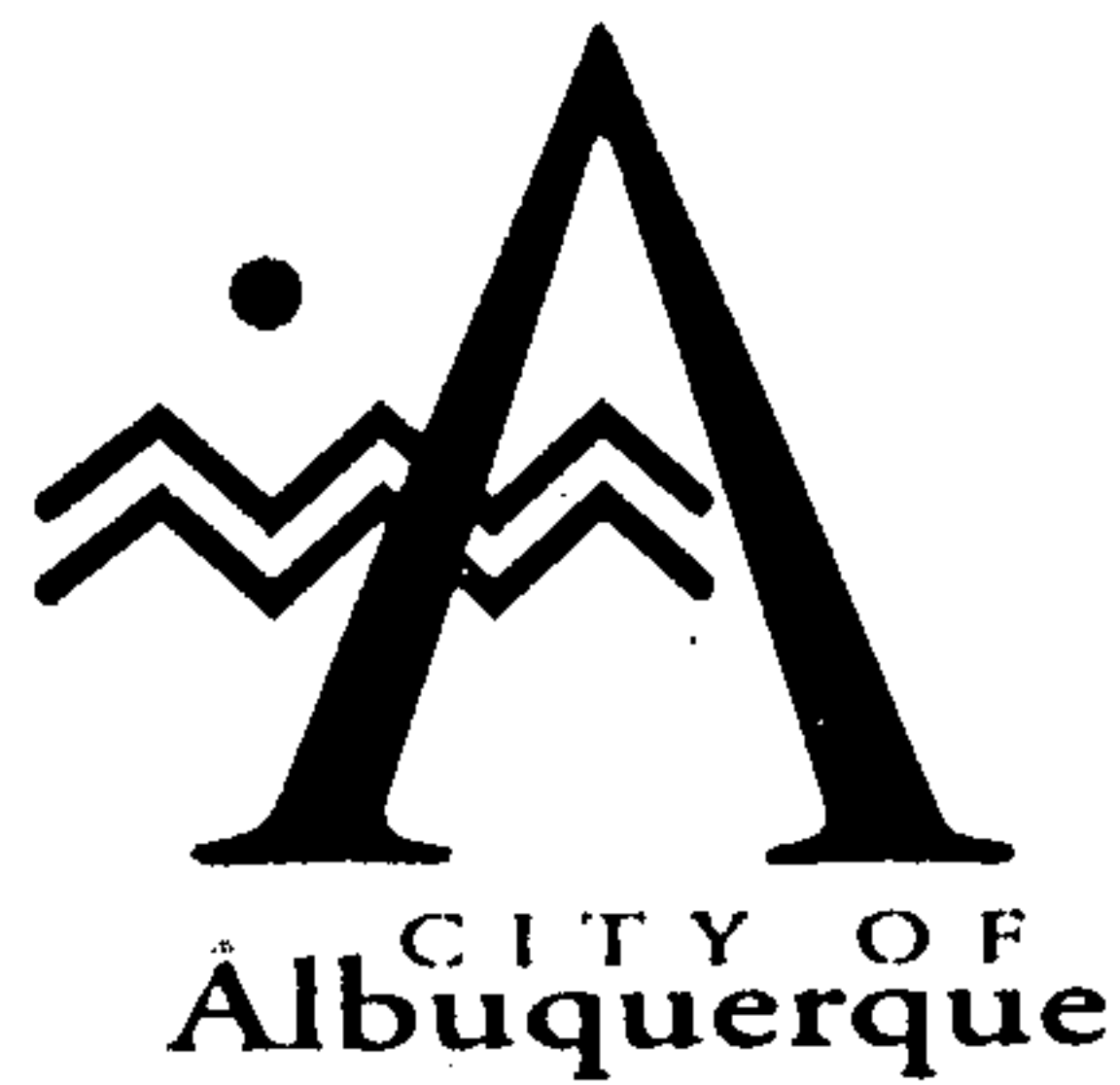
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PRMT. APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER (SPECIFY)(LOMR REQUEST)

DATE SUBMITTED: 7/16/97

BY: Ernie Salazar





Public Works Department

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

April 17, 1997

Joe Kelley
Chavez-Grievess Consulting Engineers
5639 Jefferson St. NE
Albuquerque, New Mexico 87109

RE: REVISED DRAINAGE PLAN FOR PHASE II CENTRAL SELF-STORAGE
(K10-D32) ENGINEER'S STAMP DATED 4/10/97

Dear Mr. Kelley:

Based on the information provided on your April 10, 1997 resubmittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.


Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

File

Sincerely


Bernie J. Montoya CE
Engineering Associate

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



DRAINAGE INFORMATION

PROJECT TITLE: Central Self Storage ZONE ATLAS/DRNG. FILE #: K-10/P32
DRB#: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: West Half Tract C-45, Unit 4, Tracts Alloted From Town Of Atrisco Grant
CITY ADDRESS: 8181 Central Ave. NW
ENGINEERING FIRM: Chavez-Grieves CONTACT: Ernie Salazar
ADDRESS: 5639 Jefferson NE PHONE: 344-4080
OWNER: Joe & Odalys Saiz CONTACT: Joe Saiz
ADDRESS: 8181 Central Ave. NW, Albuq. NM PHONE: 836-0194
ARCHITECT: Lawrence Garcia CONTACT: Lawrence Garcia
ADDRESS: 9741 Candelaria NE, Albuq. NM PHONE: 292-7229
SURVEYOR: Precision Surveys CONTACT: Larry Medrano
ADDRESS: 2929 Coors Blvd NW Suite 106 PHONE: 839-0569
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☒ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

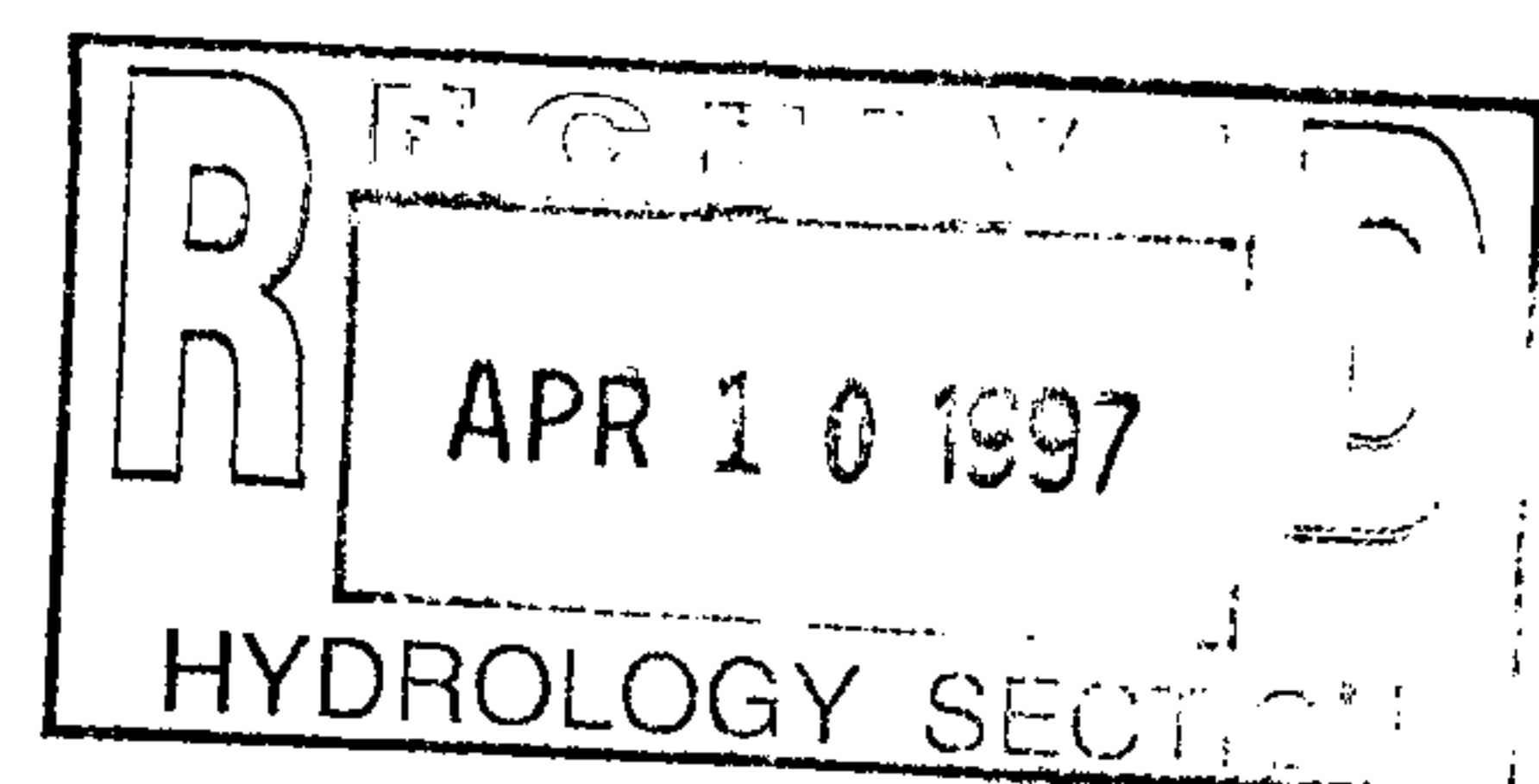
☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PRMT. APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER (SPECIFY)(LOMR REQUEST)

DATE SUBMITTED: April 10, 1997

BY: Ernie Salazar



JANUARY 27, 1997

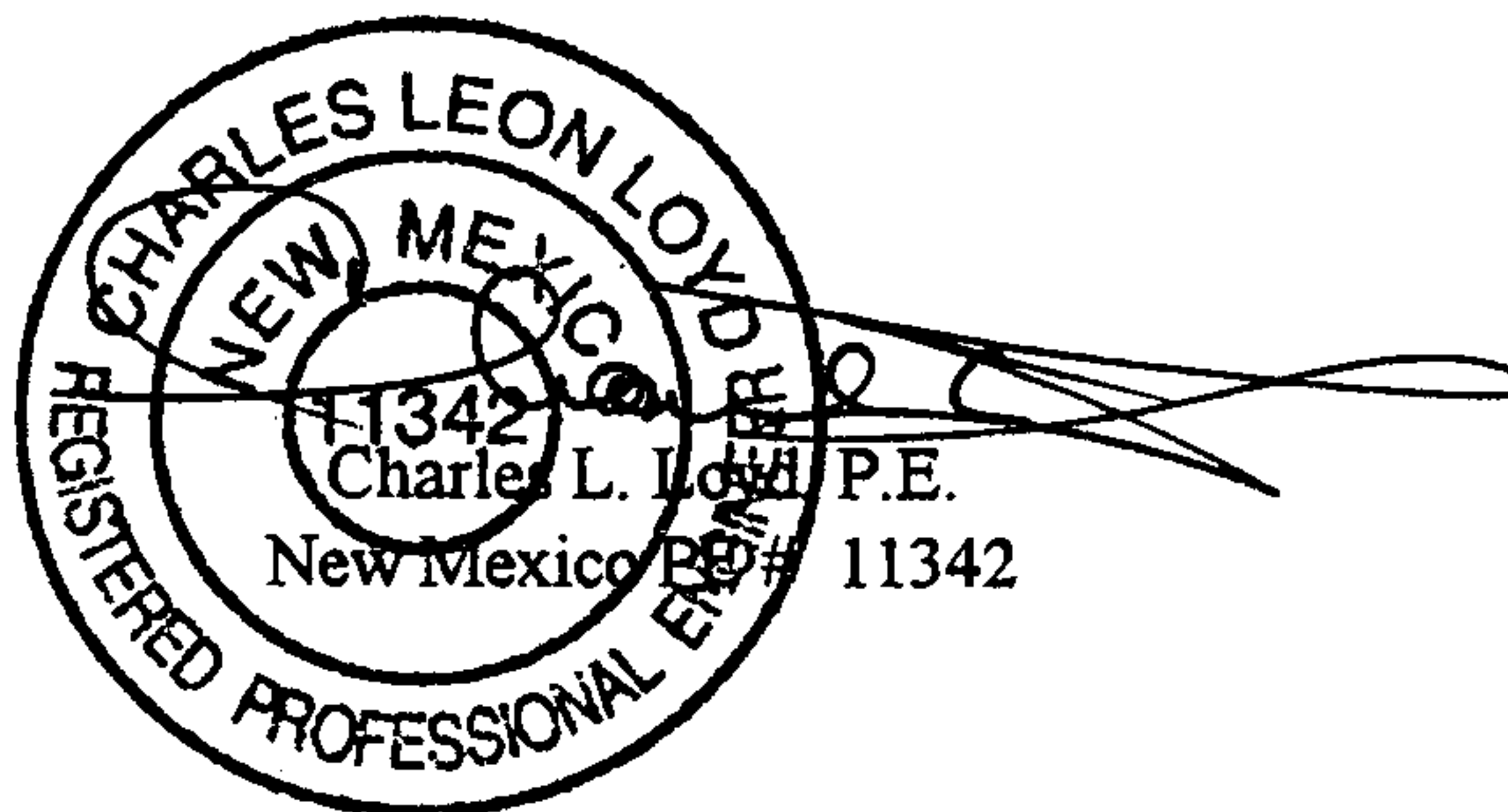
HERITAGE BUILDING SYSTEMS, INC.
P.O. BOX 470
NORTH LITTLE ROCK, ARKANSAS 72115
1-800-643-5555

STRUCTURAL DESIGN CALCULATIONS

JOB # NM-8747

10'-0 x 200'-0 x 8'-6 MINI STORAGE METAL BUILDING SYSTEM

JOE SAIZ
ALBUQUERQUE, NEW MEXICO



HERITAGE BUILDING SYSTEMS
P.O. BOX 470
NORTH LITTLE ROCK, ARKANSAS 72115
1-800-643-5555

JANUARY 27, 1997

RE: NM- 8747
JOE SAIZ
10'-0 x 200'-0 x 8'-6 MINI STORAGE METAL BUILDING SYSTEM
ALBUQUERQUE, NEW MEXICO

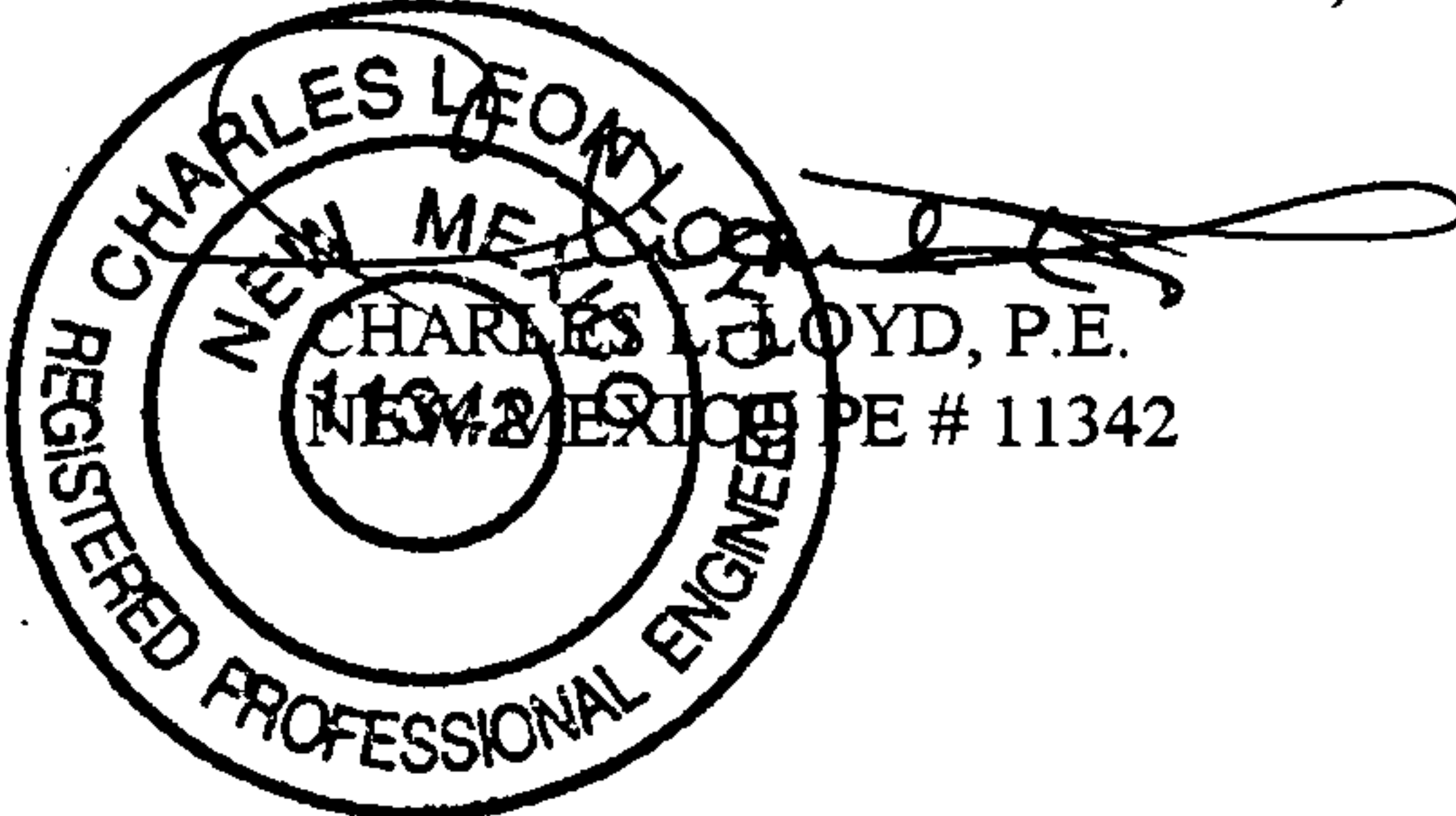
GENTLEMEN:

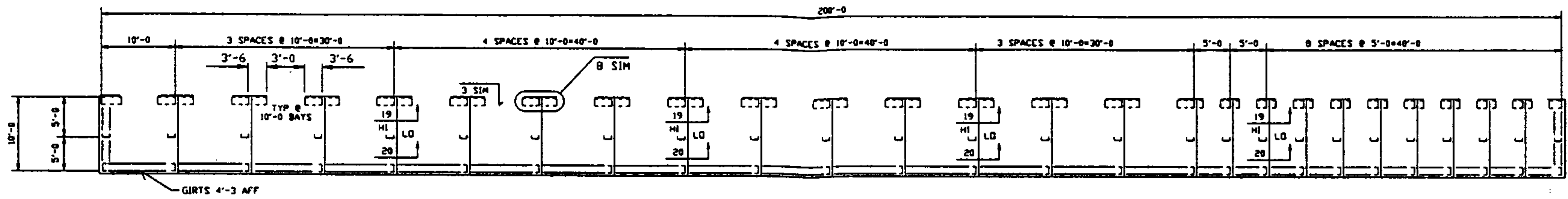
THIS IS TO CERTIFY THE ABOVE REFERENCED BUILDING, WHEN ERECTED IN ACCORDANCE WITH HERITAGE BUILDING SYSTEMS "FOR CONSTRUCTION" ERECTION DRAWINGS SEALED BY A REGISTERED PROFESSIONAL ENGINEER, WILL BE DESIGNED IN ACCORD WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) AND THE AMERICAN IRON AND STEEL INSTITUTE (AISI) DESIGN PROCEDURE AND GOOD ENGINEERING PRACTICE FOR THE FOLLOWING LOADS. LOADS ARE APPLIED IN ACCORD WITH THE 1991 EDITION OF THE UNIFORM BUILDING CODE.

DEAD LOAD.....	METAL BUILDING MATERIALS
WIND LOAD.....	80 MPH EXPOSURE "C"
LIVE LOAD	20 PSF
GROUND SNOW.....	20 PSF Ce = 0.7
SEISMIC ZONE 2	

THIS LETTER OF CERTIFICATION APPLIES SOLELY TO THE STEEL BUILDING SYSTEM AND ITS COMPONENT PARTS AS FURNISHED BY HERITAGE BUILDING SYSTEMS. SPECIFICALLY EXCLUDED IS ANY FOUNDATION, MASONRY OR GENERAL CONTRACT WORK TO INCLUDE ERECTION CERTIFICATION.

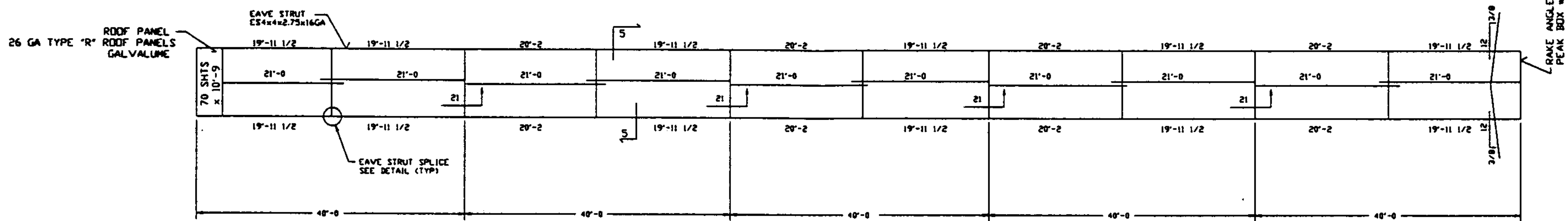
RESPECTFULLY SUBMITTED,



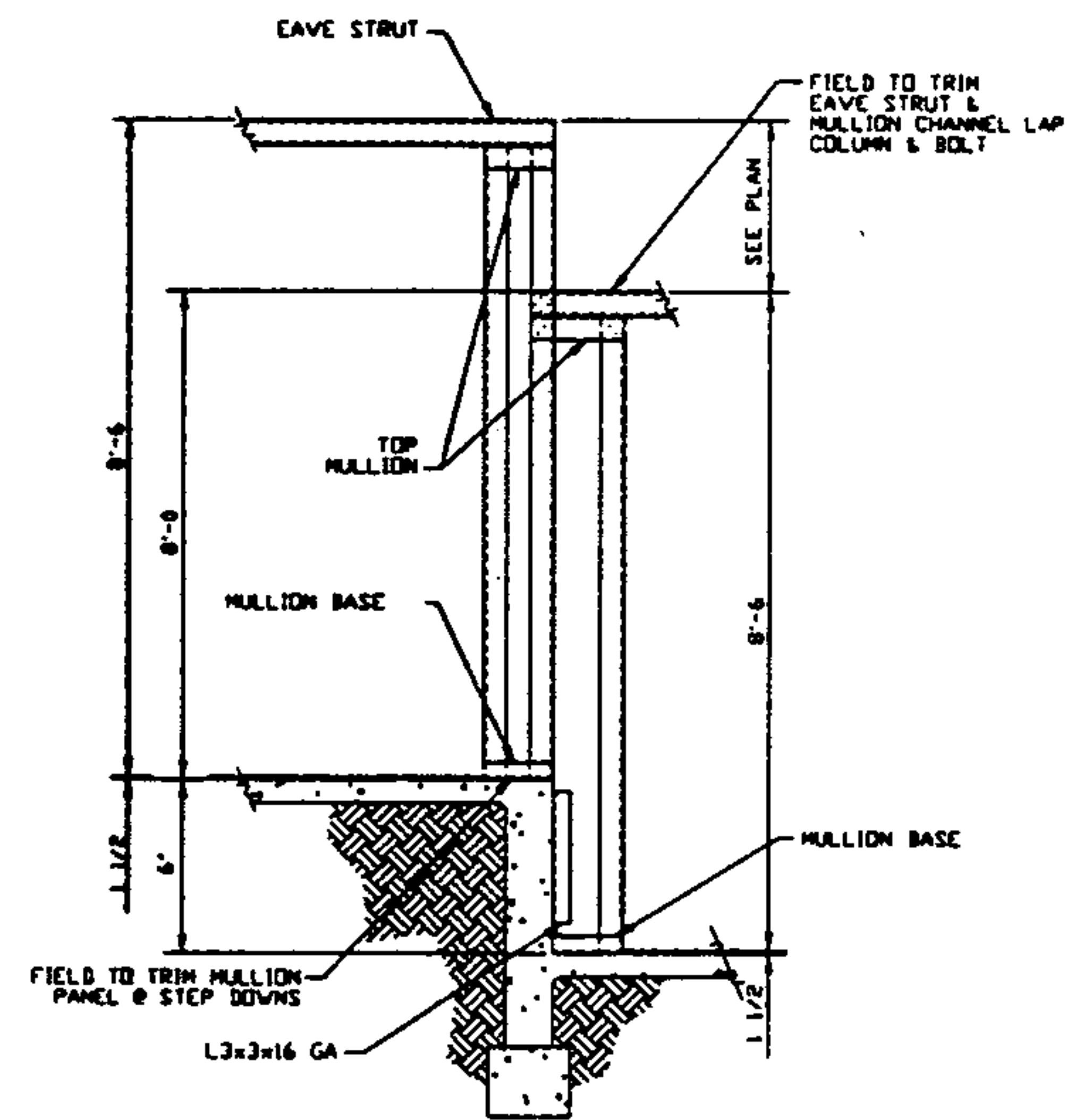


COLUMNS
8'-3 1/4
8'-7 1/2
8'-3 1/4

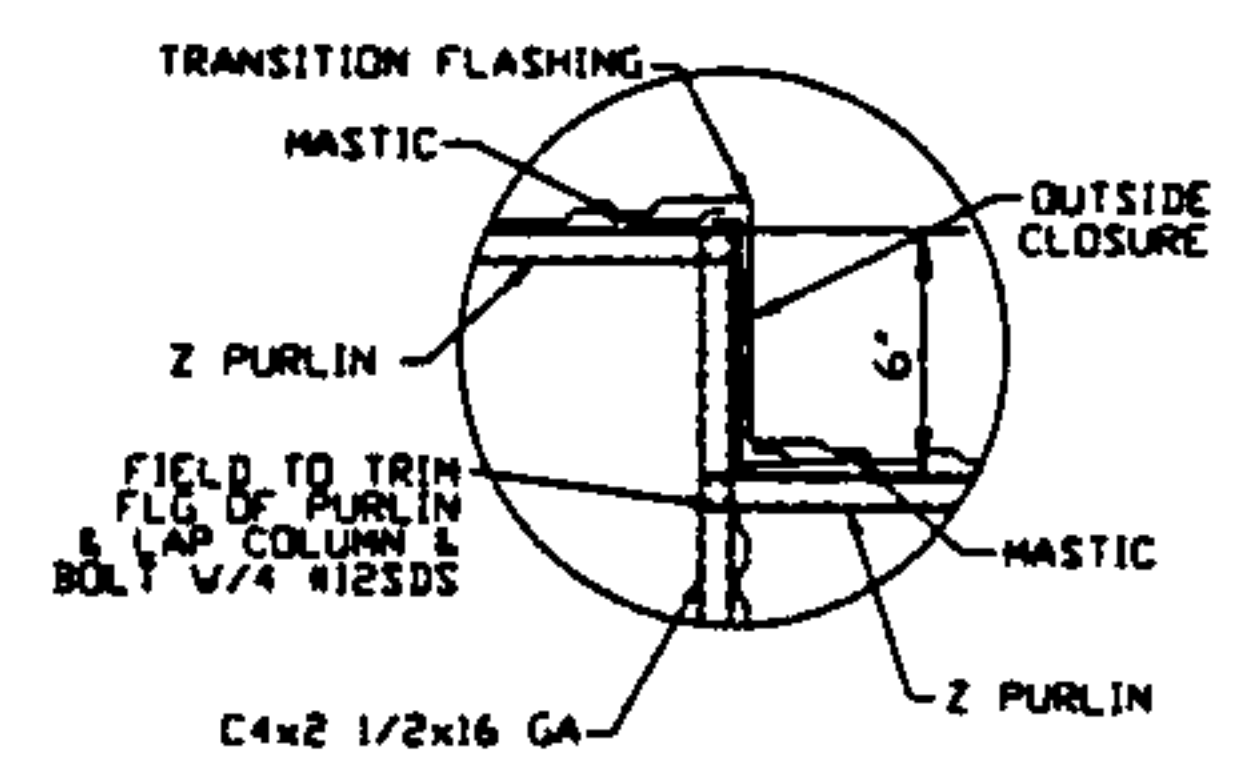
FLOOR PLAN



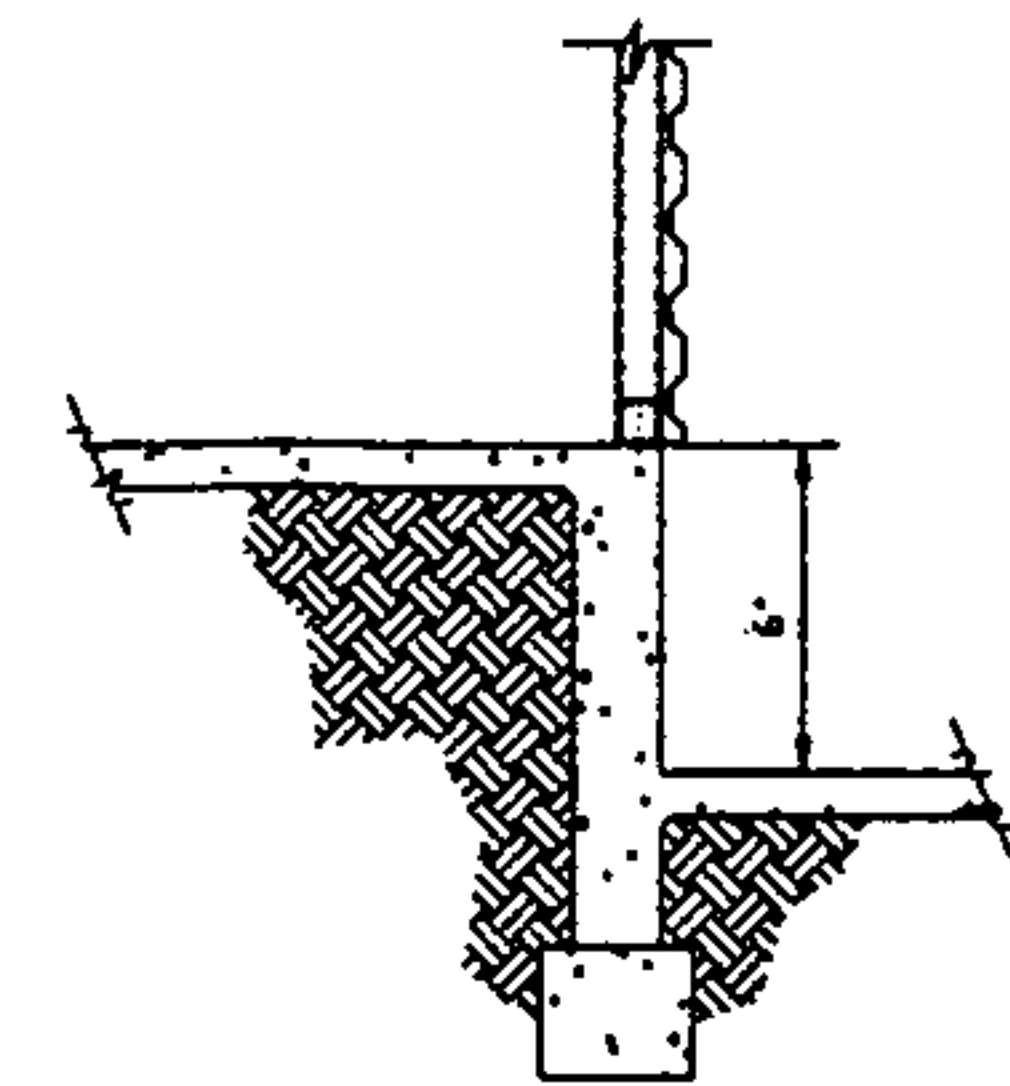
ROOF PLAN



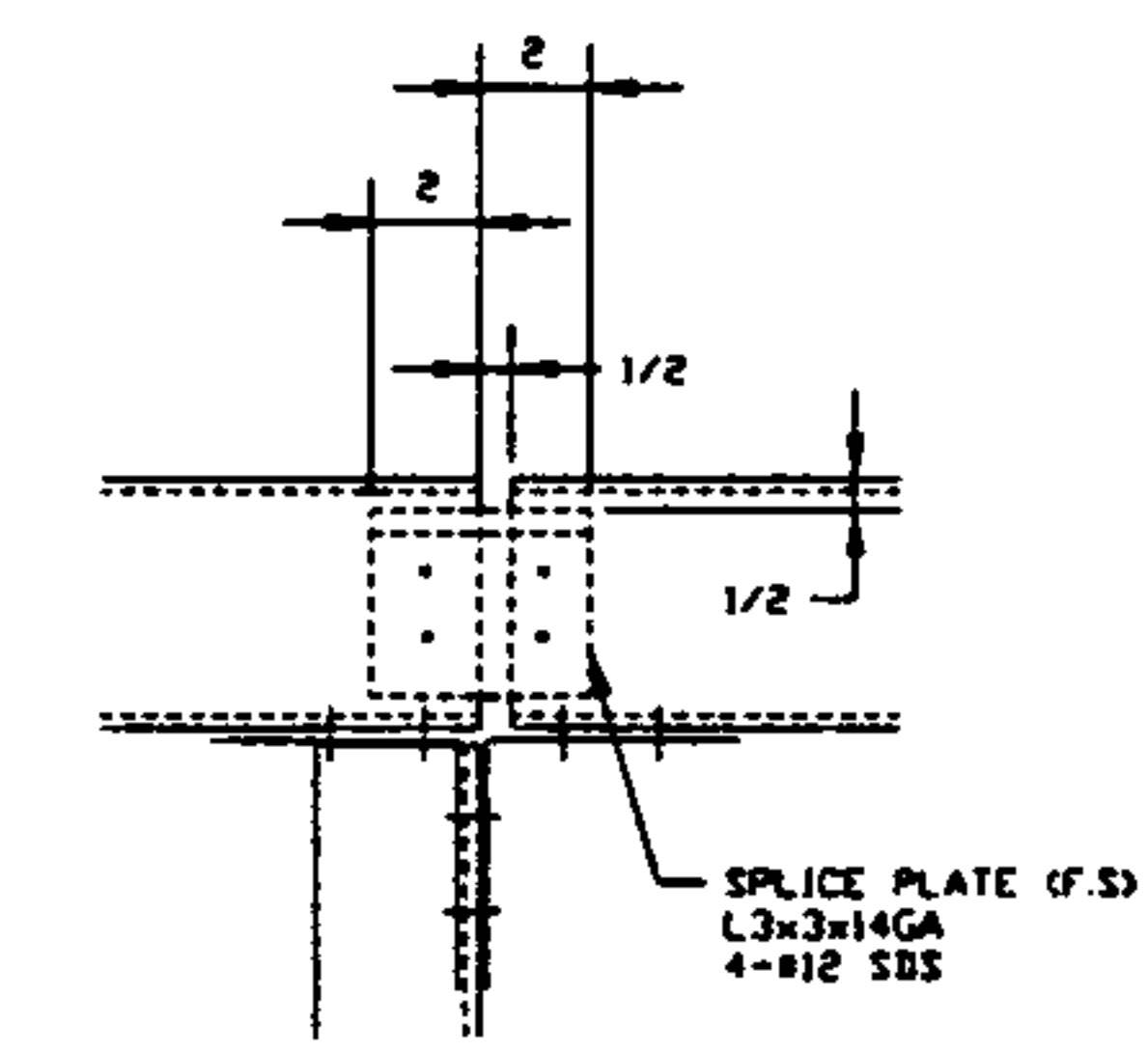
SECTION 19



SECTION 21



SECTION 20



TYP. EAVE STRUT SPLICE DETAIL @ BACK WALL ONLY (5 PLACES)

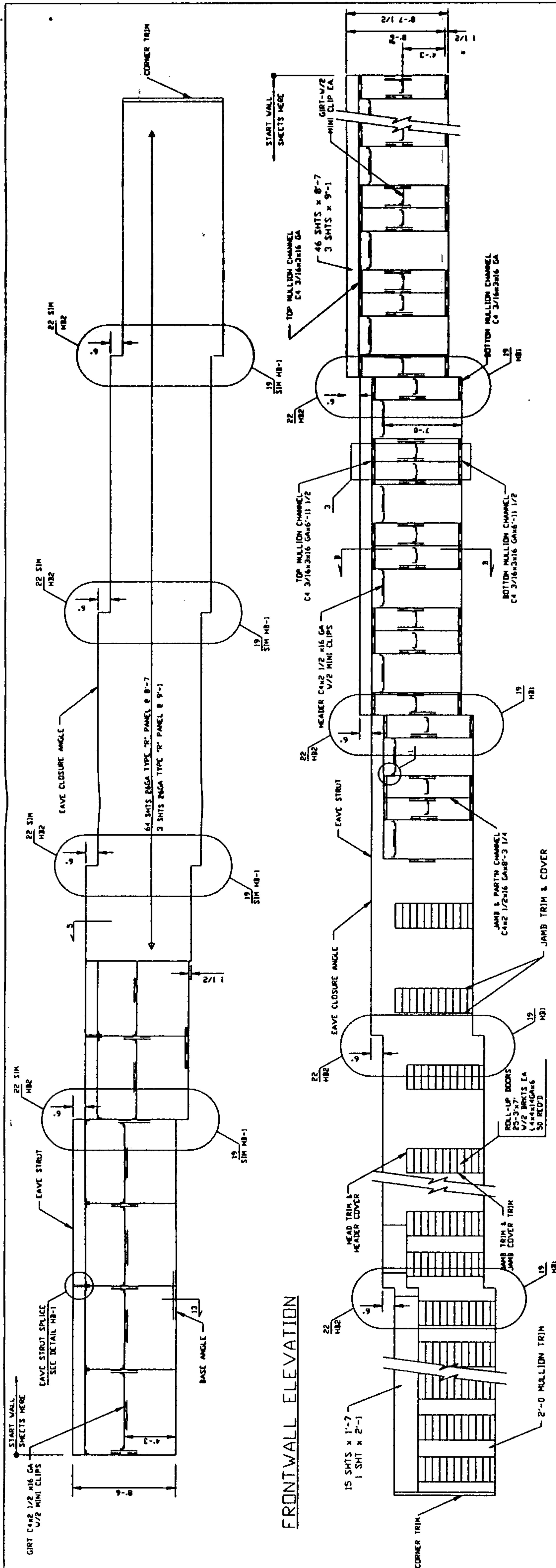
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RE: DRAWING HB-3 FOR SECTIONS NOTED

HERITAGE BUILDING SYSTEMS
P.O. BOX 478 • N. LITTLE ROCK, AR 72115-0478 • 501-945-3377
10' x 200' x 8'-6" MINI WAREHOUSE
ALBUQUERQUE, NM

DESIGN LOADS
GROUND SNOW 20 PSF
LIVE LOAD 20 PSF
WIND LOAD 80 MPH
SEISMIC ZONE #2
EXPOSURE C
UBC 1991

JOE SAIZ
DRAWN BY: KK DATE: 1/9/97 CHECKED BY: F.P. DATE: 1/9/97 DRWG. NO.: HB-1



NOTE:
SIDEWALL HEADERS WILL ALWAYS BE 1/2" SHORTER THAN THE
FRAMED OPENING.
ENDWALL HEADERS & GIRTS, & SIDEWALL GIRTS WILL VARY IN

EXAMPLE	0 5-10 DAYS	0 10-10 DAYS
[<u> </u>]	4-6 1/2	9-6 1/2
[<u> </u>]		9-9
[<u> </u>]	4-7 1/2	9-7 1/2
[<u> </u>]	4-5	9-5

COLOR CHART		
LIGHT STONE	NAVY BLUE	POLAR BLUE
MULLION TRIM	CORNER TRIM	ROLL-UP
WALL PANELS	HEAD TRIM	DOORS
HEADER COVER TRIM	BASE TRIM	CLIMATE
JAMB COVER TRIM	PEAK BOX VALUO	ROOF PANELS
JAMB TRIM	CORNER BOX OR	PARTY PANELS
DOWN SPOUTS	WIND-ERD CLOSURE	
DOWN SPOUT STRAPS	GUTTERS	
	GUTTER ENDS	
	LEAVE CLOSURE	
	ANGLE	

RE: DRAWING HB-3 FOR SECTIONS NOTED

HERITAGE BUILDING SYSTEMS

10' x 200' x 8'-6 MINI WAREHOUSE
ALBUQUERQUE, NM

JOE SAIZ		JOB NUMBER MH-8747	
DRAWN BY KK	DATE 1/10/97	CHECKED BY F.P.	DATE 1/10/97
		DWC NO. HB-2	

HERITAGE

BUILDING SYSTEMS

JOE SAIZ
8181 CENTRAL AVE. NW
ALBUQUERQUE, NM 87121
NM-8747

BLD'G MAT'L DESCRIPTION

COLS.	C4x2.5x16GA
JAMBS	C4x2.5x16GA
GIRTS	C4x2.5x16GA
EAVE STRUT	ES4x4x2.75x16GA
PURLINS	Z4x2x16GA
MINI CLIPS	L4x4x16GAx2
BASE CLIPS	L4x4x16GAx2.625
BASE ANGLE	L3x3x14GA
DR. BRKTS	L4x4x16GAx6
SIDEWALL PANELS	26GA TYPE "R"
ROOF PANELS	26GA TYPE "PBR"
MULLION CHANNELS	C4 3/16x3x3x16GA

HERITAGE BUILDING SYSTEMS
BOX 470
NORTH LITTLE ROCK, ARKANSAS 72115
1-800-643-5555

JANUARY 27, 1997

RE: NM - 8747
JOE SAIZ
ALBUQUERQUE, NEW MEXICO

SPECIFICATIONS:

1991 EDITION OF THE UNIFORM BUILDING CODE

AISC "MANUAL OF STEEL CONSTRUCTION, ALLOWABLE STRESS DESIGN,
NINTH EDITION"

AISI "SPECIFICATIONS FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL
MEMBERS," 1986 EDITION WITH LATEST ADDENDA"

AISI "CCFSS TECHNICAL BULLETIN, " VOLUME2, No1, FEBRUARY 1993

SDI "DIAPHRAGM DESIGN MANUAL", SECOND EDITION"

HERITAGE BUILDING SYSTEMS
P.O. BOX 470
NORTH LITTLE ROCK, AR 72115
1-800-643-5555

JANUARY 27, 1997

NM - 8747
JOE SAIZ
ALBUQUERQUE, NEW MEXICO

WIND LOAD CALCULATIONS:

1994 UNIFORM BUILDING CODE

80 MPH WIND LOAD- EXPOSURE "C"

TABLE 16-F WIND STAGNATION PRESSURE (q_s) = 16.4 PSF

TABLE 16-G COMBINED HEIGHT, EXPOSURE AND GUST FACTOR COEFFICIENT (C_e) = 1.06

TABLE 16-H

WIND LOAD ON PRIMARY FRAMES AND SYSTEMS WIND-FORCE RESISTING SYSTEM

WALLS $C_q = 0.8$ INWARD ON WINDWARD WALLS & 0.5 OUTWARD FOR LEEWARD WALLS

ROOF WITH WIND PERPENDICULAR TO RIDGE
 $C_q = 0.7$ OUTWARD FOR LEEWARD ROOF
0.7 OUTWARD FOR WINDWARD ROOF

ELEMENTS AND COMPONENTS, NOT IN AREAS OF DISCONTINUITY

WALL ELEMENTS 1.2 INWARD AND OUTWARD
ROOF ELEMENTS 1.3 OUTWARD

WIND LOADS

ROOF MAXIMUM
INWARD $16.4(1.06)0.7 = 12.2$ PSF
OUTWARD $16.4(1.06)1.3 = 22.6$ PSF GOVERNS FOR WIND LOAD

WALLS MAXIMUM $16.4(1.06)1.2 = 20.9$ PSF

HERITAGE BUILDING SYSTEMS
BOX 470
NORTH LITTLE ROCK, AR 72115
1-800-643-5555

JANUARY 27, 1997

NM - 8747
JOE SAIZ
ALBUQUERQUE, NEW MEXICO

PANELS FOR ROOF AND WALLS

ROOF PANELS

DEAD LOAD PLUS LIVE LOAD = $2 + 20 = 22$ PSF

DEAD LOAD PLUS UPLIFT LOAD FROM WIND = $2 - 22.6 = 20.6$ PSF UPLIFT

PURLIN SPACING 5'-0" MAXIMUM

PANELS MINIMUM OF THREE SPAN CONDITIONS: FROM PANEL LOAD CHART PANEL CAPACITY = 43 PSF AT 5'-0" SPAN (FOR WIND LOAD THE TABULATED VALUES CAN BE MULTIPLIED BY 1.33 TO ACCOUNT FOR INCREASE ALLOWABLE UNDER WIND LOAD CONDITIONS : $43(1.33) = 57$ PSF

WALL PANEL

WIND LOAD = 20.9 PSF

MAXIMUM PANEL SPAN = 6'-0"

PANELS MINIMUM OF TWO SPAN CONDITION: FROM PANEL LOAD CHART PANEL CAPACITY = 24 PSF (FOR WIND LOAD THE TABULATED VALUES CAN BE MULTIPLIED BY 1.33 TO ACCOUNT FOR INCREASE ALLOWABLE UNDER WIND LOAD CONDITIONS: $24(1.33) = 31.9$ PSF)

PANELS AT SIMPLE SPAN ABOVE DOOR MAXIMUM PANEL SPAN APPROX 1'-7"

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JANUARY 27, 1997

NM - 8747
JOE SAIZ
ALBUQUERQUE, NEW MEXICO

PURLIN

MAXIMUM SPACING = 5'-0

DEAD LOAD PLUS LIVE LOAD = $2 + 20 = 22$ PSF

DEAD LOAD PLUS WIND LOAD UPLIFT = $2 - 22.6 = 20.6$ PSF UPLIFT

DEAD LOAD PLUS LIVE LOAD GOVERNS

LOAD = $5(22) = 110$ PLF

10'-0 PURLIN SPAN

PURLINS 4 X 2 X 16 GA CHECK SIMPLE SPAN CONSERVATIVE DUE TO MULTIPLE SPAN
CONDITIONS IN PROJECT LOAD CAPACITY = 120 PLF AT 10'-0 SPAN

HERITAGE BUILDING SYSTEMS
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NORTH LITTLE ROCK, AR 72115
1-800-643-555

JANUARY 27, 1997

NM - 8747
JOE SAIZ
ALBUQUERQUE, NEW MEXICO

COLUMNS

AXIAL LOAD DUE TO DEAD LOAD + LIVE LOAD = $2 + 20 = 22$ PSF

MAXIMUM AREA SUPPORTED BY COLUMN = $5'-0" \times 10'-0"$

$P_{axial} = 22(5)10 = 1.10$ kips

MAJOR AXIS UNBRACED LENGTH = $9'-0"$ MAXIMUM
MINOR AXIS UNBRACED LENGTH = $1'-0"$ MAXIMUM

COLUMN $4 \times 2-1/2 \times 16$ GA Pa = 6.35 kips @ $H = 10'-0"$ WITH ONLY MID-HEIGHT WEAK AXIS BRACING

HERITAGE BUILDING SYSTEMS
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JANUARY 27, 1997

NM - 8747
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ALBUQUERQUE, NEW MEXICO

GIRTS, ENDWALL COLUMNS JAMBS, HEADERS

WIND LOAD = 20.9 PSF MAXIMUM

GIRTS

GIRTS MAXIMUM IS 10'-0 SPAN WITH LOAD SPACE = 9'/2

LOAD MAXIMUM IS $20.9(4.5) = 94$ PLF

REDUCE TO ACCOUNT FOR INCREASE ALLOWABLES $94/1.33 = 70.7$ PLF

4 X 2-1/2 X 16 GA ALLOWABLE LOAD AT 10'-0 SPAN = 157 PLF

ENDWALL COLUMNS

LOAD MAXIMUM IS $20.9(5) = 104.5$ PLF $104.5/1.33 = 78.6$ PLF

MAXIMUM SPAN = 9'-0

4 X 2-1/2 X 16 GA ALLOWABLE LOAD AT 12'-0 = 109 PLF

HERITAGE BUILDING SYSTEMS
P.O. BOX 470
NORTH LITTLE ROCK, AR 72115
1-800-643-5555

JANUARY 27, 1997

NM- 8747
JOE SAIZ
ALBUQUERQUE, NEW MEXICO

CONNECTION DESIGN

TYPICAL PURLIN TO COLUMN CONNECTION

MAXIMUM AXIAL LOAD = 1.10

NOTE THAT THIS LOAD IS DUE TO DEAD LOAD + LIVE LOAD

ALLOWABLE SHEAR FOR #12 SCREW CONNECTING TWO THICKNESS OF 16 GA
 $2025/4 = 506\#$ (CONSERVATIVE DUE TO COLUMNS 16 GA & PURLIN 14 GA)

NUMBER OF SCREWS REQUIRED = $1100/506$ USE 2 SCREWS

TYPICAL COLUMN TO BASE CLIP CONNECTION

UPLIFT ON THE COLUMN DUE TO WIND

MAXIMUM $P = 20.6(5)12 = 1.03$ kips

NUMBER OF SCREWS REQUIRED = $1030/506(1.33) = 1.53$ USE 2 SCREWS

TYPICAL BASE CLIP TO CONCRETE SLAB CONNECTION

3,000PSI CONCRETE

AT EACH POST USE ONE- 3/8 X 2-1/4 WEDGE ANCHOR

$T_a = 4560/4 = 1.14$ kips

$V_a = 4560/4 = 1.14$ kips

HERITAGE BUILDING SYSTEMS
P.O. BOX 470
NORTH LITTLE ROCK, AR 72115
1-800-643-5555

JANUARY 27, 1997

NM-8747
JOE SAIZ
ALBUQUERQUE, NEW MEXICO

WIND LOAD

DIAPHRAGM CHECK ALLOWABLE LOAD CAPACITY = 100 PLF

LATERAL WIND LOAD

RESIST BY INTERIOR PARTITIONS AND BY ENDWALL SYSTEMS

LATERAL MAXIMUM LOAD

$$P = 20.9(10)(8.5/2) = 0.9 \text{ kips}$$

REDUCE TO ACCOUNT FOR INCREASE ALLOWABLE FOR WIND LOAD APPLICATIONS
 $P = 0.9/1.33 = 0.7 \text{ kips}$

$$\text{LENGTH REQUIRED} = 700/100 = 7'$$

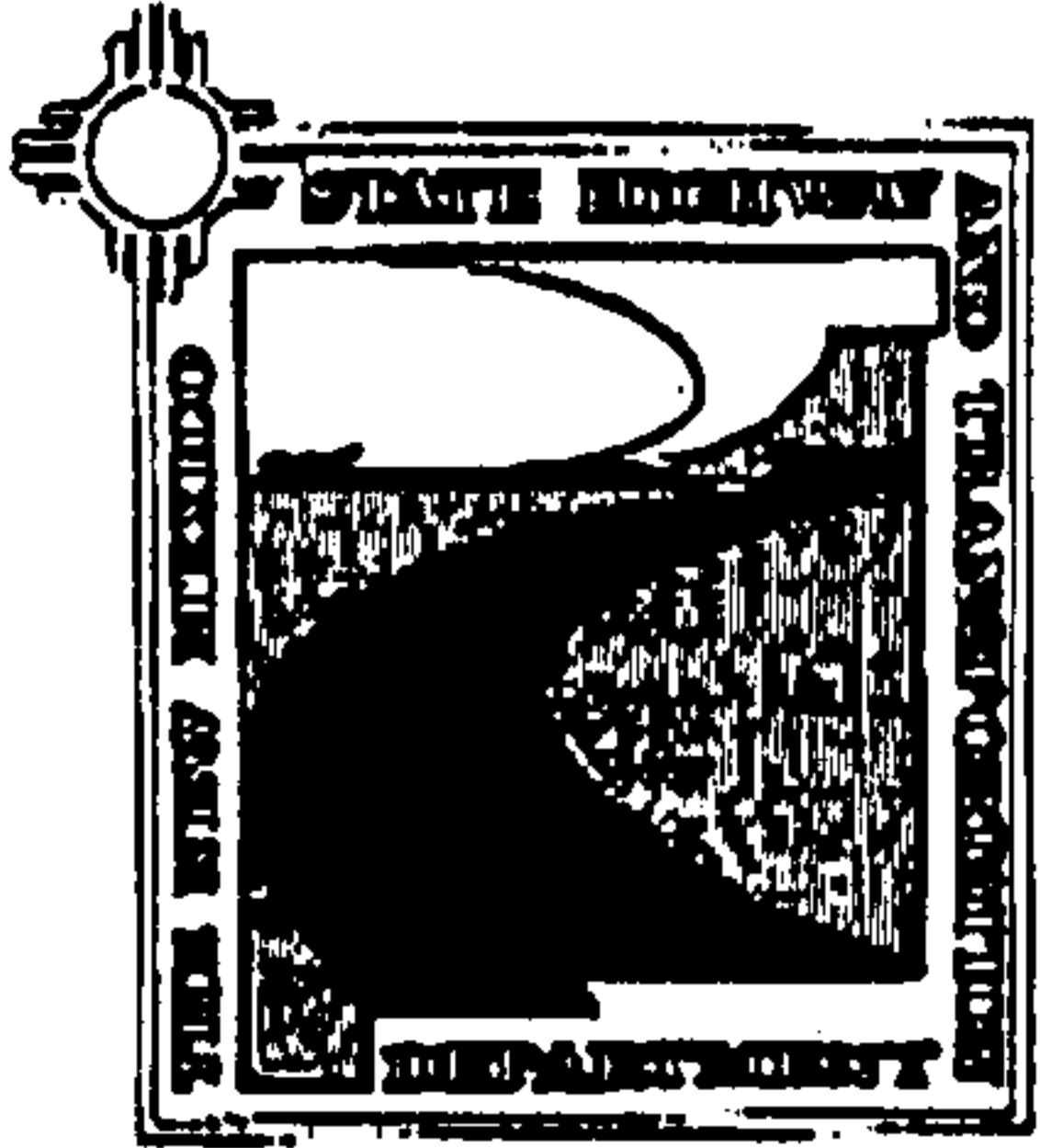
LONGITUDINAL WIND LOAD

RESIST BY WALL SYSTEM-

$$P = 20.9(30)(4.5) = 2.82 \text{ kips}$$

REDUCE TO ACCOUNT FOR INCREASE ALLOWABLE FOR WIND LOAD APPLICATIONS
 $P = 2.82/1.33 = 2.12 \text{ kips}$

$$\text{LENGTH REQUIRED} = 2120/100 = 21.2'$$



**NEW MEXICO STATE HIGHWAY
AND TRANSPORTATION DEPARTMENT**
AN EQUAL OPPORTUNITY EMPLOYER

September 29, 1995

GARY E. JOHNSON
GOVERNOR

COMMISSION

Holm Bursum, III
Chairman, Socorro

Edward T. Bagey
Vice-Chairman, Gallup

Peter T. Mocho, Sr.
Secretary, Albuquerque

Joe M. Anaya
Member, Stanley

Albert N. Sanchez
Member, Santa Rosa

Sidney G. Strebeck
Member, Clovis

DEPARTMENT

Secretary
Pete K. Rahn

General Office
P.O. Box 1149
Santa Fe, N.M.
87504-1149
505-827-5100

District One Office
P.O. Box 231
Deming, N.M.
88031-0231
505-548-2603

District Two Office
P.O. Box 1457
Roswell, N.M.
88202-1457
505-624-3300

District Three Office
P.O. Box 91750
Albuquerque, N.M.
87199-1750
505-841-8700

District Four Office
P.O. Box 30
Las Vegas, N.M.
87701-0030
505-454-3600

District Five Office
P.O. Box 4127
Coronado Station
Santa Fe, N.M.
87502-4127
505-827-9500

District Six Office
P.O. Box 2158
Milan, N.M.
87021
505-285-6823

Mr. Ernie Salazar
Chavez -Grieves Consulting Engineers, Inc.
5639 Jefferson Street NE
Albuquerque, New Mexico 87109

Dear Mr. Salazar:

I have reviewed the drainage design of the Central Self Storage and found the drainage recommendations to be reasonable.

There is a proposed detention pond on-site to handle the additional flows due to the development, and the drainage pattern and peak discharge from the 100 year storm will be the same as existing.

Therefore, the drainage plan is hereby approved to discharge to the NMSHTD right of way at the historical rate.

If you have any questions, please call
827-5323

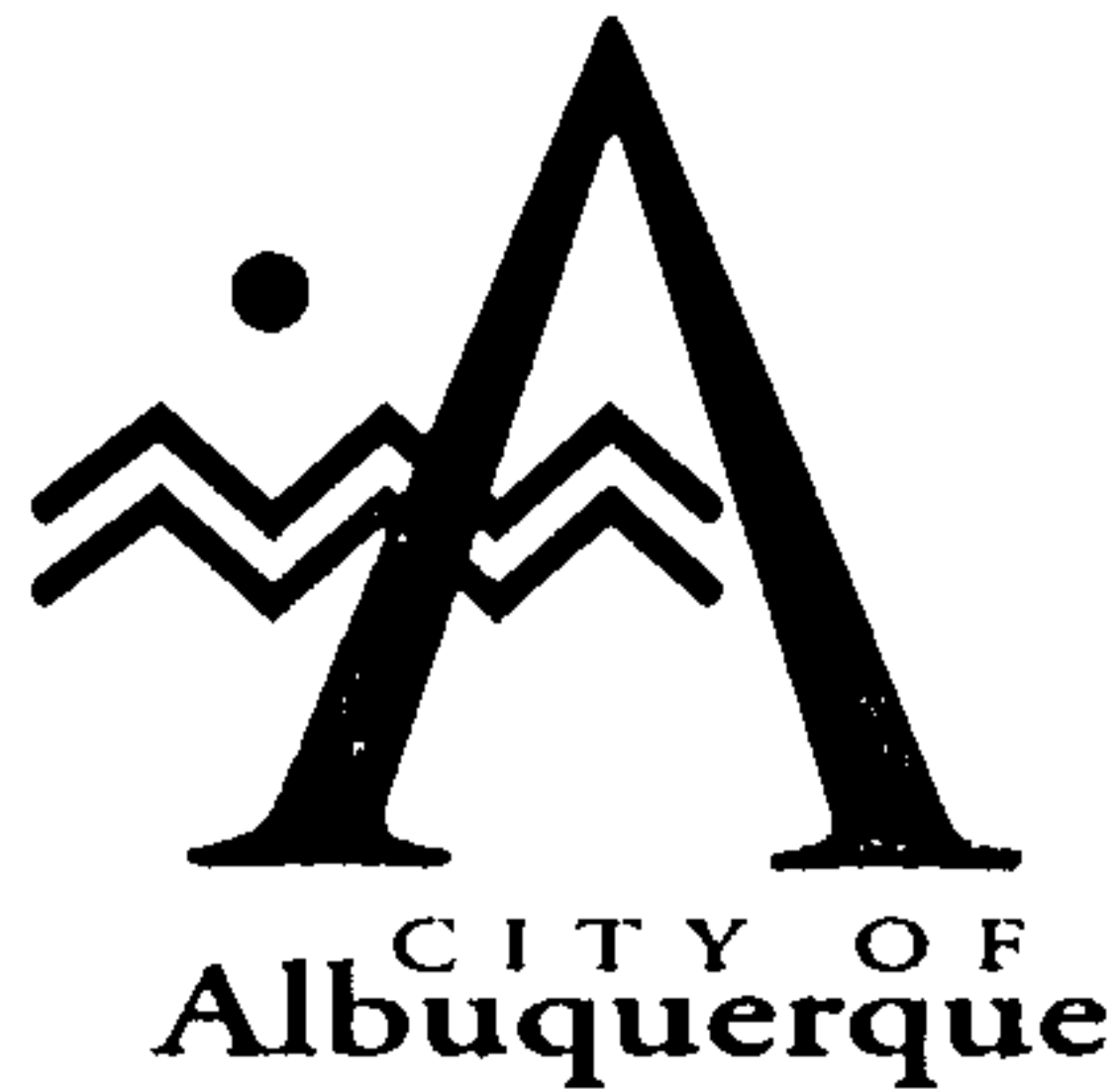
Sincerely,

Raymunda A. Van Hoven

Raymunda A. Van Hoven
Drainage Engineer

/RVH

xc: Mike Barnes, DO#3
Anthony Lopez, DO#3



Martin J. Chávez, Mayor

July 23, 1997

Joe Kelley
Chavez-Grievess Consulting Engineers
5639 Jefferson St. NE
Albuquerque, New Mexico 87109

RE: ENGINEER CERTIFICATION FOR PHASE II OF THE CENTRAL SELF-STORAGE
(K10-D32) CERTIFICATION STATEMENT DATED 7/19/97

Dear Mr. Kelley:

Based on the information provided on your July 16, 1997 submittal, Engineer Certification is acceptable for the above referenced site.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

File

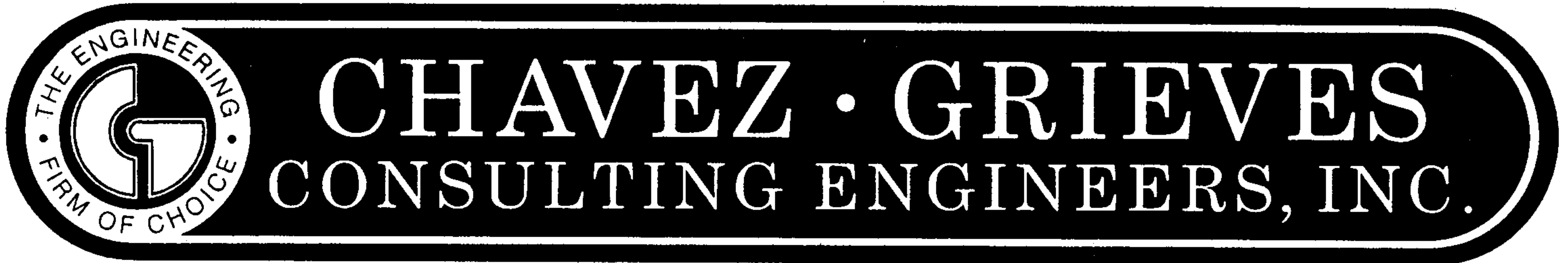
Sincerely

Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





5639 JEFFERSON STREET NE · ALBUQUERQUE, NEW MEXICO 87109 · PHONE (505) 344-4080 · FAX (505) 343-8759

September 29, 1995

Lisa Ann Manwill, Engineering Assoc./Hyd.
City of Albuquerque Public Works Dept., Hydrology Division
City-County Building Room 301
P.O. Box 1293
Albuquerque, New Mexico 87103

RE: DRAINAGE REPORT FOR CENTRAL SELF-STORAGE SITE (K10/D32)
C/G PROJECT NO. S47-100-5195

Dear Ms. Manwill:

Transmitted herewith is a revised Grading Plan for Site Plan and building permit approval. Your comments dated September 26, 1995 have been addressed as follows:

1. Roof drains locations have been included on the revised Grading and Drainage Plan.
2. Each pond will discharge via a 6" DIP instead of the 8" DIP Initially proposed. Discharge rates will be 1.29 cfs. for Pond #1 and 1.33 cfs. for Pond #2. The combined rate of flow will be 2.62 cfs. which does not exceed the historical rate of 3.16 cfs.
3. The downstream pond and adjacent frontage road are maintained by the NMSH&TD. A letter from the NMSH&TD, approving the design, is attached.
4. A 5ft.x5ft. erosion pad will be installed at the discharge locations of both pipes. Approximately 30 ft. beyond the discharge points of the pipes will be graded to drain to NMSH&TD ROW (as shown on revised plan). Will not discharge into the City ROW; therefore a SO-19 will not be required.
5. The site has been approved as an administrative amendment by Susan Conners with the Planning Department.

Please call If you have any questions prior to your final approval.

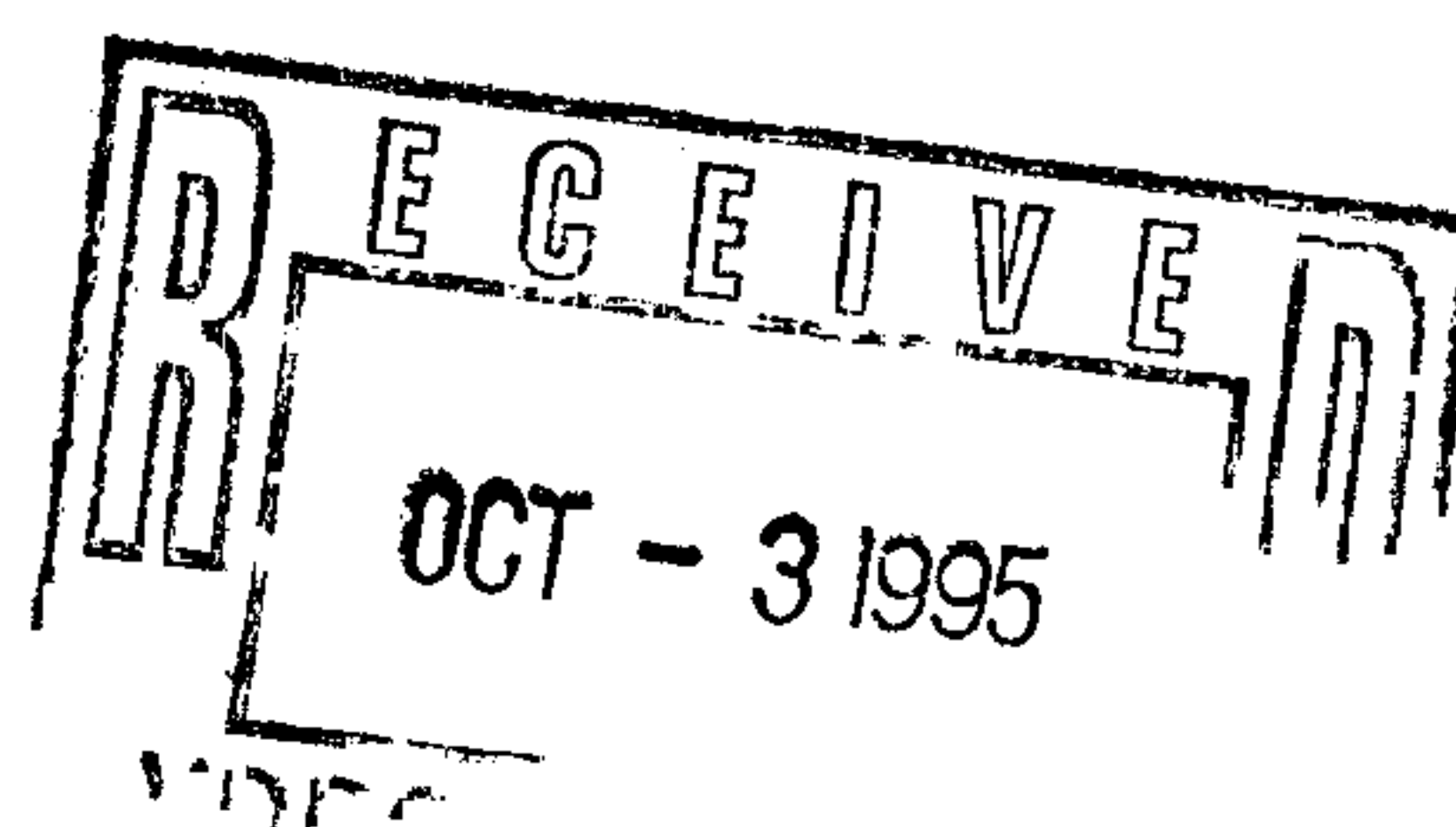
Sincerely,

CHAVEZ-GRIEVES CONSULTING ENGINEERS, INC.

Ernie Salazar

ES/cjr

Enclosure



DRAINAGE INFORMATION

PROJECT TITLE: Central Self-Storage Units ZONE ATLAS/DRNG. FILE #: K10 / 1132

DRB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: West Half Tract C-45, Unit 4, Tracts Alloted From Town of Atrisco Grant

CITY ADDRESS: 8181 Central Ave. NW

ENGINEERING FIRM: Chavez-Grieves CONTACT: Ernie Salazar

ADDRESS: 5639 Jefferson NE PHONE: 344-4080

OWNER: Joe & Odalys Saiz CONTACT: Joe Saiz

ADDRESS: 1021 Riverview PL NW, Albuq. NM PHONE: 836-0194

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: Precision Surveys CONTACT: Larry Medrano

ADDRESS: 2929 Coors Blvd NW Suite 105 PHONE: 839-0569

CONTRACTOR: not selected CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☒ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

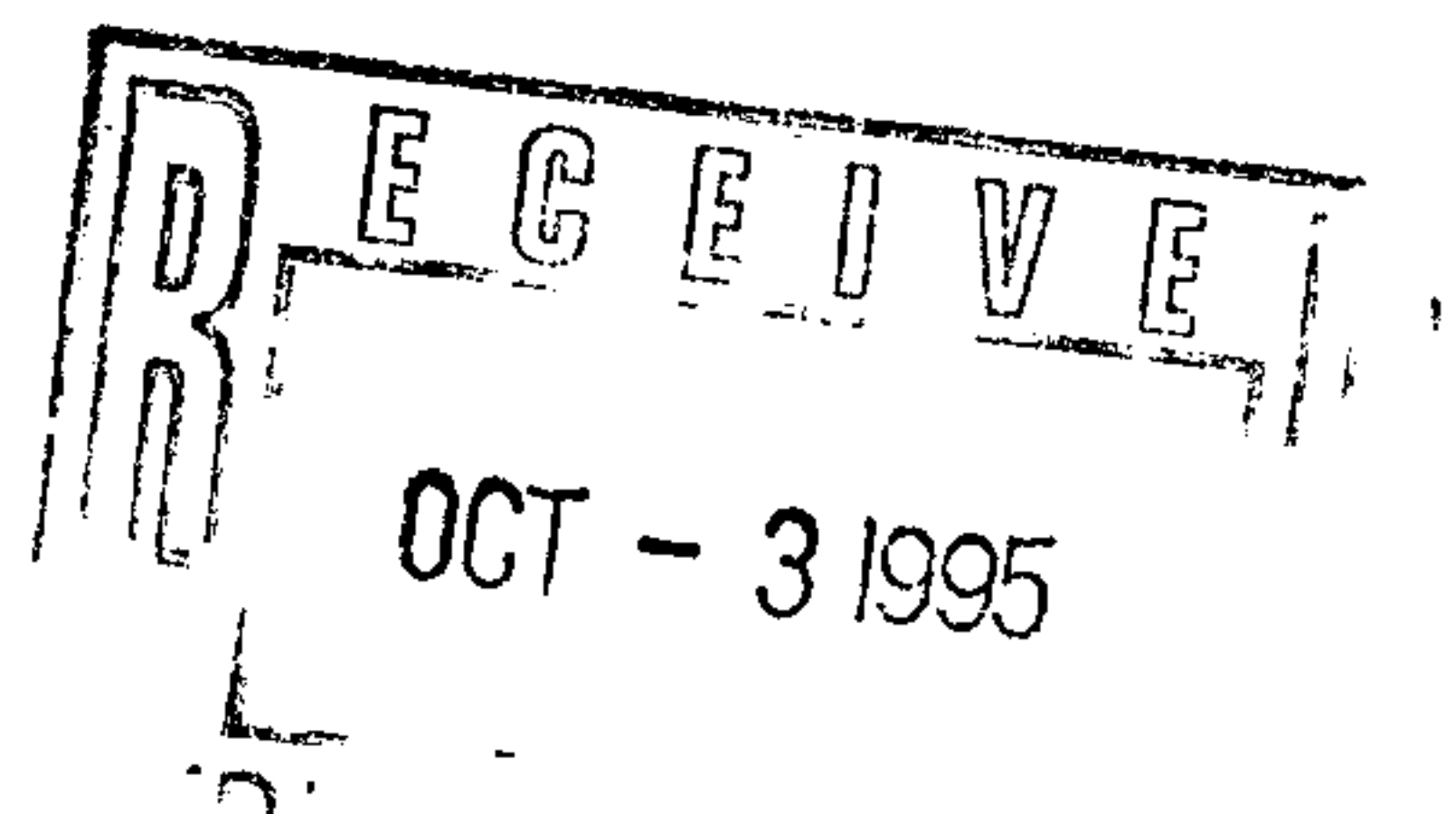
- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PRMT. APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: September 29, 1995

BY: Ernie Salazar



DRAINAGE INFORMATION

PROJECT TITLE: Central Self-Storage Units ZONE ATLAS/DRNG. FILE #: K10 / 1432

DRB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: West Half Tract C-45, Unit 4, Tracts Alloted From Town of Atrisco Grant

CITY ADDRESS: 8181 Central Ave. NW

ENGINEERING FIRM: Chavez-Grieves CONTACT: Ernie Salazar

ADDRESS: 5639 Jefferson NE PHONE: 344-4080

OWNER: Joe & Odalys Saiz CONTACT: Joe Saiz

ADDRESS: 1021 Riverview PL NW, Albuq. NM PHONE: 836-0194

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: Precision Surveys CONTACT: Larry Medrano

ADDRESS: 2929 Coors Blvd NW Suite 105 PHONE: 839-0569

CONTRACTOR: not selected CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

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☐ OTHER

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☐ SECTOR PLAN APPROVAL

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☐ FOUNDATION PERMIT APPROVAL

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY APPROVAL

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

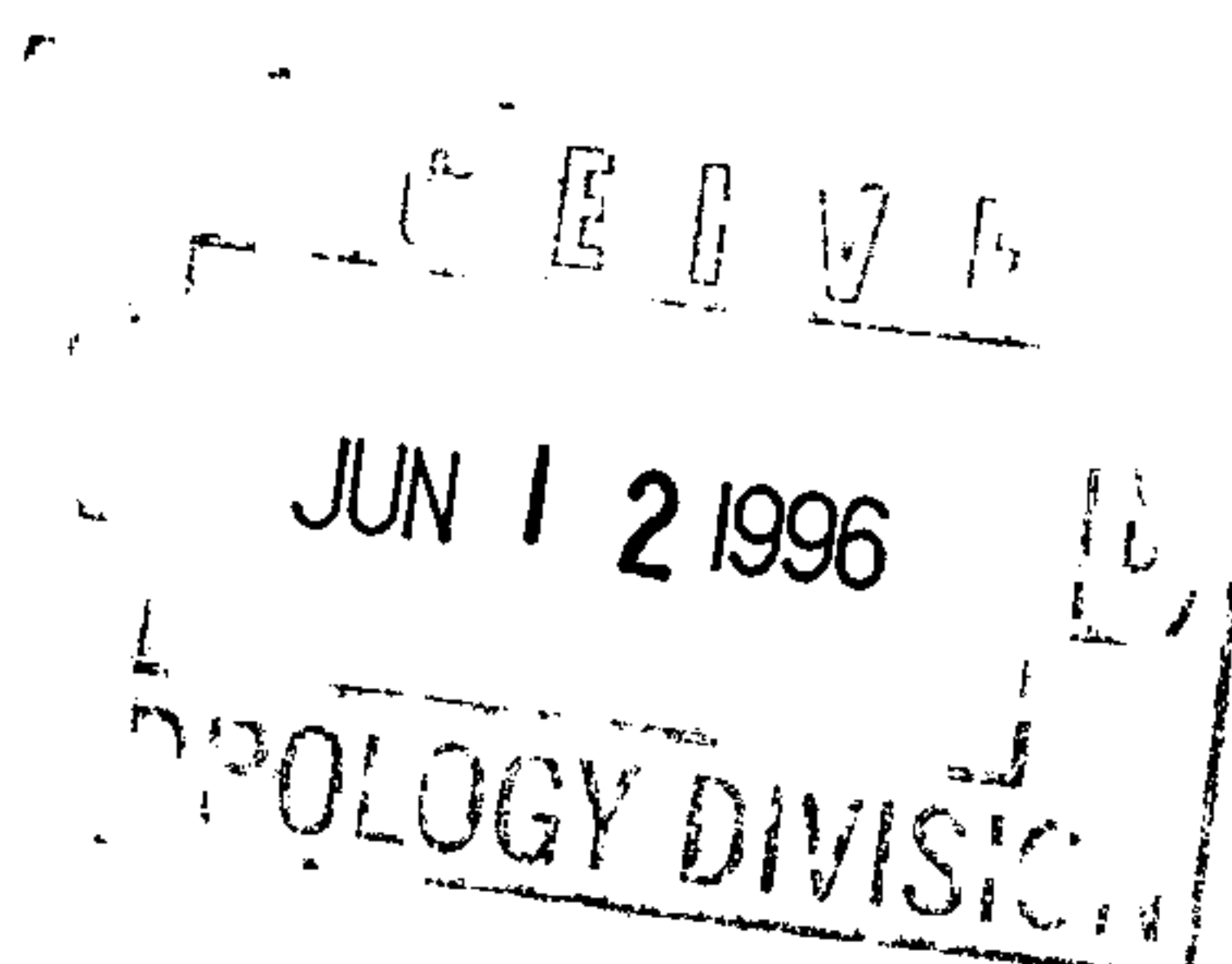
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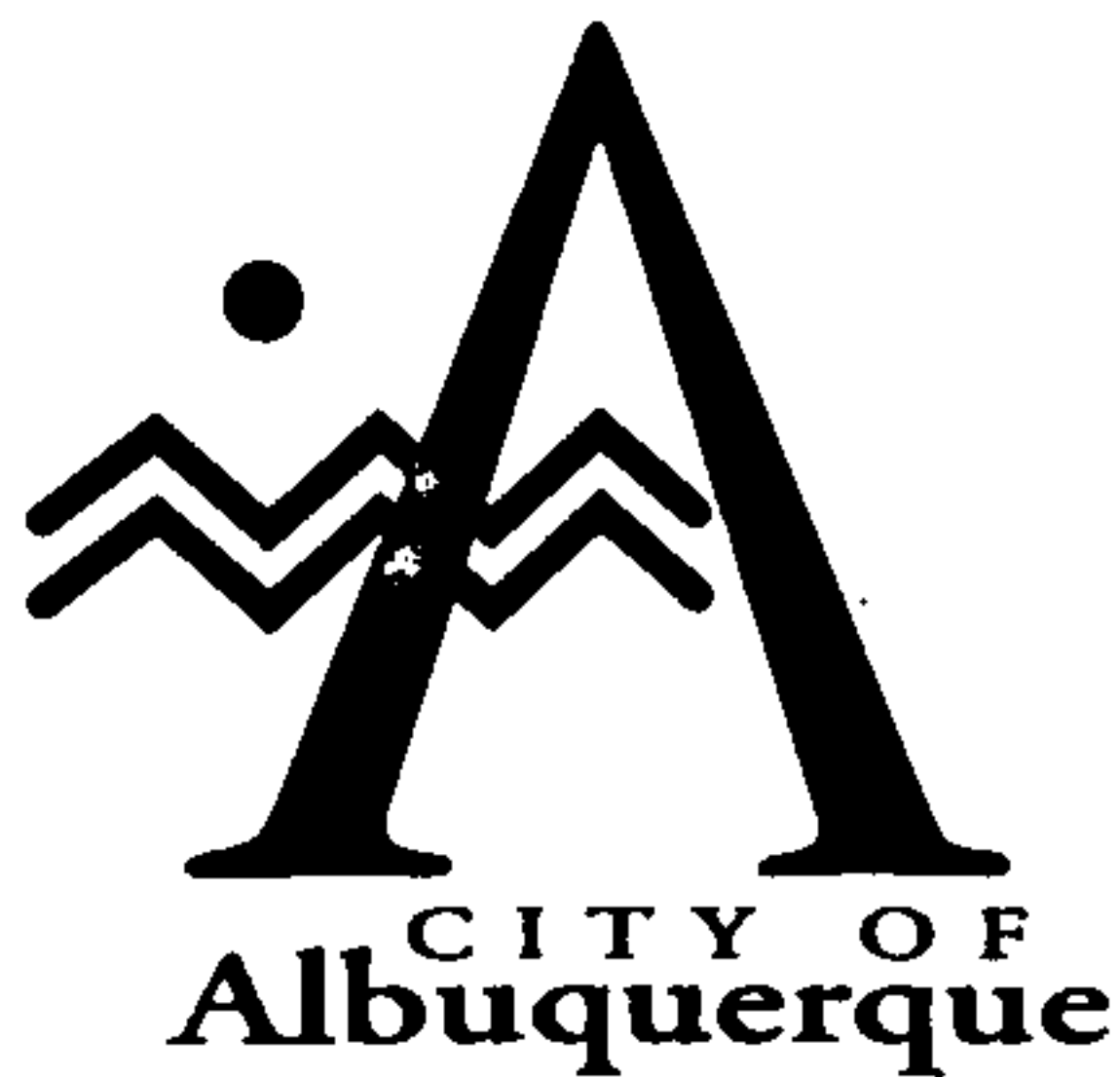
☒ NO

☐ COPY PROVIDED

DATE SUBMITTED: 6/11/96

BY: Ernie Salazar





July 3, 1996

Martin J. Chávez, Mayor

Ernie Salazar
Chavez-Grieves
5693 Jefferson NE
Albuquerque, NM 87103

**RE: CENTRAL SELF STORAGE (K10/D32). ENGINEER'S CERTIFICATION
FOR CERTIFICATE OF OCCUPANCY PERMIT APPROVAL. ENGINEER'S
CERTIFICATION DATED 6-11-96.**

Dear Mr. Salazar:

Based on the information provided on your submittal dated June 12, 1996, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You. Albuquerque!



DRAINAGE INFORMATIONPROJECT TITLE: Central Self-Storage Units ZONE ATLAS/DRNG. FILE #: K10 1432

JOB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: West Half Tract C-45, Unit 4, Tracts Alloted From Town of Atrisco GrantCITY ADDRESS: 8181 Central Ave. NWENGINEERING FIRM: Chavez-GrievesCONTACT: Ernie SalazarADDRESS: 5539 Jefferson NEPHONE: 344-4080OWNER: Joe & Odalys SaizCONTACT: Joe SaizADDRESS: 1021 Riverview PL NW, Albuq. NMPHONE: 836-2194

ARCHITECT: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

SURVEYOR: Precision SurveysCONTACT: Larry MedranoADDRESS: 2929 Coors Blvd NW Suite 105PHONE: 833-0539CONTRACTOR: not selected

CONTACT: _____

ADDRESS: _____

PHONE: _____

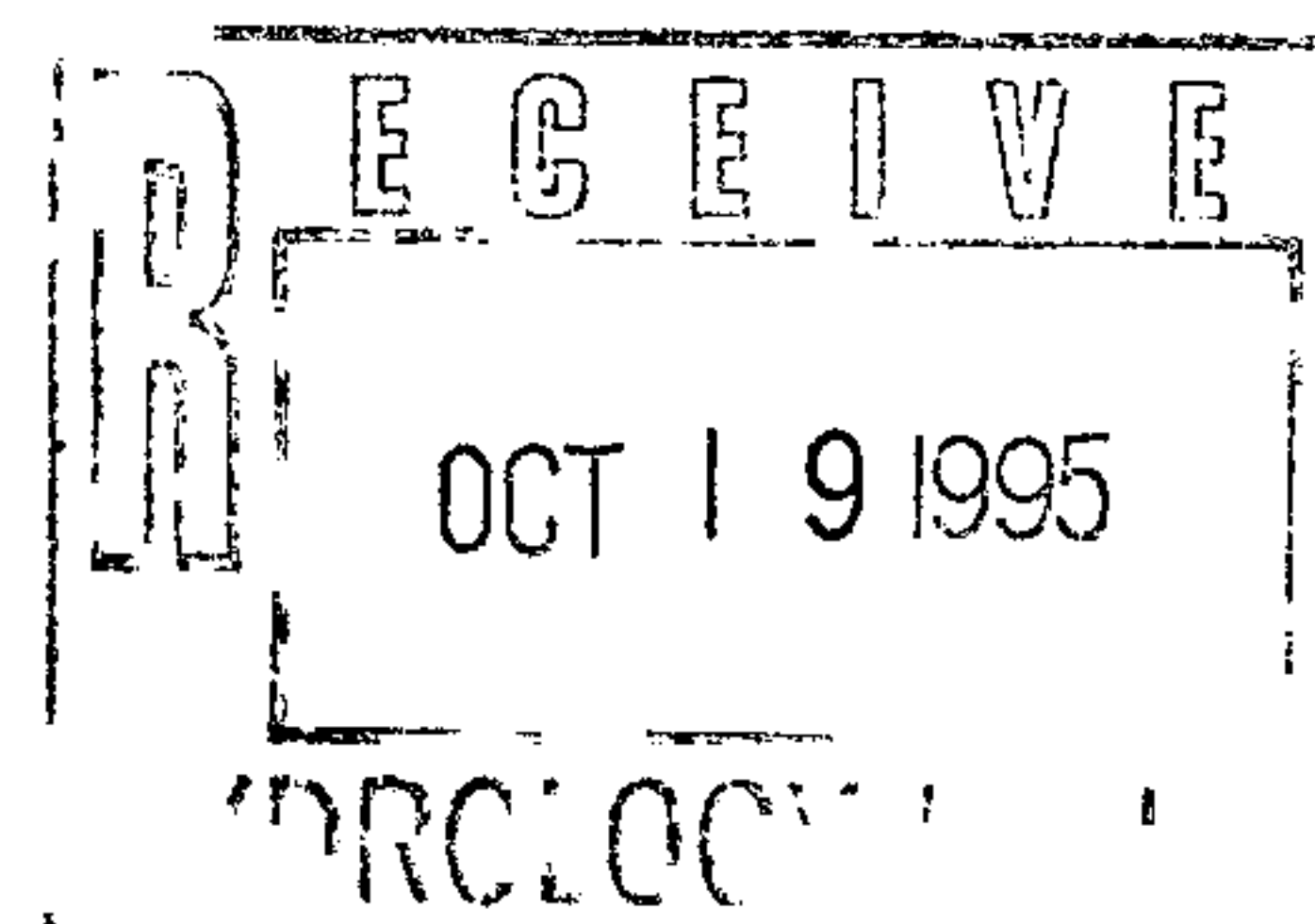
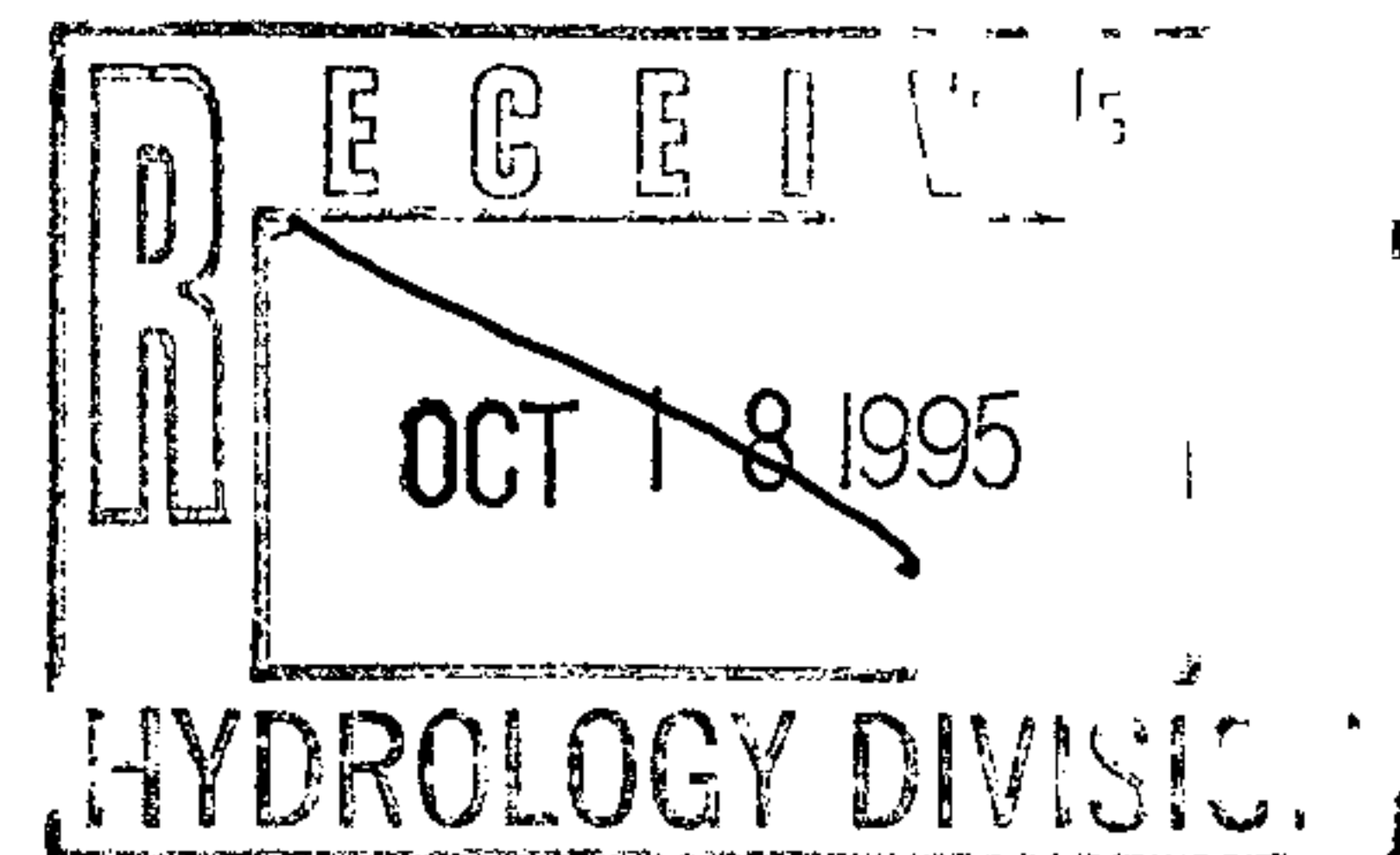
TYPE OF SUBMITTAL:

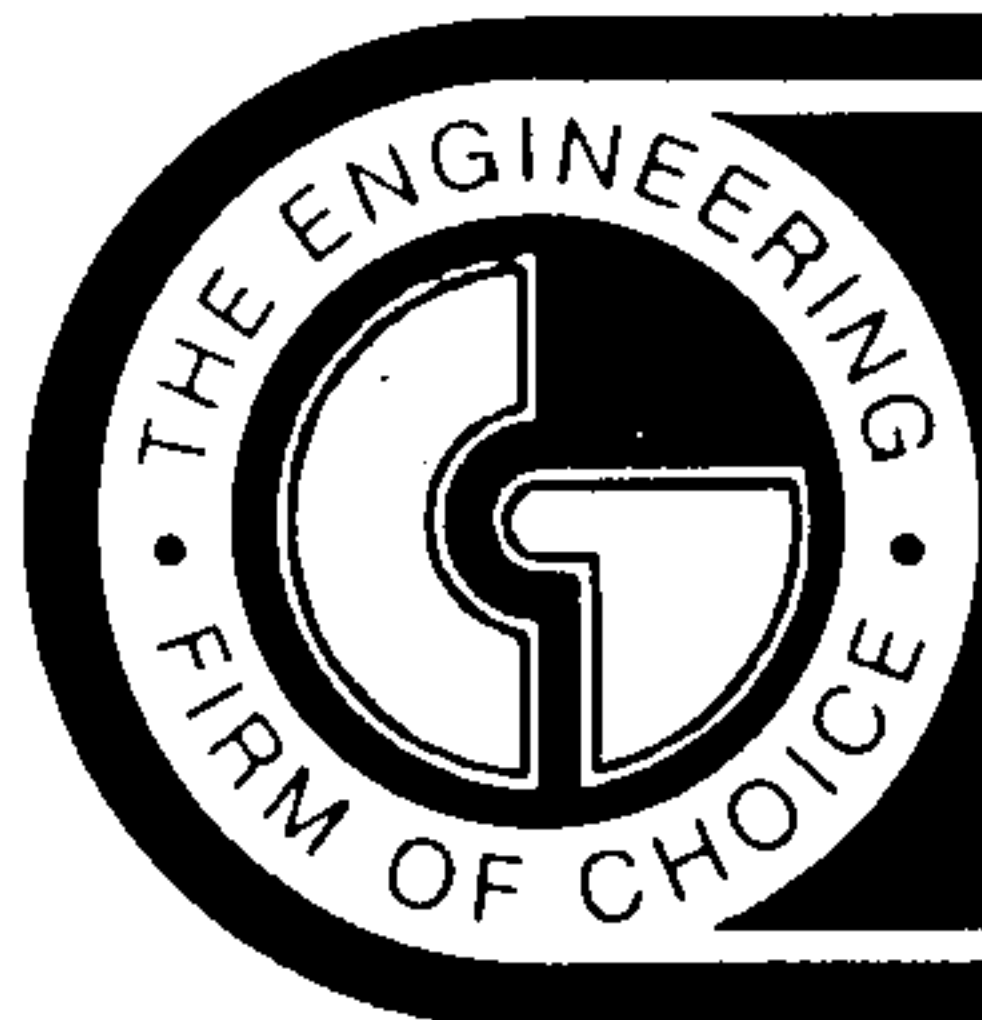
☒ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☒ GRADING PLAN☒ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☒ S. DEV. PLAN FOR SUB'D. APPROVAL☐ S. DEV. PLAN FOR BLDG. PRMT. APPROVAL☐ SECTOR PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ FOUNDATION PERMIT APPROVAL☒ BUILDING PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☒ GRADING PERMIT APPROVAL☐ PAVING PERMIT APPROVAL☐ S.A.D. DRAINAGE REPORT☐ DRAINAGE REQUIREMENTS☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY PROVIDEDDATE SUBMITTED: October 16, 1995BY: Ernie Salazar



CHAVEZ • GRIEVES

CONSULTING ENGINEERS, INC.

5639 JEFFERSON STREET NE • ALBUQUERQUE, NEW MEXICO 87109 • PHONE (505) 344-4080 • FAX (505) 343-8759

LETTER OF TRANSMITTAL

TO: LISA Manwill
City of Albug. Hydrology

DATE: 10/16/95
JOB # _____
RE: _____

WE ARE SENDING YOU _____ ATTACHED _____ UNDER SEPARATE COVER, THE FOLLOWING ITEMS:

____ SHOP DRAWINGS ☒ PLANS ____ SPECIFICATIONS ____ DISKETTE
____ CHANGE ORDER ____ PRINTS ____ CALCULATIONS ____
____ COPY OF LETTER ____ SAMPLES ____ REPORT ____

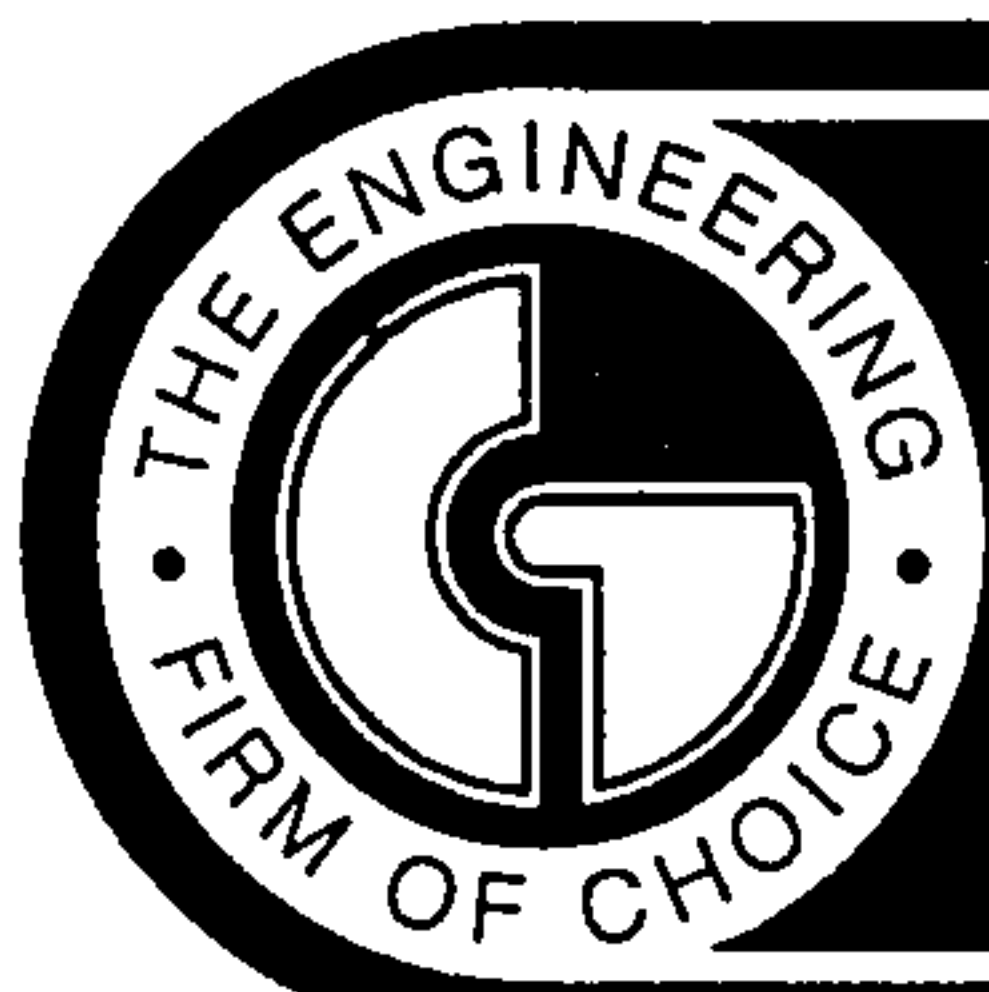
COPIES	DATE	NO.	DESCRIPTION
1	Sheet	Cl. 2	Grading and Drainage Plan

THESE ARE TRANSMITTED AS CHECKED BELOW:

<input type="checkbox"/> FOR YOUR USE	<input checked="" type="checkbox"/> FOR REVIEW & COMMENT
<input type="checkbox"/> AS REQUESTED	<input type="checkbox"/> RETURNED AFTER LOAN TO US
<input type="checkbox"/> PLEASE CORRECT AND RESUBMIT	<input type="checkbox"/> SUBMIT _____ COPIES FOR DISTRIBUTION
<input type="checkbox"/> RESUBMITTAL IS NOT REQUIRED	<input type="checkbox"/> RETURN _____ CORRECTED PRINTS
CORRECTIONS, IF ANY, ARE NOTED	

REMARKS:

COPIES TO: file SIGNED: Ernest Salazar



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October 16, 1995

Lisa Ann Manwill, Engineering Assoc./Hyd.
City of Albuquerque Public Works Dept., Hydrology Division
City-County Building Room 301
P.O. Box 1293
Albuquerque, New Mexico 87103

RE: DRAINAGE REPORT FOR CENTRAL SELF-STORAGE SITE (K10/D32)
C/G PROJECT NO. S47-100-5195

Dear Ms. Manwill:

Transmitted herewith is a revised Grading Plan for Site Plan and building permit approval. Your comments dated October 5, 1995 have been addressed as follows:

1. Roof drains locations for the office/security building, carport, and caretaker building have been included on the revised Grading and Drainage Plan.
2. The swale that carries storm runoff to the east pond has been moved east approximately 13 ft. This will insure runoff will go into the pond and not pond at the drive entrance. A water block symbol is added to clarify the water block on the south boundary.

Please call if you have any questions prior to your final approval.

Sincerely,

CHAVEZ-GRIEVES CONSULTING ENGINEERS, INC.

Ernie Salazar

ES/cjr

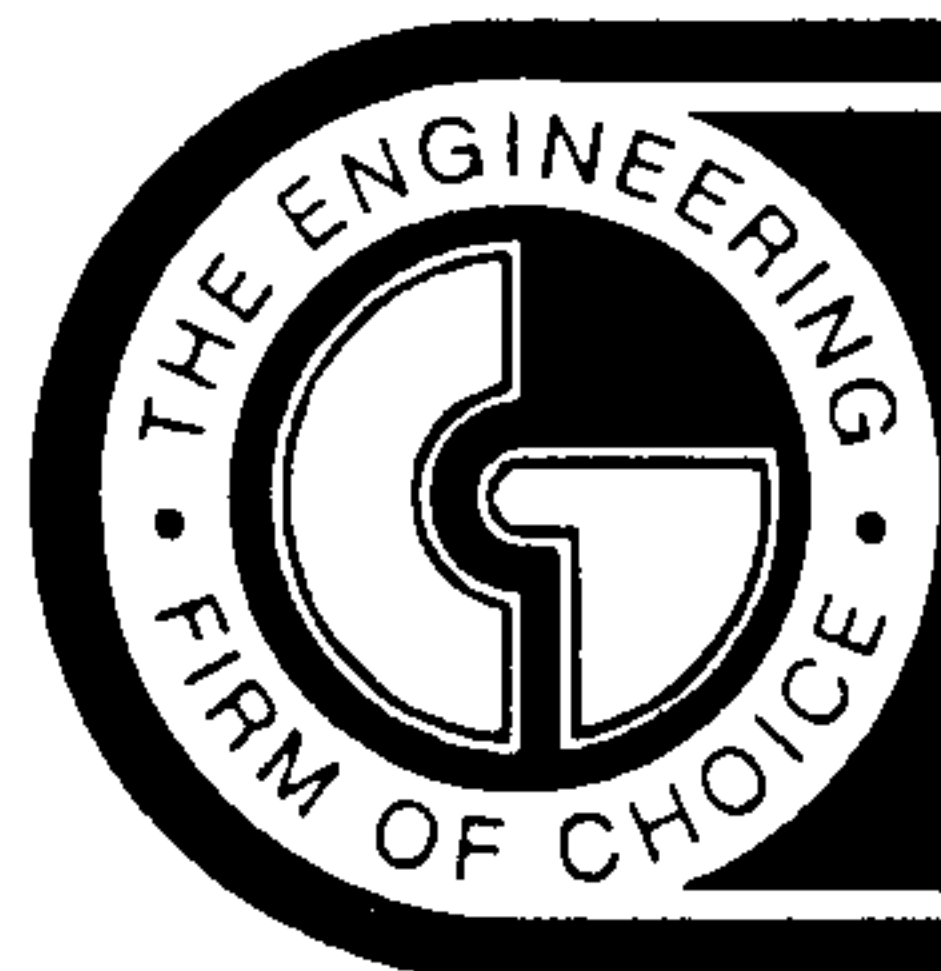
Enclosure

CHAVEZ • GRIEVES

OCT 19 1995

OCT 18 1995

HYDROLOGICAL



CHAVEZ • GRIEVES
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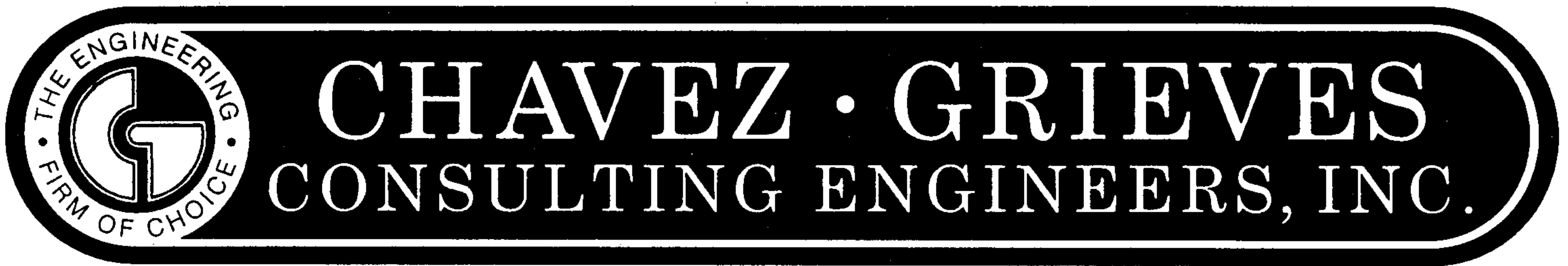
GRADING AND DRAINAGE PLAN

FOR

CENTRAL SELF-STORAGE UNITS

ALBUQUERQUE, NEW MEXICO

SEPTEMBER, 1995



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GRADING AND DRAINAGE PLAN

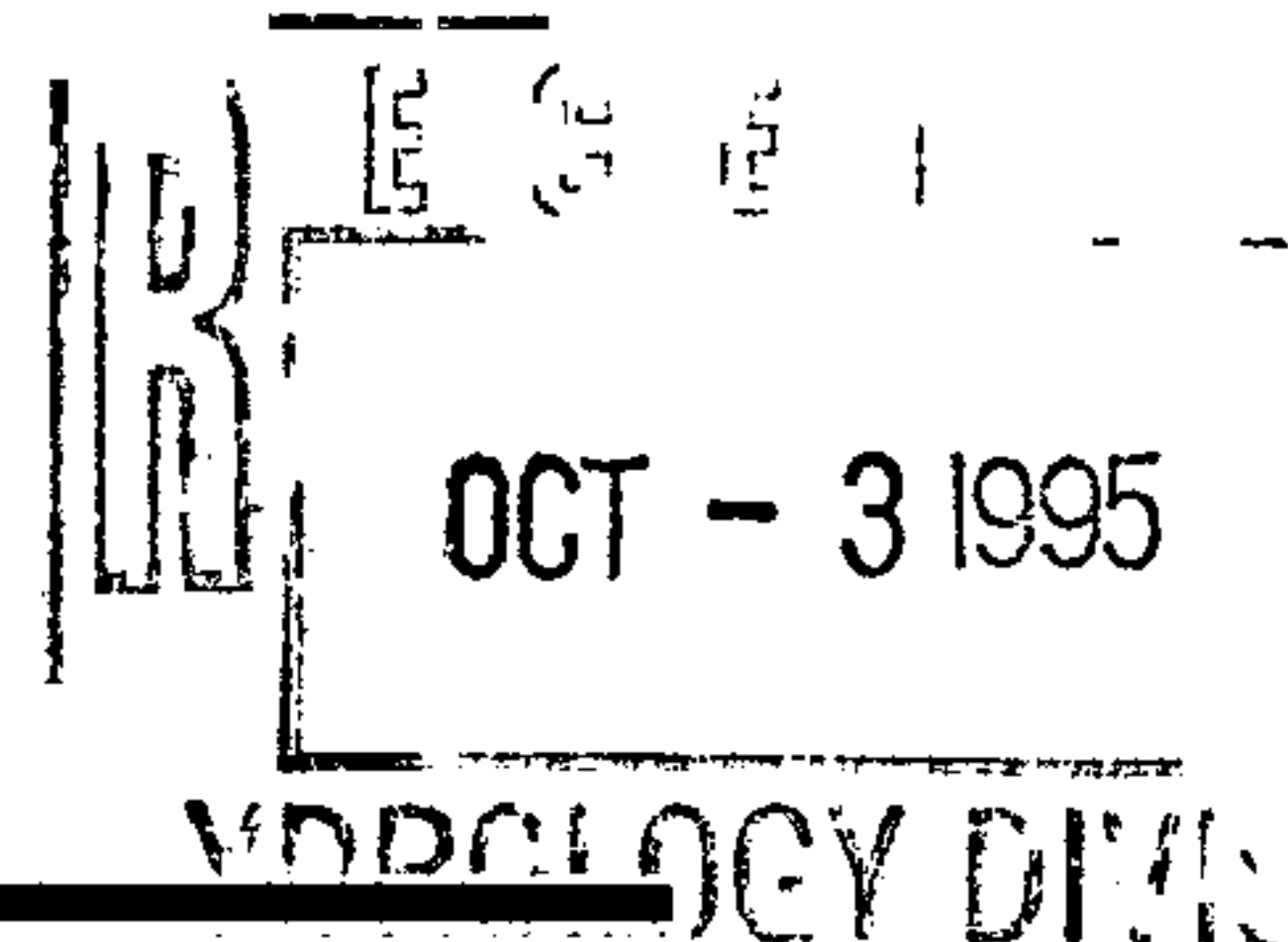
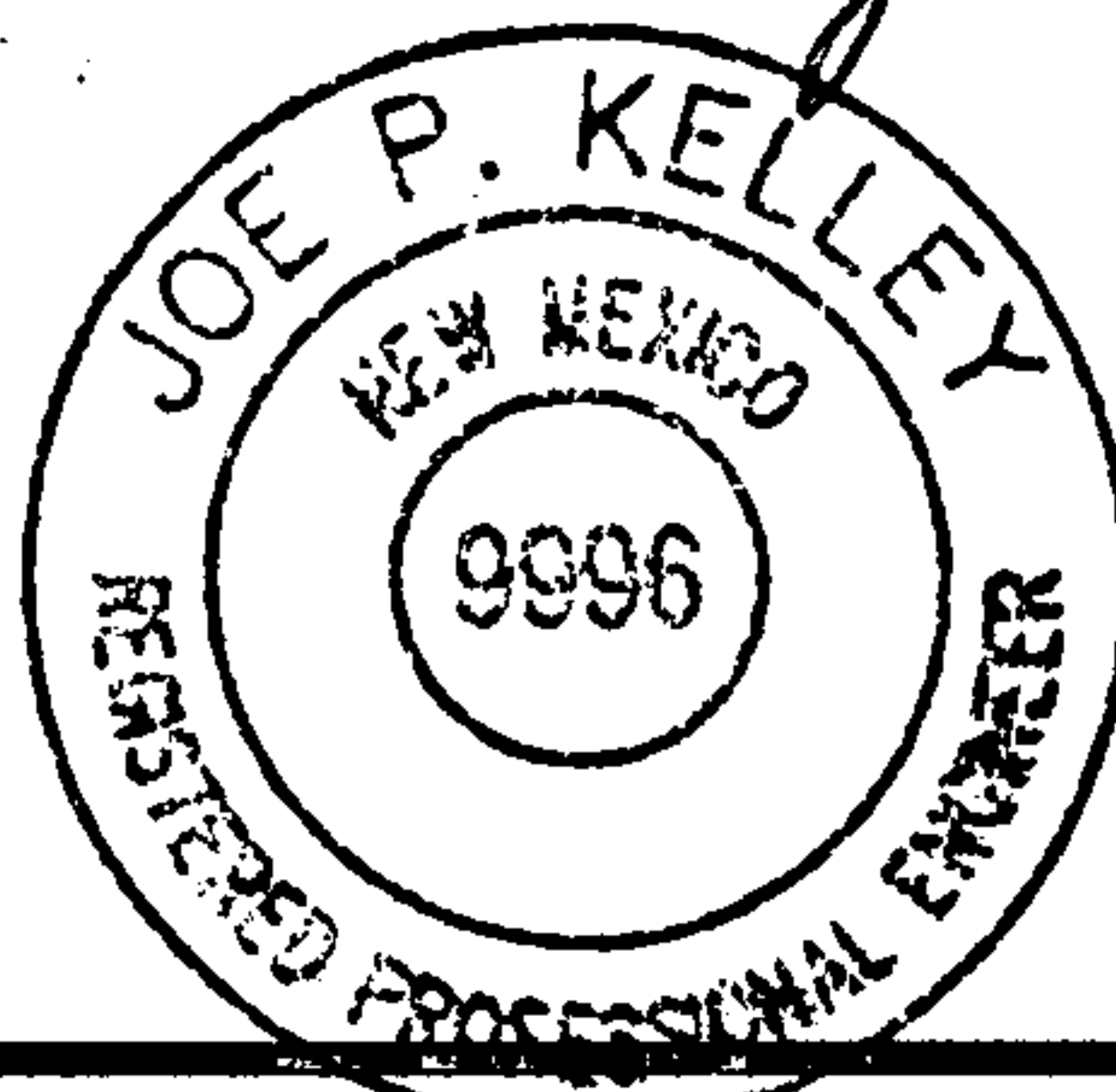
CENTRAL SELF-STORAGE UNITS

SEPTEMBER 1995

ENGINEER'S STATEMENT

I certify that I am a Registered Professional Engineer in the State of New Mexico and that this report was prepared by me or under my supervision. Chavez-Grievés personnel have inspected this land, and it appears that no grading, filling, or excavation has occurred thereon since the existing contour map was prepared.

Joe Paul Kelley 9/15/95
9/30/95



Celebrating 15 Years of Engineering Leadership

LOCATION AND SURROUNDING DEVELOPMENT

This site is located on Albuquerque's West Central Ave. approximately 1/4 mile west of Unser Blvd. and on the north side of Central Ave. It is undeveloped land located within the West Route 66 Sector Development Plan. The tract proposed for development is zoned SU-2, IP as are the surrounding tracts. The west property line borders a private dirt road that provides access to the property on the west. On the east is the east 1/2 of the tract proposed for development, which is also undeveloped. A paved frontage road located between Central Ave. and the south boundary of the tract runs east and west adjacent to the tract. Development in the area is sparse, with most of the development occurring near Unser Blvd.

LEGAL DESCRIPTION

West Half Tract C-45, Unit No. Four, Tracts Allotted From Town Of Atrisco Grant, Albuquerque, Bernalillo County, New Mexico

FLOOD HAZARD ZONES

As shown by Panel 3500020027 of the National Flood Insurance Rate Maps for the City of Albuquerque, dated October 14, 1983, there are no designated flood hazard zone, on this site.

EXISTING SITE CONDITIONS AND DRAINAGE PATTERN

The site is presently undeveloped and slopes from the northwest down to the southeast at about 0.4%. The ground is vegetated with native grasses. No off-site runoff discharges onto the site. Runoff from the site sheet flows onto an asphalt frontage road and dirt median in the right-of-way south of the site. Runoff then discharges east via the road and dirt median to a ponding area located near Unser and Central Ave.

RELATED REPORTS

No related reports were on file at the City of Albuquerque, Hydrology Department at the time of this report.

PROPOSED SITE CONDITIONS AND DRAINAGE PATTERN

Proposed development of the site includes construction of approximately 28,000 sq.ft.

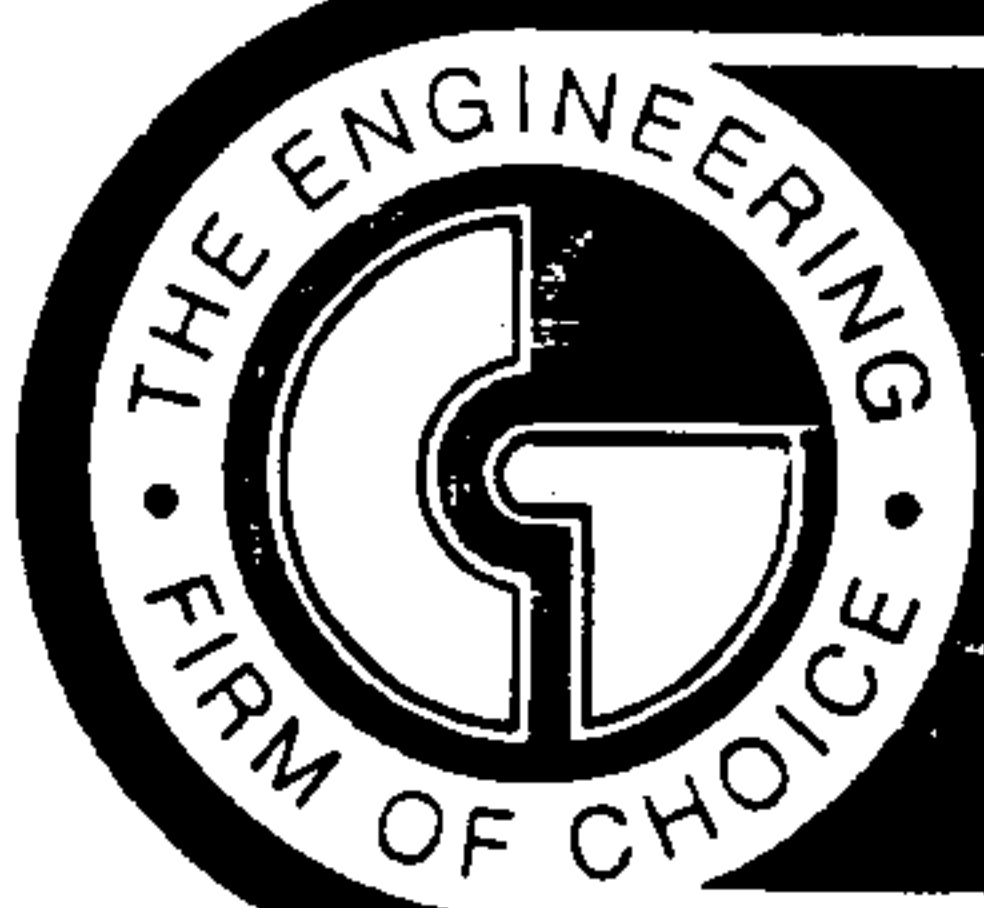
of storage units, two trailers and a carport. Areas of vehicle traffic will have an asphalt surface and the remaining area will be grass or native vegetation. The site is to be developed in phases. The first phase will include construction of approximately 6000 sq.ft. of storage units and placement of the two trailers. The remaining phases will be developed as permitted by finances. Site grading will be done in conjunction with the development phases. The undeveloped portion of the site will continue to discharge in historical fashion, while the developed portion will discharge in accordance with this plan.

As shown in the runoff summary, the development of the site will increase runoff by approximately 9800 cu.ft. Two detention ponds will be constructed on site and for each pond runoff will discharge via a 6" DIP. The combined rate of flow for both ponds will be 2.62 cfs., which does not exceed of the historical rate of 3.16 cfs. The 6"DIP will direct runoff to the dirt median and frontage road located adjacent to the tract, which is the site's historical point of discharge. Thus the drainage pattern and peak discharge from the 100-year storm will be the same as existing.

RUNOFF SUMMARY

Discharge from	Discharge to	$Q_{\text{EXIST.}}$ (CFS)	Q_{DEV} (CFS)	$V_{\text{EXIST.}}$ (CU.FT.)	V_{DEV} (CU.FT.)
Site	Frontage Rd. & Dirt median	3.16	9.10	3913	13714
Detention Ponds	Right-of-way	3.16	2.62	3913	11508

**HYDROLOGIC
AND
HYDRAULIC
COMPUTATIONS**



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RUNOFF CALCULATIONS - SIMPLIFIED PROCEDURE

By: ERNIE SALAZAR
Project: CG# S47-100-5195

Date: 9/15/95
Zone Atlas: K-10-Z

This procedure is in accordance with the City of Albuquerque Development Process Manual, Volume 2, Section 22.2, "Hydrology", peak discharge rate for small watersheds less than forty acres in size.

Precipitation Zone from Figure A-1: 1
Land treatment descriptions are in Table A-4.

1. RUNOFF RATE COMPUTATION

Use Equation a-10: $Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$

Values of Q_{pi} are from Table A-9, and are in CFS/acre. Area values are in acres.

BASIN	Q_{PA}	A_A	Q_{PB}	A_B	Q_{PC}	A_C	Q_{PD}	A_D	Q_p
EXISTING BASIN RATE OF RUNOFF (CFS)									
1	1.29	2.45							3.16 cfs
DEVELOPED BASIN RATE OF RUNOFF (CFS)									
					2.87	1.07	4.37	1.38	9.10 cfs

2. RUNOFF VOLUME COMPUTATION

Use Equation a-5 to compute weighted excess precipitation:

$$\text{Weighted } E = "E" = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / (A_A + A_B + A_C + A_D)$$

$$(A_A + A_B + A_C + A_D) = \sum A_i$$

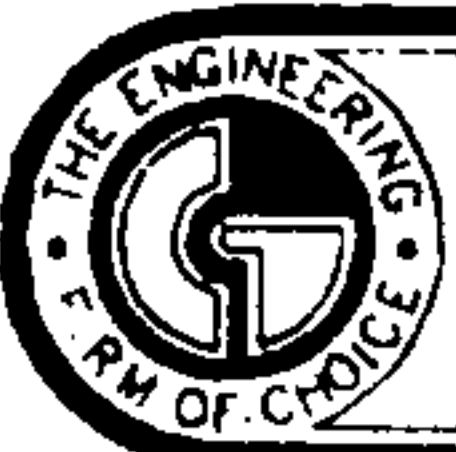
Use Equation a-6 to compute the volume:

$$V_{360} = "E" \times (A_A + A_B + A_C + A_D) \times 3630 \text{ feet}^3/\text{acre} \cdot \text{inch}$$

Values of E_i are from Table A-8, and are in inches. Area values are in acres.

BASIN	E_A	A_A	E_B	A_B	E_C	A_C	E_D	A_D	$\sum A_i$	"E"	V_{360}
EXISTING BASIN VOLUME OF RUNOFF (CUBIC FEET)											
1	.44	2.45								.44	3913 cf
DEVELOPED BASIN VOLUME OF RUNOFF (CUBIC FEET)											
					.99	1.07	1.97	1.38	2.45	1.542	13714 cf

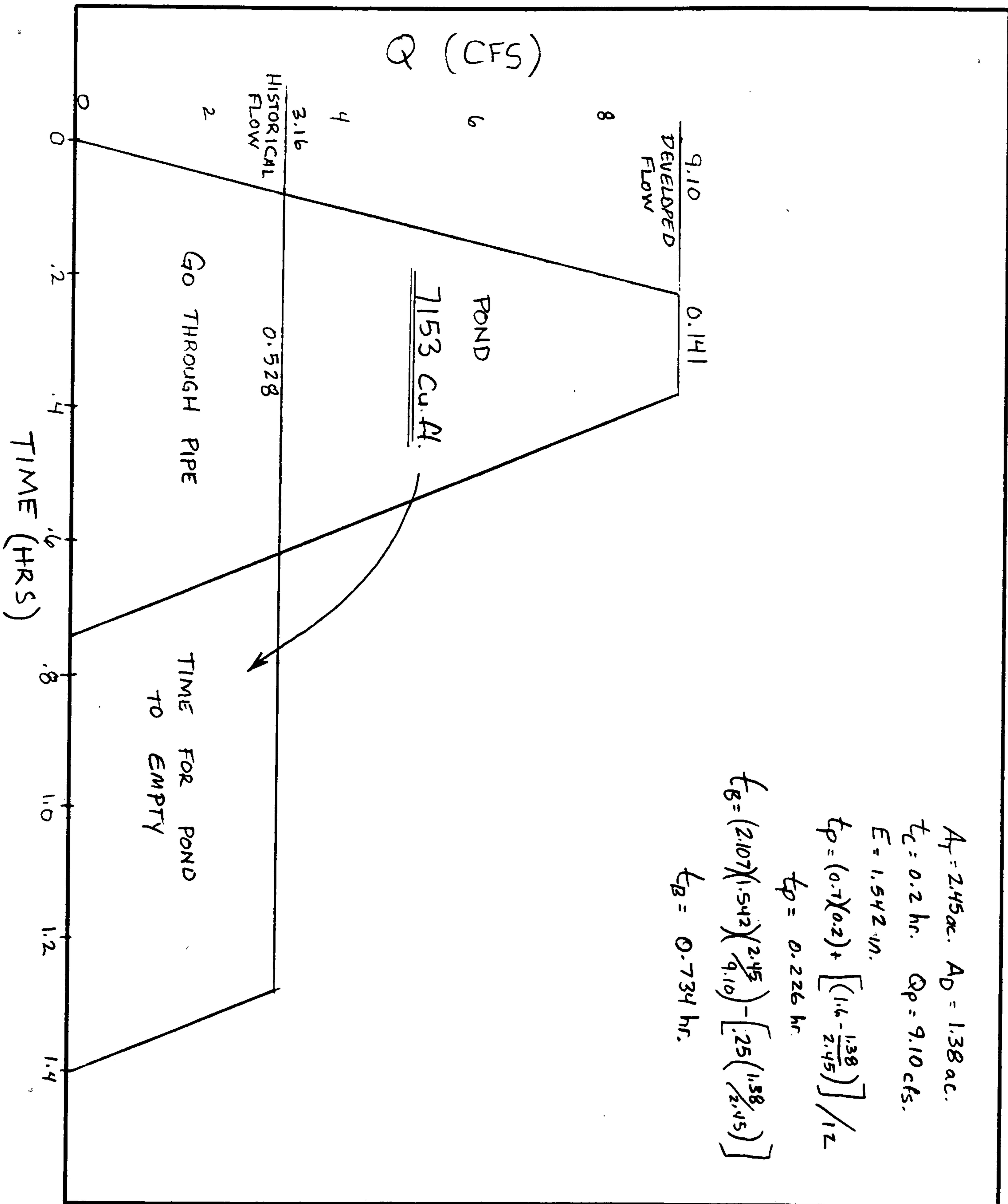
$$\text{WEIGHTED "E"} = \frac{(.99)(1.07) + (1.97)(1.38)}{1.07 + 1.38} = 1.542$$

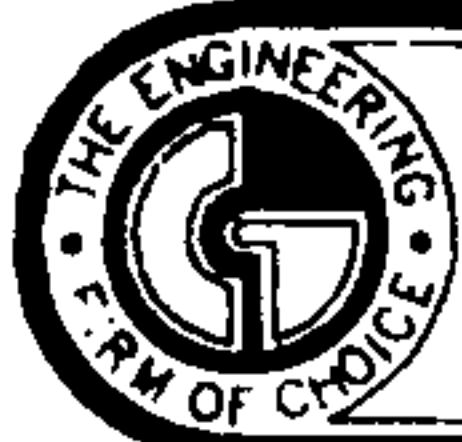


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5639 JEFFERSON STREET N.E. • ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 344-4080 • FAX (505) 343-8759

SHEET NO. 1 OF 1
JOB CENTRAL SELF STORAGE
SUBJECT HYDROGRAPH
CLIENT SAIZ
JOB NO. 547-100-5195
BY E. SALAZAR DATE 9/15/95



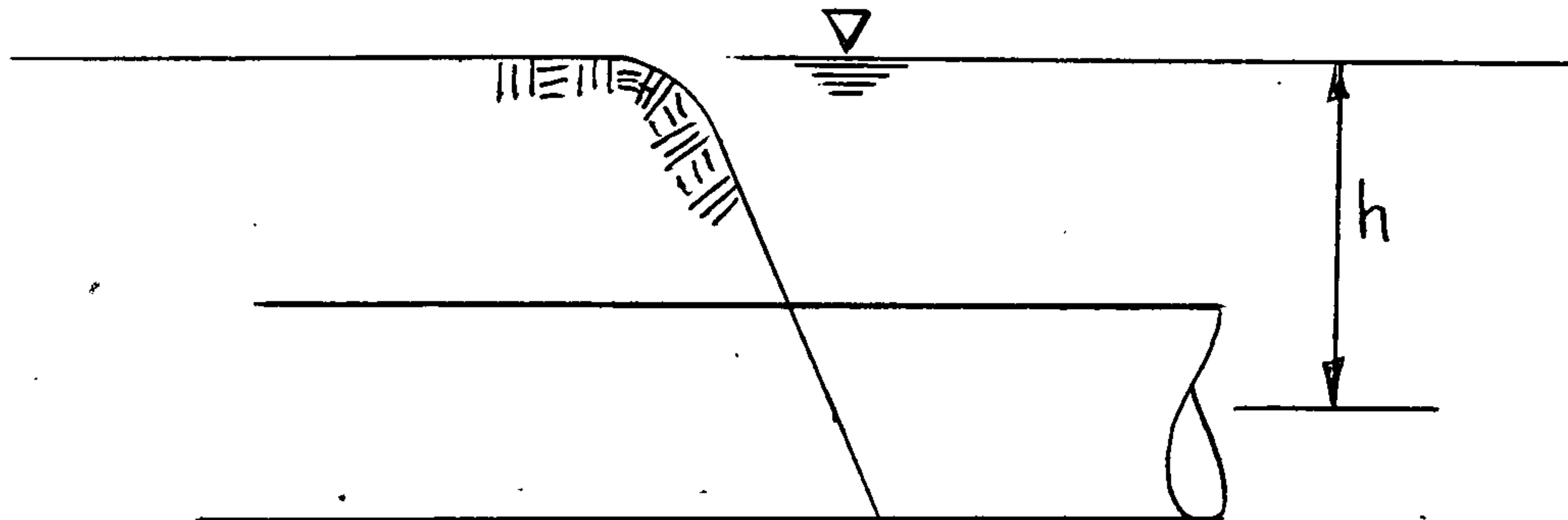


CHAVEZ • GRIEVES CONSULTING ENGINEERS, INC.

5839 JEFFERSON STREET N.E. • ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 344-4080 • FAX (505) 343-8759

SHEET NO. _____ OF _____
JOB CENTRAL SELF STORAGE
SUBJECT CULVERT DESIGN
CLIENT SAIZ
JOB NO. _____
BY E. SALAZAR DATE 9/27/95

Q REQUIRED = 3.16 CFS



ORIFICE EQ. $Q = 0.6 A \sqrt{2gh}$

Q = FLOW

g = 32.2 ft/sec²

A = AREA OF PIPE

POND #1

6" DIA DIP

$A = 0.196 \text{ ft}^2$, $h = 1.92 \text{ ft}$

$Q = (0.6)(0.196) \sqrt{(62.4)(1.92)} = 1.29 \text{ cfs.}$

POND #2

6" DIA DIP

$A = 0.196 \text{ ft}^2$, $h = 2.05 \text{ ft}$

$Q = (0.6)(0.196) \sqrt{(62.4)(2.05)} = 1.33 \text{ cfs.}$

TOTAL = 2.62 cfs.