

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 23, 2023

Raymond J. Smith, P.E.  
Souder, Miller & Associates  
5454 Venice Ave NE, Suite D  
Albuquerque, NM 87113

**RE: Paladin Self Storage  
Grading and Drainage Plans  
Engineer's Stamp Date: 07/26/23  
Hydrology File: K10D032B**

Dear Mr. Smith:

Based upon the information provided in your submittal received 07/31/2023, the Grading & Drainage Plans are approved for Grading Permit. Once the grading and retaining wall of the project is complete, please provide an as-built for the City's records since there is no CO attached to the project.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

**Project Title:** \_\_\_\_\_ **Building Permit #** \_\_\_\_\_ **Hydrology File #** \_\_\_\_\_

**DRB#** \_\_\_\_\_ **EPC#** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_ **City Address OR Parcel** \_\_\_\_\_

**Applicant/Agent:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_ **Phone:** \_\_\_\_\_

**Email:** \_\_\_\_\_

**Applicant/Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_ **Phone:** \_\_\_\_\_

**Email:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_ PLAT (#of lots) \_\_\_ RESIDENCE \_\_\_ DRB SITE \_\_\_ ADMIN SITE: \_\_\_

**RE-SUBMITTAL:** \_\_\_ YES \_\_\_ NO

**DEPARTMENT:** \_\_\_ TRANSPORTATION \_\_\_ HYDROLOGY/DRAINAGE

Check all that apply:

### TYPE OF SUBMITTAL:

- \_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_ PAD CERTIFICATION
- \_\_\_ CONCEPTUAL G&D PLAN
- \_\_\_ GRADING PLAN
- \_\_\_ DRAINAGE REPORT
- \_\_\_ DRAINAGE MASTER PLAN
- \_\_\_ FLOOD PLAN DEVELOPMENT PERMIT APP.
- \_\_\_ ELEVATION CERTIFICATE
- \_\_\_ CLOMR/LOMR
- \_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- \_\_\_ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- \_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_ STREET LIGHT LAYOUT
- \_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_ CONCEPTUAL TCL DRB APPROVAL
- \_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_ SITE PLAN FOR BLDG PERMIT APPROVAL
- \_\_\_ FINAL PLAT APPROVAL
- \_\_\_ SIA/RELEASE OF FINANCIAL GUARANTEE
- \_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_ GRADING PERMIT APPROVAL
- \_\_\_ SO-19 APPROVAL
- \_\_\_ PAVING PERMIT APPROVAL
- \_\_\_ GRADING PAD CERTIFICATION
- \_\_\_ WORK ORDER APPROVAL
- \_\_\_ CLOMR/LOMR
- \_\_\_ FLOOD PLAN DEVELOPMENT PERMIT
- \_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_

## BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO

PROJECT DESCRIPTION:  
DEVELOPMENT OF THE PROPERTY AT 8181 CENTRAL AVENUE NW  
IN ALBUQUERQUE NEW MEXICO FOR A BOAT AND RV STORAGE  
FACILITY

Sheet Number	Sheet Title
G-1	COVER
G-2	GENERAL NOTES, LEGEND, AND ABBREVIATIONS
C-1	DEMOLITION PLAN
C-2	SITE PLAN
C-3	EXISTING DRAINAGE PLAN
C-4	PROPOSED DRAINAGE PLAN
C-5	PROPOSED GRADING PLAN
C-6	MISCELLANEOUS DETAILS

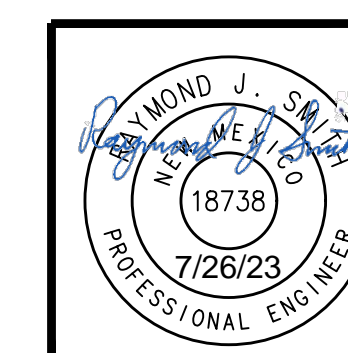
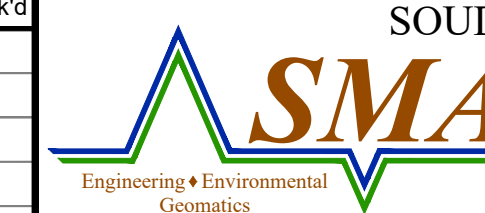


THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY  
DIRECTION AND SUPERVISION ON BEHALF OF SOUDER, MILLER & ASSOCIATES.

  
RAYMOND J. SMITH, P.E.  
PROJECT MANAGER

7/26/23  
DATE

THE SEAL AND SIGNATURE OF THE PROFESSIONAL REGISTRANT IDENTIFIED ON THIS COVER SHEET DOES NOT SUGGEST RESPONSIBLE CHARGE FOR ALL SHEETS CONTAINED WITHIN THIS PACKAGE; PLAN SHEETS NOT SIGNED AND SEALED ARE NOT THE RESPONSIBILITY OF THE PROFESSIONAL REGISTRANT IDENTIFIED ON THIS COVER SHEET. PLEASE REFER TO PROFESSIONAL REGISTRANTS IDENTIFIED ON INDIVIDUAL PLAN SHEETS.

[illegible]

**MA** **SOUDER, MILLER & ASSOCIATES**  
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Albuquerque, NM 87113  
Phone (505) 299-0942 Fax (505) 293-3430  
www.soudermiller.com  
Serving the Southwest & Rocky Mountains  
Albuquerque, Carlsbad, Farmington, Hobbs, Las Cruces, Roswell, Santa Fe, NM  
Cortez, Denver, Grand Junction, CO - Safford, AZ - El Paso, TX - Moab, UT



GENERAL NOTES

1. SOUDER, MILLER AND ASSOCIATES SHALL HEREINAFTER BE KNOWN AS THE ENGINEER. CONTRACTOR SHALL SUBMIT ALL QUESTIONS TO ENGINEER'S REPRESENTATIVE.
2. THERE WILL BE A PERSON OR PERSONS (HEREINAFTER KNOWN AS THE OWNER'S REPRESENTATIVE) CHOSEN BY OWNER (HEREINAFTER KNOWN AS THE OWNER) TO ACT AS A CONTACT PERSON BETWEEN THE OWNER AND THE ENGINEER. THE OWNER'S REPRESENTATIVE WILL OBSERVE AND PROVIDE INFORMATION, AND PROVIDE CRITICAL LOCATIONS THROUGH THE ENGINEER TO THE CONTRACTOR IN THE FIELD.
3. THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND IS NOT LIABLE FOR PROBLEMS THAT MAY ARISE FROM THE CONTRACTOR'S FAILURE TO FOLLOW THESE DRAWINGS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS ARISING FROM FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS.
4. CONTRACTOR SHALL CONFINE ALL CONSTRUCTION OPERATIONS TO THE LIMITS OF THE PROJECT EASEMENTS DEFINED IN THESE DRAWINGS, AND IN NO WAY ENCROACH ONTO ADJACENT PROPERTIES, UNLESS LEGAL EASEMENTS ARE PROVIDED. CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR ANY AGREEMENTS NEEDED, OR DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO PUBLIC OR PRIVATE PROPERTY, INCLUDING UTILITIES.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTING THE PROJECT ACCORDING TO CURRENT CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, INCLUDING WHERE PARTICULAR WORK ITEMS ARE NOT SPECIFIED HEREIN.
6. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS AS SET FORTH IN THE TECHNICAL SPECIFICATIONS AND CONTRACT DOCUMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE ENGINEER REGARDING ANY QUESTION ARISING FROM ANY ASPECT OF THIS PROJECT NOT SPECIFICALLY COVERED IN THE PLANS AND TECHNICAL SPECIFICATIONS, OR ANY CHANGES OR CORRECTIONS TO THE PLANS AND SPECS.
7. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL (OSHA), STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P - EXCAVATIONS.
8. CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING BUILDING PERMITS, ROAD CROSSING PERMITS AND ANY OTHER PERMITS, WHICH HAVE NOT ALREADY BEEN OBTAINED BY THE OWNER OR ENGINEER.
9. THE CONTRACTOR SHALL PROVIDE INGRESS AND EGRESS TO ANY LOCAL BUSINESSES AND RESIDENTS AS REQUIRED FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL ADVISE OF AND SCHEDULE ACCESS CLOSURES AT LEAST 24 HOURS IN ADVANCE WITH PROPERTY OWNERS AND THE ENGINEER.
10. CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH SPECIFICATIONS FOR ROAD AND ANY APPLICABLE SPECIAL PROVISION AND/OR SUPPLEMENTAL SPECIFICATION, AS WELL AS THE MOST CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, UNLESS OTHERWISE SPECIFIED HEREIN.
11. AS PART OF THE TRAFFIC CONTROL PLAN AND TRAFFIC CONTROL MANAGEMENT, THE CONTRACTOR SHALL HAVE PERSONNEL AVAILABLE 24 HOURS PER DAY, 7 DAYS PER WEEK, TO INSPECT AND MAINTAIN DETOURS AND TRAFFIC CONTROL DEVICES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVALS REQUIRED BY THE PLANS WHETHER SPECIFICALLY LISTED OR NOT TO COMPLETE THE PROJECT. THIS WORK WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND THE CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR UNLISTED REMOVALS.
13. OBSTRUCTIONS REMOVED FROM THE WORK AREAS SHALL BE DISPOSED OF BY THE CONTRACTOR. DISPOSAL OF USABLE MATERIALS (E.G., EXCESS DIRT, GRAVEL, ETC.) SHALL BE AT A SITE DESIGNATED BY THE OWNER DURING CONSTRUCTION. ALL OTHER WASTE SHALL BE DISPOSED OF AT AN APPROVED LANDFILL. ALL DISPOSAL SITES MUST BE APPROVED BY THE ENGINEER AND OWNER PRIOR TO DISPOSAL OF ANY WASTE.
14. THE CONTRACTOR SHALL SALVAGE ANY OBSTRUCTIONS NOTED ON THE CONTRACT DRAWINGS AS WELL AS REUSABLE ITEMS FOUND DURING CONSTRUCTION. SUCH ITEMS, IF ANY, SHALL BE DELIVERED TO THE PROPERTY OWNER AS DIRECTED BY THE ENGINEER AND/OR OWNER DURING CONSTRUCTION.
15. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING AN EQUIPMENT STORAGE YARD. THE LOCATION OF THE YARD MUST BE APPROVED BY THE OWNER. NO DIRECT PAYMENT WILL BE MADE FOR THE YARD. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SITE SECURITY.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A WATER SOURCE FOR CONSTRUCTION UNLESS OTHERWISE PROVIDED. NO DIRECT PAYMENT WILL BE MADE FOR WATER. ALL PERMITS, FEES, EQUIPMENT, HAUL, ETC. RELATIVE TO OBTAINING WATER SHALL BE CONSIDERED INCIDENTAL.
17. THE CONTRACTOR SHALL TAKE ANY NECESSARY MEASURES TO PROTECT HORIZONTAL AND VERTICAL CONTROL SURVEY MONUMENTS FROM DAMAGE DURING CONSTRUCTION. IF DURING EXECUTION OF THE PROJECT, THE CONTRACTOR'S ACTIVITIES DISTURB OR DESTROY SUCH MONUMENTS, THE CONTRACTOR SHALL RE-ESTABLISH THEM IN ACCORDANCE WITH ESTABLISHED STANDARDS AND PROCEDURES.
18. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING STRUCTURES FREE OF DUST AND/OR CONSTRUCTION DEBRIS AT ALL TIMES DURING THE EXECUTION OF THE PROJECT. ALL EXISTING AND NEW STRUCTURES SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. ALL COSTS RELATED TO THIS ITEM SHALL BE INCIDENTAL TO THE WORK AND NO EXTRA PAYMENT SHALL BE MADE TO THE CONTRACTOR.
19. CONTRACTOR SHALL REPAIR ANY EXISTING STRUCTURE OR UTILITY DAMAGED DURING THE EXECUTION OF THE PROJECT, AT NO ADDITIONAL COSTS TO THE OWNER.
20. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF MATERIALS AND EQUIPMENT PRIOR TO AND AFTER THEIR INSTALLATION AS APPLICABLE, UNTIL THE PROJECT'S FINAL ACCEPTANCE BY THE OWNER.
21. THE CONTRACTOR SHALL PREPARE AND MAINTAIN UP-TO-DATE "AS-BUILT" DRAWINGS AS PER THE CONTRACT DOCUMENTS. UPDATING SUCH DRAWINGS SHALL BE DONE NOT LESS THAN ONCE EVERY WEEK. THE OWNER AND ENGINEER'S PROJECT REPRESENTATIVES SHALL BE ALLOWED TO REVIEW THESE DRAWINGS AT ANY TIME DURING CONSTRUCTION, PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER COMPLETE AS-BUILT DRAWINGS AS PER CONTRACT DOCUMENTS. TWO SETS OF "AS-BUILT DRAWINGS" WILL BE SUBMITTED, UNLESS NOTED OTHERWISE IN CONTRACT DOCUMENTS. ANY EXISTING UTILITIES NOT SHOWN IN THESE DRAWINGS SHALL BE LOCATED AND SHOWN IN AS-BUILT DRAWINGS.
22. CONTRACTOR SHALL SUBMIT ASTM OR AASHTO CERTIFICATES OF MATERIAL'S COMPLIANCE TO THE OWNER'S PROJECT REPRESENTATIVE, NO LESS THAN 5 DAYS PRIOR TO INITIATING ANY WORK INVOLVING SUCH MATERIALS.
23. ANY EXCEPTIONS TO PLACEMENT OR DEPTH OF MATERIALS AND EQUIPMENT MUST BE AUTHORIZED BY THE ENGINEER.
24. TESTING SHALL BE PERFORMED BY THE CONTRACTOR AS PER CONTRACT DOCUMENTS.
25. OVER-EXCAVATION OF TRENCHES SHALL NOT BE PERFORMED UNLESS IT IS DETERMINED TO THE

SATISFACTION OF THE ENGINEER THAT THE SUBSOIL IS NOT SUITABLE FOR PIPE BEDDING AND MUST BE REPLACED WITH IMPORTED FILL. OVER-EXCAVATION PERFORMED UNNECESSARILY BY THE CONTRACTOR SHALL BE REMEDIED WITH CLASSIFIED FILL AND COMPACTION AS REQUIRED BY THE SPECIFICATIONS. NO ADDITIONAL PAYMENT SHALL BE MADE FOR IMPORTED FILL UNDER ANY CIRCUMSTANCES.

26. ALL FINISHED SLOPES (BOTH SIDE-SLOPES AND ALONG THE CENTERLINE) SHALL BE 4:1 OR SHALLOWER.
27. IMPORTED PADDING AND BACK FILL MATERIAL, IF REQUIRED, SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE. SEPARATE PAYMENT WILL NOT BE MADE FOR PADDING AND BACK FILL MATERIAL OR HAUL. ALL PADDING AND BACK FILL MATERIAL OR HAUL SHALL BE CONSIDERED INCIDENTAL TO THE VARIOUS WORK ITEMS. THE CONTRACTOR SHALL SECURE A SUITABLE PADDING AND BACK FILL MATERIAL PIT IF MATERIAL IS REQUIRED TO COMPLETE THE PROJECT.
28. BACK FILL DENSITY TESTS SHALL BE PERFORMED AS PER SPECIFICATIONS. MINIMUM REQUIREMENTS ARE HORIZONTALLY FOR EACH 100 LINEAR FEET OF PIPELINE, OR ANY STRUCTURE THAT REQUIRES COMPACTED FOUNDATION OR CONTROLLED BACK FILL. ADDITIONAL COMPACTION TESTS SHALL ALSO BE TAKEN EVERY 3 VERTICAL FEET OF BACK FILL.
29. CONTRACTOR SHALL WARRANTEE ALL MATERIALS AND LABOR FOR A PERIOD OF NOT LESS THAN 12 MONTHS FROM THE DATE OF FINAL INSPECTION AND ACCEPTANCE OF THE PROJECT.
30. EXISTING SITE CONDITIONS MAY HAVE BEEN ALTERED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MAY NOT BE ACCURATE AT THE TIME OF CONSTRUCTION. FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION
31. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UNDERGROUND UTILITIES AND EQUIPMENT AFFECTING THE WORK UNDER THIS CONTRACT. THE LOCATION OF ALL UTILITIES SHOWN HEREIN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO CONSTRUCTIONS.
32. SHOULD CONFLICTING INFORMATION OR INTERFERENCE WITH EXISTING CONDITIONS APPEAR WITHIN THESE CONSTRUCTION DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR SHALL IMMEDIATELY BRING THAT INFORMATION TO THE ATTENTION OF THE ENGINEER PRIOR TO INSTALLATION OR CONSTRUCTION. FAILURE TO COMPLY SHALL NOT BE THE BASIS FOR EXTRA PAYMENT TO THE CONTRACTOR.
33. ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION AND/OR GRADING.

EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND SHALL BE KEPT IN PLACE UNTIL EROSION AND SEDIMENTATION POTENTIAL IS MITIGATED. REMOVAL OF SILT AND SEDIMENT IS REQUIRED ONCE SILT AND SEDIMENT HAS REACHED HALF THE HEIGHT OF THE SILT FENCE.
2. EROSION CONTROL DEVICES SHALL BE CHECKED AND MAINTAINED PER USEPA REQUIREMENTS AND THE GENERAL CONSTRUCTION PERMIT.

COMPACTION REQUIREMENTS

1. PITRUN - 90% MAX DRY DENSITY PER ASTM D1557
2. SUBGRADE - 95% MAX DRY DENSITY PER ASTM D698
3. BASE COURSE - 95% MAX DRY DENSITY PER ASTM D1557
4. ASPHALT CONCRETE - 93% - 97% MAX DRY DENSITY PER ASTM D2041

BENCHMARK

HORIZONTAL AND VERTICAL CONTROL IS BASED ON NAD83 / NAVD83 CENTRAL ZONE.

CONTROL

THE CONTRACTOR SHALL ESTABLISH AND PRESERVE SECONDARY HORIZONTAL AND VERTICAL CONTROL.

ABBREVIATIONS

ADS	ADVANCE DRAINAGE SYSTEM	PB	POND BOTTOM
BOS	BOTTOM OF SWALE	PC	POINT OF CURVATURE
BW	BOTTOM WALL	PT	POINT OF TANGENT
CONC	CONCRETE	PVC	POLYVINYL CHLORIDE PIPE
CL	CENTERLINE	RT	RIGHT
EL	ELEVATION	ROW	RIGHT OF WAY
EOA	EDGE OF ASPHALT	SD	STORM DRAIN
EOC	EDGE OF CONCRETE	SF	SEPTIC FIELD
EXIST	EXISTING	SL	SILT FENCE
ESMT	EASEMENT	SSMH	SANITARY SEWER MANHOLE
FF	FINISH FLOOR	ST	SEPTIC TANK
FL	FLOWLINE	STCMP	STORMWATER CMP
GB	GRADE BREAK	SW	SIDEWALK
GV	GATE VALVE	TA	TOP ASPHALT
HDPE	HIGH DENSITY POLYETHYLENE	TBC	TOP BACK CURB
HP	HIGH POINT	TOC	TOP OF CONCRETE
INV	INVERT	TOP	TOP OF RAMP
LF	LINEAR FEET	TOS	TOP OF SWALE
LT	LEFT	TOP	TOP OF PIPE
ME	MATCH EXISTING	TW	TOP WALL
MIN	MINIMUM	VG	VALLEY GUTTER
NTS	NOT TO SCALE		

ENVIRONMENTAL NOTES

1. CONTRACTOR SHALL COMPLY WITH ALL ENVIRONMENTAL REQUIREMENTS IMPOSED BY THE NEW MEXICO ENVIRONMENT DEPARTMENT (NMED) AND ANY OTHER AGENCY WITH JURISDICTION OVER THE PROJECT AREA.
2. ALL WORK IN THE VICINITY OF LIVE STREAMS, WATER IMPOUNDMENTS, WETLANDS OR IRRIGATION SUPPLIES SHALL BE EFFECTED IN SUCH A MANNER AS TO MINIMIZE VEGETATION REMOVAL, SOIL DISTURBANCE AND EROSION. CROSSINGS OF LIVE STREAMS WITH HEAVY EQUIPMENT SHALL BE MINIMIZED, AS DETERMINED BY THE PROJECT MANAGER. EQUIPMENT REFUELING, MAINTENANCE AND CEMENT DUMPING IN THE VICINITY OF WATER COURSES IS STRICTLY PROHIBITED AND SHALL BE PERFORMED IN PROPER CONTAINMENT AREAS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING AND CLEANUP OF SPILLS ASSOCIATED WITH PROJECT CONSTRUCTION AND SHALL REPORT AND RESPOND TO SPILLS OF HAZARDOUS MATERIALS SUCH AS GASOLINE, DIESEL, MOTOR OILS, SOLVENTS, CHEMICALS, TOXIC AND CORROSIVE SUBSTANCES, AND OTHER MATERIALS WHICH MAY BE A THREAT TO PUBLIC HEALTH OR THE ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING PAST SPILLS ENCOUNTERED DURING CONSTRUCTION AND OF CURRENT SPILLS NOT ASSOCIATED WITH CONSTRUCTION. REPORTS SHALL BE MADE IMMEDIATELY TO THE NM ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE TEAM AT (505) 827-4308 OR (505) 470-3657 AND TO THE PROJECT ENGINEER. ANY UNREPORTED SPILLS IDENTIFIED AFTER CONSTRUCTION AND THE ASSOCIATED CLEANUP COSTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. IN THE EVENT THAT THE CONTRACTOR ENCOUNTERS ITEMS OF HISTORICAL IMPORTANCE, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY AND WORK IN THE AREA SHALL IMMEDIATELY CEASE UNTIL THE SITE CAN BE PROPERLY CLEARED.
5. ARCHAEOLOGICAL DISCOVERY: NO ARCHAEOLOGICAL SITES ARE TO BE EXCAVATED OR OTHERWISE DISTURBED. THE CONTRACTOR SHALL CONFINE ALL CONSTRUCTION-RELATED ACTIVITIES TO AREAS THAT HAVE RECEIVED PRIOR ARCHAEOLOGICAL CLEARANCE, AS INDICATED BY THE ENGINEER. IF A PREVIOUSLY UNIDENTIFIED ARCHAEOLOGICAL SITE IS DISCOVERED WITHIN THE APPROVED CONSTRUCTION RIGHT-OF-WAY, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THAT AREA AND NOTIFY THE ENGINEER. THE CONTRACTOR SHOULD BE AWARE OF HIS/HER RESPONSIBILITIES UNDER THE HISTORIC PRESERVATION ACT OF 1966.

EMERGENCY CONTACT NUMBERS

FIRE/POLICE/AMBULANCE 911

SPECIFICATIONS

1. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION

LEGEND

EXISTING IMPROVEMENTS

	PROPERTY BOUNDARY
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	CONTOUR LINES, 1 FT. INTERVALS
	OVERHEAD TELEPHONE LINE
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRICAL LINE
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND SANITARY SEWER LINE
	UNDERGROUND GAS LINE
	UNDERGROUND WATER LINE
	CHAINLINK FENCE
	BLOCK WALL
	BUILDING SET BACK LINE
	EXISTING BUILDING
	CONTROL PONTS
	WATER MANHOLE
	FIRE HYDRANT
	SPIGOT
	CLEAN OUT

EXISTING IMPROVEMENTS

	WATER METER
	GAS METER
	FIBER OPTIC PULLBOX
	POWER POLE
	TRAFFIC SIGNAL PULLBOX
	ELECTRIC METER
	GUY WIRE
	SANITARY SEWER MANHOLE
	TREE
	WATER VALVE
	GAS VALVE
	TELEPHONE PEDESTAL
	BOLLARD
	SIGN
	FOUND MONUMENT AS NOTED
	SET #4 REBAR WITH CAP STAMPED PS 23200
	MAILBOX
	LIFT STATION
	HOT BOX
	INDUSTRIAL SAMPLING CLEANOUT
	CABLE TV PEDESTAL
	STREET LIGHT

PROPOSED IMPROVEMENTS

	SWALE FLOW
	DEMOLITION LIMITS
	PROPOSED TOPO MAJOR, 5' INTERVAL
	PROPOSED TOPO MINOR, 1' INTERVAL
	PROPOSED BLOCK WALL
	PROPOSED CHAINLINK FENCE
	WATERLINE
	SEWER LINE
	GAS LINE
	DRAINAGE FLOW DIRECTION
	FIRE HYDRANT ASSY.
	CAP & THRUST BLOCK
	SANITARY SEWER/DRAINAGE CLEANOUT
	SANITARY MANHOLE
	WATER METER
	GAS METER
	WATER VALVE
	GAS VALVE
	SIGN

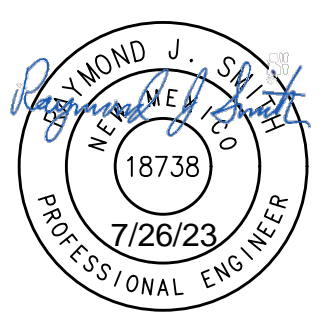
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www.soudermiller.com

TOWN: ALBUQUERQUE

CLIENT: PALADIN LLC

PALADIN SELF STORAGE  
ALBUQUERQUE, NEW MEXICO  
GENERAL NOTES, LEGEND AND  
ABBREVIATIONS



THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed: SMA Drawn: CLW Checked: RJS

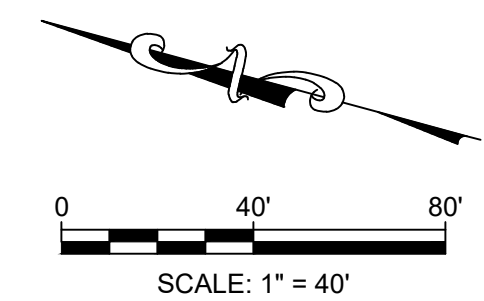
Date: July 2023

Scale: Horiz: Vert:

Project No: 9432190

Sheet: G-2

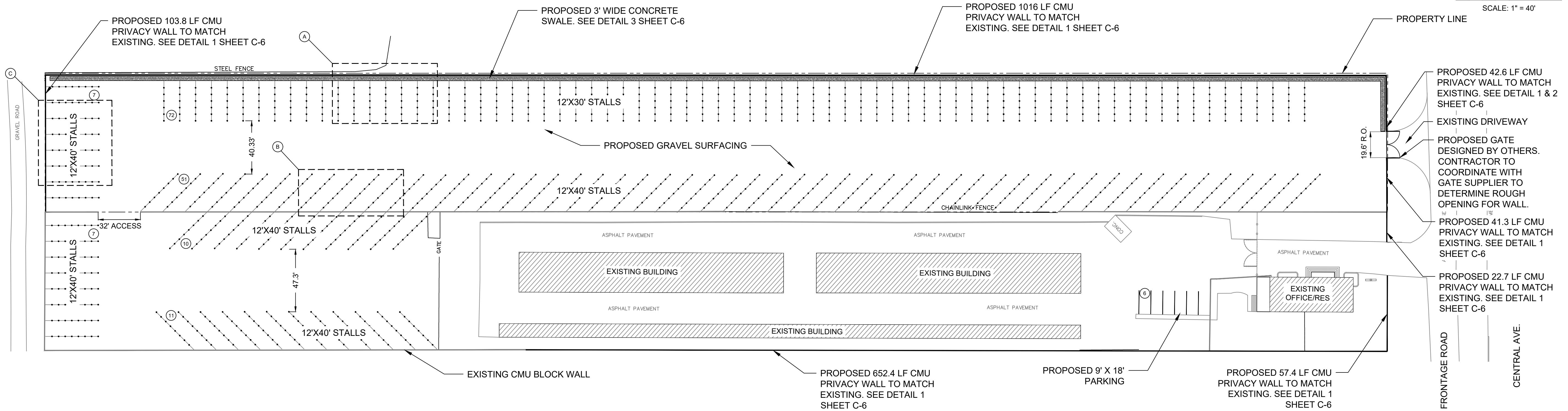




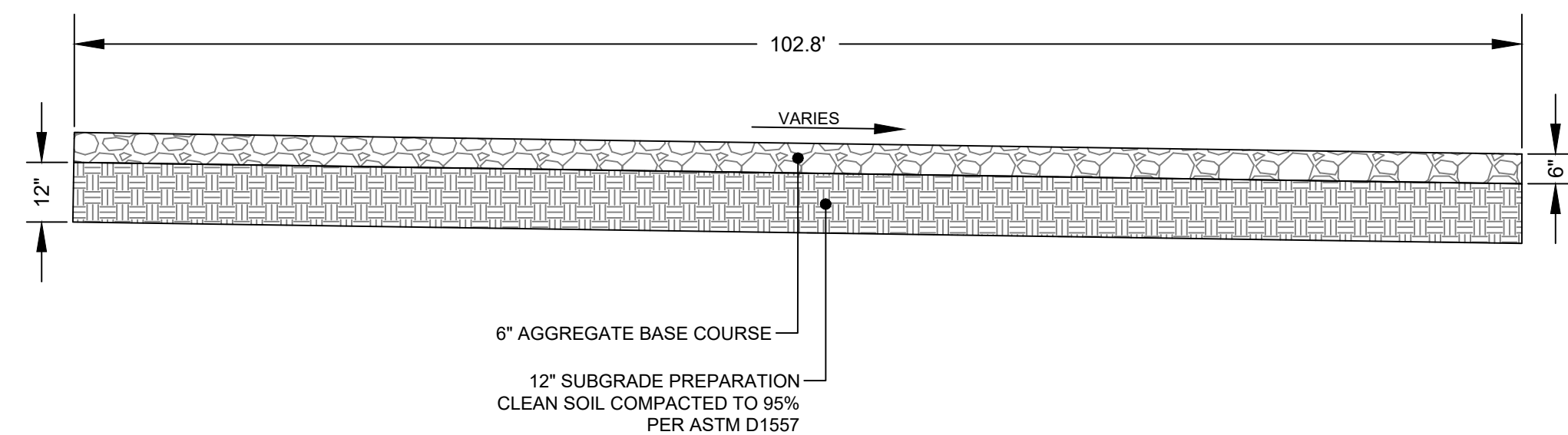
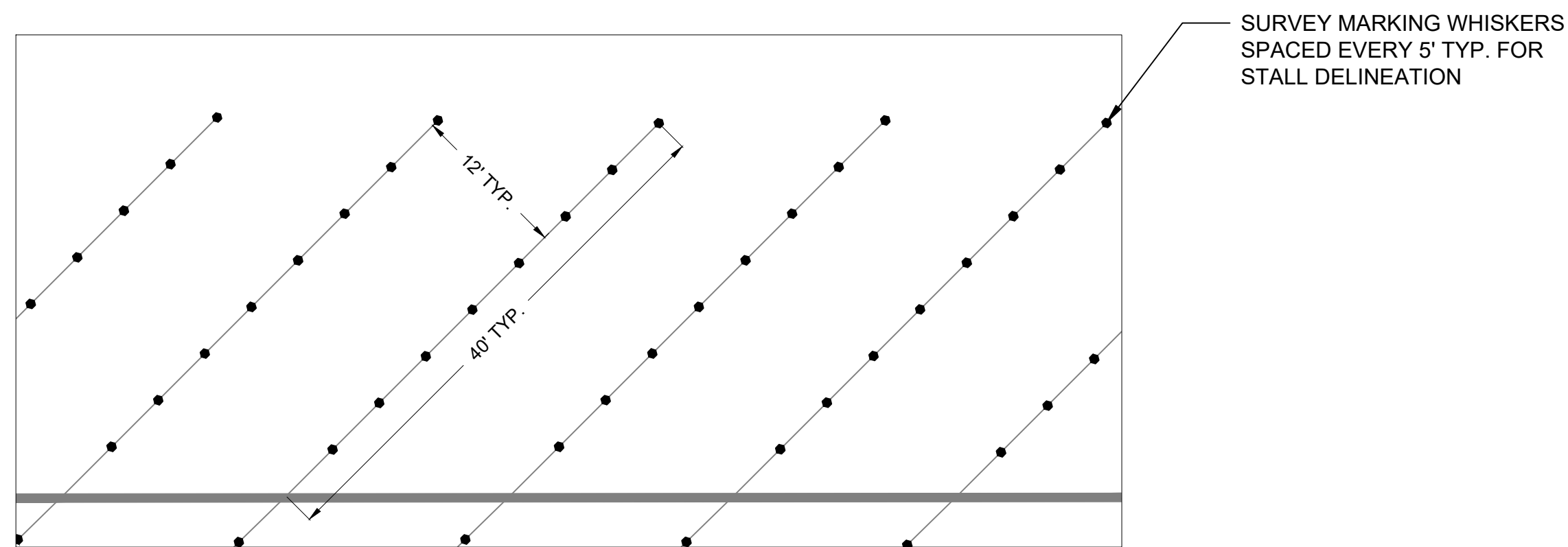
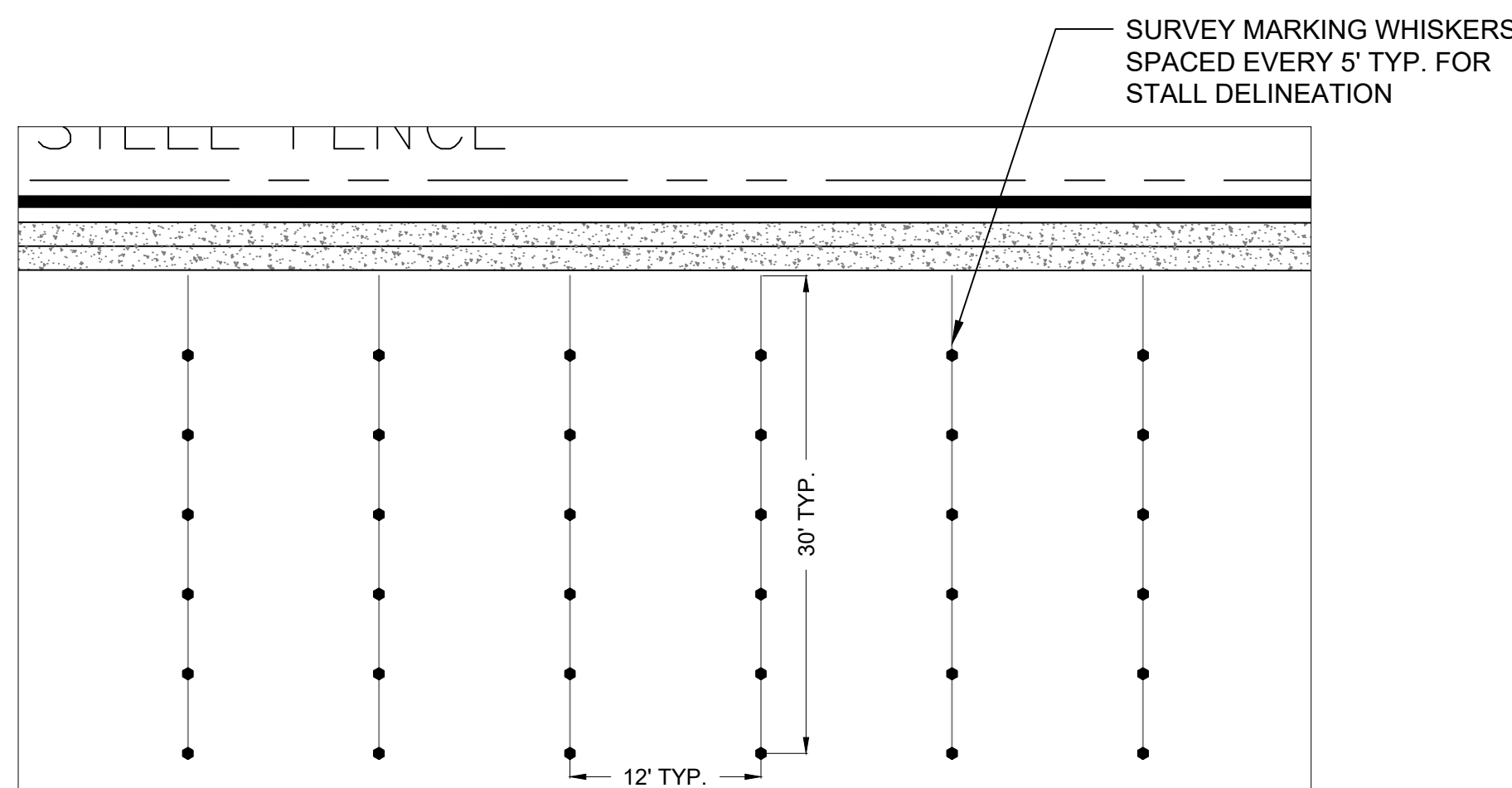
New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

RAYMOND J. SMITH  
NEW MEXICO  
18738  
7/26/23  
PROFESSIONAL ENGINEER

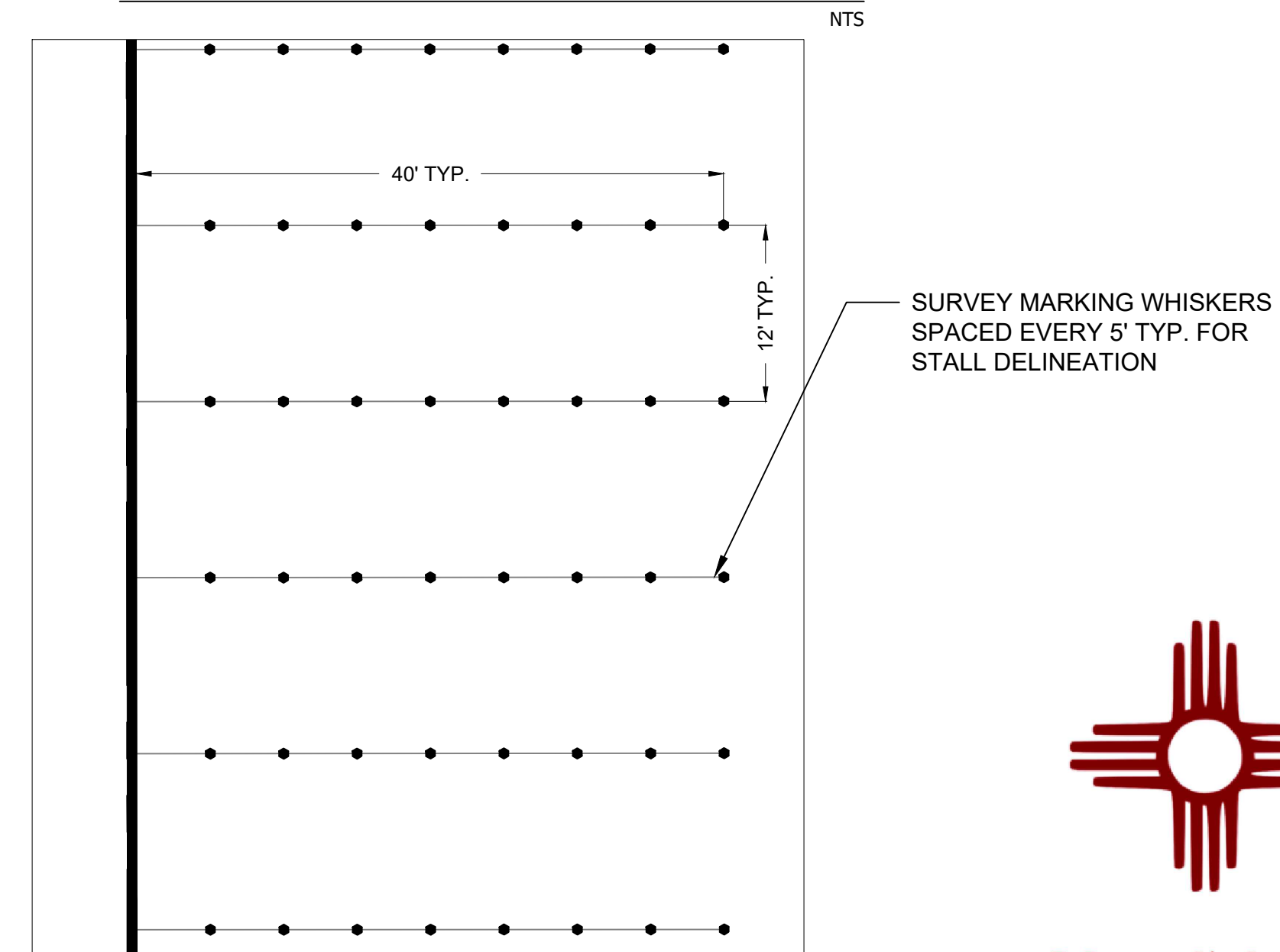
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SITE PLAN



TYPICAL GRAVELED PAVEMENT SECTION

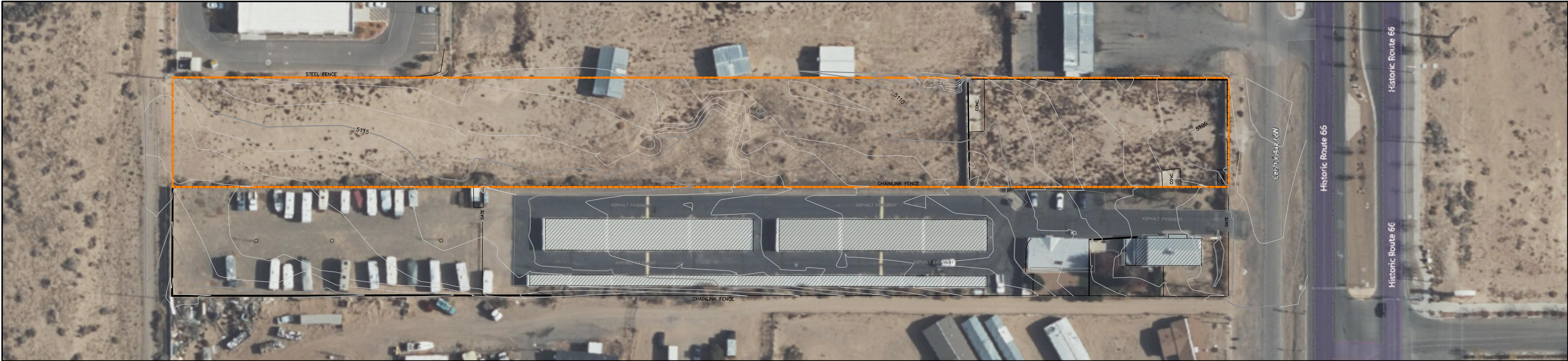


To Request a Line Locate Dial 811

New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

By: CJK	
Description:	
Rev #	Date
<p><b>SOUDER, MILLER &amp; ASSOCIATES</b>          Engineering • Environmental • Geomatics          Serving the Southwest &amp; Rocky Mountains          5454 Venice Avenue NE, Suite D          Albuquerque, NM 87113          Phone (505) 299-0942 Fax (505) 293-3430          www.soudermiller.com</p>	
TOWN: ALBUQUERQUE	CLIENT: PALADIN LLC
<p><b>PALADIN SELF STORAGE</b>          ALBUQUERQUE, NEW MEXICO          SITE PLAN</p>	
<p>ALBUQUERQUE, NEW MEXICO          18738          7/26/23          PROFESSIONAL ENGINEER</p>	
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p>	
Designed: SMA	Drawn: CLW
Checked: RJS	
Date: July 2023	
Scale: Horiz:	Vert:
Project No:	9432190
Sheet:	C-2





CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM)  
PROCEDURE FOR 40 ACRE AND SMALLER BASINS

THE PRIMARY METHOD FOR HYDROLOGY CALCULATIONS IN THE DPM IS BASED ON THE ARID-LANDS HYDROLOGIC MODEL (AHYMO) CALCULATIONS. A SIMPLIFIED PROCEDURE FOR PROJECTS WITH BASINS SMALLER THAN 40 ACRES HAS BEEN DEVELOPED BASED ON INITIAL ABSTRACTION/UNIFORM INFILTRATION PRECIPITATION LOSSES AND RATIONAL METHOD PROCEDURES.

PRECIPITATION ZONES: SECTION 6-2(A)(1)

BERNALILLO COUNTY WITHIN CITY LIMITS HAS BEEN DIVIDED INTO 4 PRECIPITATION ZONES THAT CAN BE REVIEWED IN SECTION 6-2(A)(1). DPM IS BASED ON NATIONAL OCEANIC AND ATMOSPHERIC AGENCY (NOAA) ATLAS 14 PRECIPITATION DATA. FOR THE PROJECT SITE, ZONE 2 HAS BEEN SELECTED FOR LOCATIONS "BETWEEN THE RIO GRANDE AND SAN MATEO" AN EXCERPT OF PRECIPITATION DATA FROM TABLE 6.2.8 FOR ZONE 1 FOR THE 100-YEAR STORM EVENT IS INCLUDED BELOW:

PRECIPITATION FOR ZONE 1: 100-YEAR STORM EVENT												
	5	10	12	15	30	60	2	3	6	24	4	10
	MIN	MIN	MIN	MIN	MIN	MIN	HR	HR	HR	HR	DAY	DAY
DEPTH (IN)	0.538	0.819		1.020	1.370	1.690	1.920	2.000	2.170	2.490	3.120	3.900
INTENSITY (IN/HR)	6.46	4.91	4.58	4.08	2.74	1.69	0.96	0.67	0.36	0.10	0.03	0.02

FROM DPM TABLE 6.2.8

LAND TREATMENTS: SECTION6-2(A)(2)

LAND AREAS ARE DESCRIBED BY ONE OF FOUR BASIC LAND TREATMENTS OR BY A COMBINATION OF THE FOUR LAND TREATMENTS. LAND TREATMENTS CAN BE REVIEWED IN TABLE 6.2.9.

LAND TREATMENTS IN PROJECT SITE					
BASIN	AREA	LAND TREATMENT A (ACRES)	LAND TREATMENT B (ACRES)	LAND TREATMENT C (ACRES)	LAND TREATMENT D (ACRES)
SITE (HISTORIC)	2.45	2.45	0.00	0.00	0.00

FROM TABLE 6.2.9 IN DPM

ABSTRACTIONS: SECTION 6-2(A)(3)

INITIAL ABSTRACTION IS THE PRECIPITATION DEPTH THAT MUST BE EXCEEDED BEFORE DIRECT RUNOFF BEGINS. INITIAL ABSTRACTION MAY BE INTERCEPTED BY VEGETATION, RETAINED IN SURFACE DEPRESSIONS, OR ABSORBED ON THE WATERSHED SURFACE.

ABSTRACTION IN PROJECT SITE BY LAND TREATMENT					
BASIN	ABSTRACTION FOR TREATMENT A	ABSTRACTION FOR TREATMENT B	ABSTRACTION FOR TREATMENT C	ABSTRACTION FOR TREATMENT D	WEIGHTED INITIAL ABSTRACTION (IN)
SITE (HISTORIC)	0.65	0.00	0.00	0.00	0.65

FROM TABLE 6.2.11 IN DPM

EXCESS PRECIPITATION AND VOLUMETRIC RUNOFF: SECTION 6-2(A)(4)

EXCESS PRECIPITATION, E, IS THE DEPTH OF PRECIPITATION REMAINING AFTER ABSTRACTIONS ARE REMOVED. EXCESS PRECIPITATION DOES NOT DEPEND ON WATERSHED AREA. EXCESS PRECIPITATION IS DETERMINED BY SUBTRACTING THE INITIAL ABSTRACTION AND INFILTRATION FROM THE DESIGN STORM HYDROGRAPH.

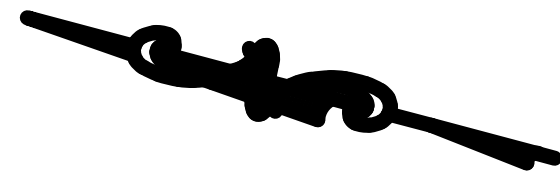
HISTORIC VOLUMETRIC RUNOFF PER EQUATION 6.2 = 7,737 CU-FT

EXCESS PRECIPITATION IN PROJECT SITE BY LAND TREATMENT					
BASIN	EXCESS PRECIPITATION TREATMENT A	EXCESS PRECIPITATION TREATMENT B	EXCESS PRECIPITATION TREATMENT C	EXCESS PRECIPITATION TREATMENT D	WEIGHTED EXCESS PRECIPITATION (IN)
SITE (HISTORIC)	0.55	0.00	0.00	0.00	0.55

FROM TABLE 6.2.13 IN DPM

PEAK DISCHARGE RATE FOR SMALL WATERSHEDS: SECTION6-2(A)(5)  
PEAK DISCHARGE RATES ARE GIVEN IN TABLE 6.2.14 FOR SMALL WATERSHEDS, LESS THAN OR EQUAL TO 40 ACRES, WHERE THE TIME OF CONCENTRATION IS ASSUMED TO BE 12 MINUTES.

HISTORIC PEAK DISCHARGE RATE PER EQUATION 6.6 = 3.77 CFS



### GENERAL LEGEND

- PROPERTY LINE
- - - PRE-DEVELOPMENT BASIN BOUNDARY
- MAJOR CONTOUR (5' INTERVAL)



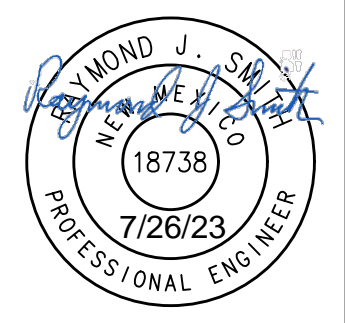
To Request a Line Locate Dial 811

New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

Rev #	Date	Description	By	CHKD

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TOWN: ALBUQUERQUE  
CLIENT: PALADIN LLC  
PALADIN SELF STORAGE  
ALBUQUERQUE, NEW MEXICO  
EXISTING DRAINAGE PLAN



THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed SMA	Drawn CLW	Checked RJS
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Date: July 2023

Scale: Horiz:  
Vert:

Project No: 9432190

Sheet:

C-3





CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM)  
PROCEDURE FOR 40 ACRE AND SMALLER BASINS

THE PRIMARY METHOD FOR HYDROLOGY CALCULATIONS IN THE DPM IS BASED ON THE ARID-LANDS HYDROLOGIC MODEL (AHYMO) CALCULATIONS. A SIMPLIFIED PROCEDURE FOR PROJECTS WITH BASINS SMALLER THAN 40 ACRES HAS BEEN DEVELOPED BASED ON INITIAL ABSTRACTION/UNIFORM INFILTRATION PRECIPITATION LOSSES AND RATIONAL METHOD PROCEDURES.

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FROM DPM TABLE 6.2.8

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LAND TREATMENTS IN PROJECT SITE					
BASIN ID	AREA (ACRES)	LAND TREATMENT A (ACRES)	LAND TREATMENT B (ACRES)	LAND TREATMENT C (ACRES)	LAND TREATMENT D (ACRES)
BASIN 1	2.45	0.00	0.00	2.45	0.00

FROM TABLE 6.2.9 IN DPM

## ABSTRACTIONS: SECTION 6-2(A)(3)

INITIAL ABSTRACTION IS THE PRECIPITATION DEPTH THAT MUST BE EXCEEDED BEFORE DIRECT RUNOFF BEGINS. INITIAL ABSTRACTION MAY BE INTERCEPTED BY VEGETATION, RETAINED IN SURFACE DEPRESSIONS, OR ABSORBED ON THE WATERSHED SURFACE.

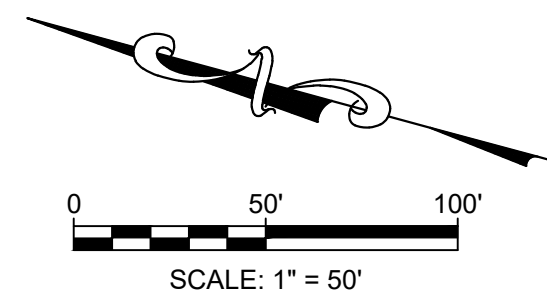
ABSTRACTION IN PROJECT SITE BY LAND TREATMENT					
BASIN ID	ABSTRACTION FOR TREATMENT A	ABSTRACTION FOR TREATMENT B	ABSTRACTION FOR TREATMENT C	ABSTRACTION FOR TREATMENT D	WEIGHTED INITIAL ABSTRACTION (IN)
BASIN 1	0.00	0.00	0.35	0.00	0.35

FROM TABLE 6.2.11 IN DPM

EXCESS PRECIPITATION AND VOLUMETRIC RUNOFF: SECTION 6-2(A)(4)

EXCESS PRECIPITATION, E, IS THE DEPTH OF PRECIPITATION REMAINING AFTER ABSTRACTIONS ARE REMOVED. EXCESS PRECIPITATION DOES NOT DEPEND ON WATERSHED AREA. EXCESS PRECIPITATION IS DETERMINED BY SUBTRACTING THE INITIAL ABSTRACTION AND INFILTRATION FROM THE DESIGN STORM HYDROGRAPH.

EXCESS PRECIPITATION IN PROJECT SITE BY LAND TREATMENT					
BASIN ID	EXCESS PRECIPITATION TREATMENT A	EXCESS PRECIPITATION TREATMENT B	EXCESS PRECIPITATION TREATMENT C	EXCESS PRECIPITATION TREATMENT D	WEIGHTED EXCESS PRECIPITATION (IN)
BASIN 1	0.00	0.00	0.95	0.00	0.95
FROM TABLE 6.2.13 IN DPM					



**DEVELOPED VOLUMETRIC RUNOFF PER EQUATION 6.2**  
**BASIN 1 = 11,117 CU-FT**

PEAK DISCHARGE RATE FOR SMALL WATERSHEDS: SECTION 6-2(A)(5)

PEAK DISCHARGE RATES ARE GIVEN IN TABLE 6.2.14 FOR SMALL WATERSHEDS, LESS THAN OR EQUAL TO 40 ACRES, WHERE THE TIME OF CONCENTRATION IS ASSUMED TO BE 12 MINUTES.

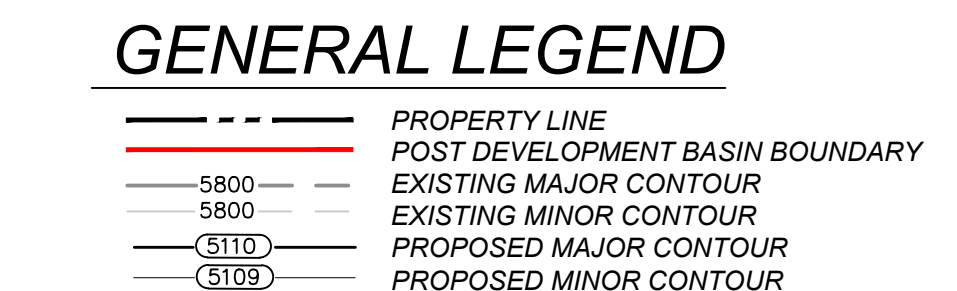
**DEVELOPED PEAK DISCHARGE RATE PER EQUATION 6.6**  
**BASIN 1 = 7.47 CFS**

STORM WATER QUALITY VOLUME  
TO CALCULATE THE REQUIRED SWQV, THE IMPERVIOUS AREA IS MULTIPLIED BY 0.615" FOR NEW DEVELOPMENT OR 0.26" FOR REDEVELOPMENT SITES.

$$(0.00 \text{ AC} * 43,560 \text{ FT} / \text{AC}) * (0.615 \text{ IN} * 1 \text{ FT} / 12 \text{ IN}) = 0.00 \text{ CU-FT}$$

REQUIRED VOLUME TO BE RETAINED IN BMP: 0.00 CU-FT  
PROVIDED PROPOSED POND VOLUME TO BE RETAINED IN BMP: 0.00 CU-FT

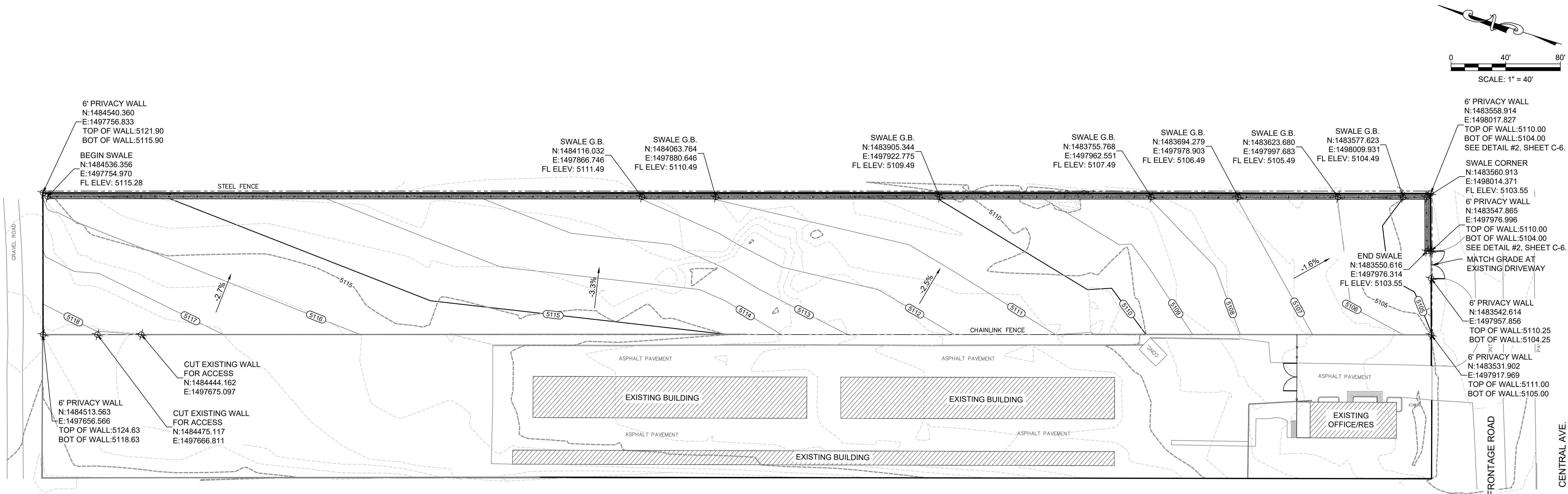
Hydrologic Results Summary				
	Historic Basin 1 100-yr 24-hr	Developed Basin 1 100-yr 24-hr		Site Provided
Calculated Volume (cu.ft.)	7,737	11,117	Site Detention/Retention Volume (cu.ft.)	0.00
Calculated Peak Discharge (cfs)	3.77	7.47	Site Discharge (cfs)	3.6



**To Request a Line Locate Dial 811**

New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.





GRADING PLAN

LEGEND

- PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR



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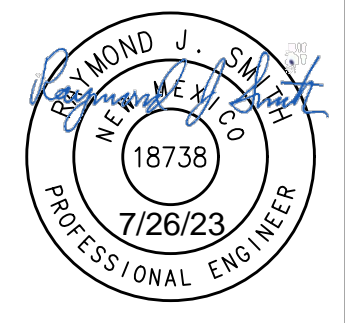
Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
FG Volume	1.000	1.200	104820.17 Sq. Ft.	747.56 Cu. Yd.	1030.51 Cu. Yd.	282.95 Cu. Yd.<Fill>
Totals			104820.17 Sq. Ft.	747.56 Cu. Yd.	1030.51 Cu. Yd.	282.95 Cu. Yd.<Fill>

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www.soudermiller.com

CLIENT: PALADIN LLC  
TOWN: ALBUQUERQUE  
**PALADIN SELF STORAGE  
ALBUQUERQUE, NEW MEXICO  
PROPOSED GRADING PLAN**

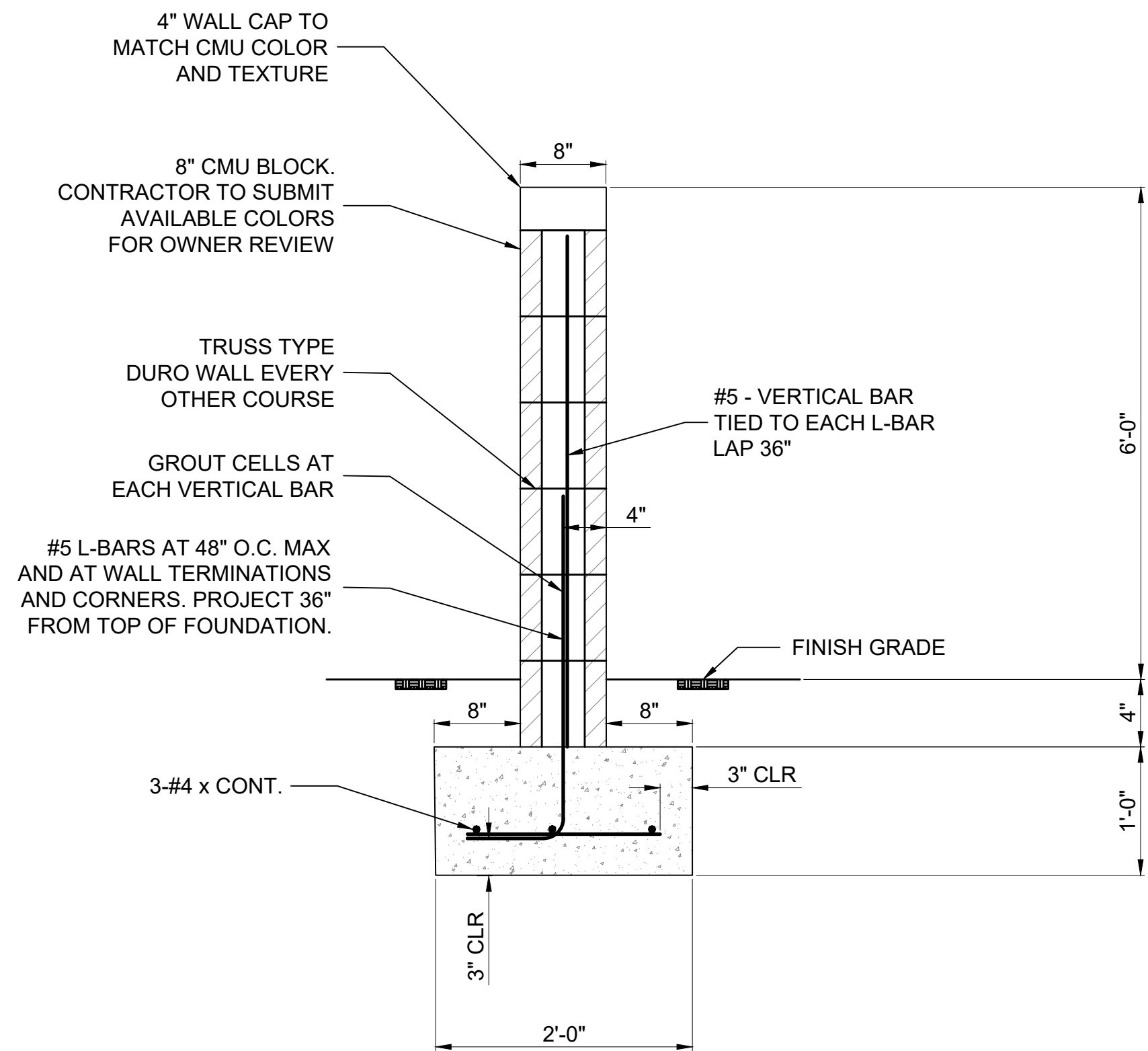


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Designed SMA	Drawn CLW	Checked RJS
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Date: July 2023  
Scale: Horiz: \_\_\_\_\_  
Vert: \_\_\_\_\_  
Project No: **9432190**  
Sheet: **C-5**

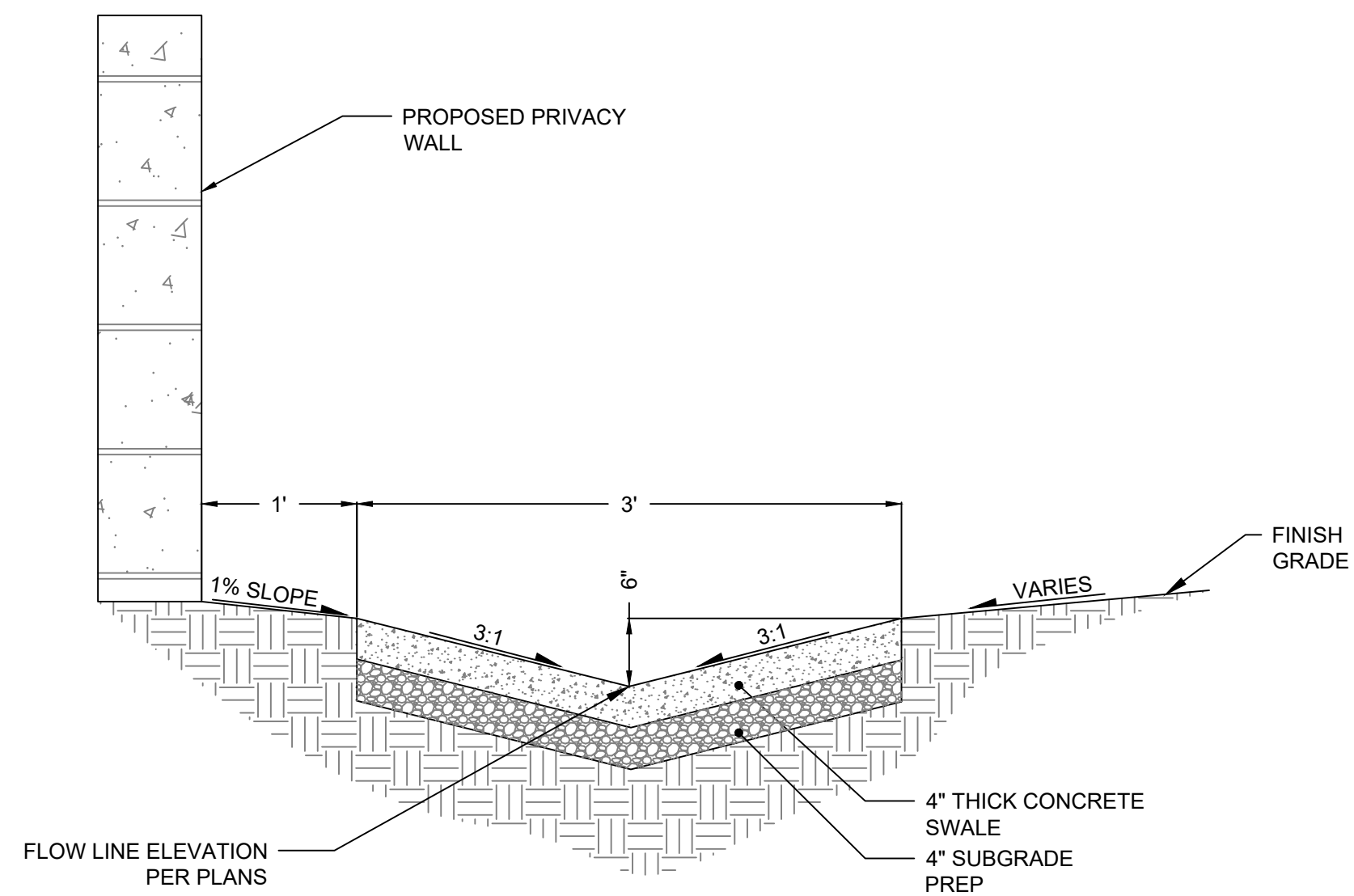




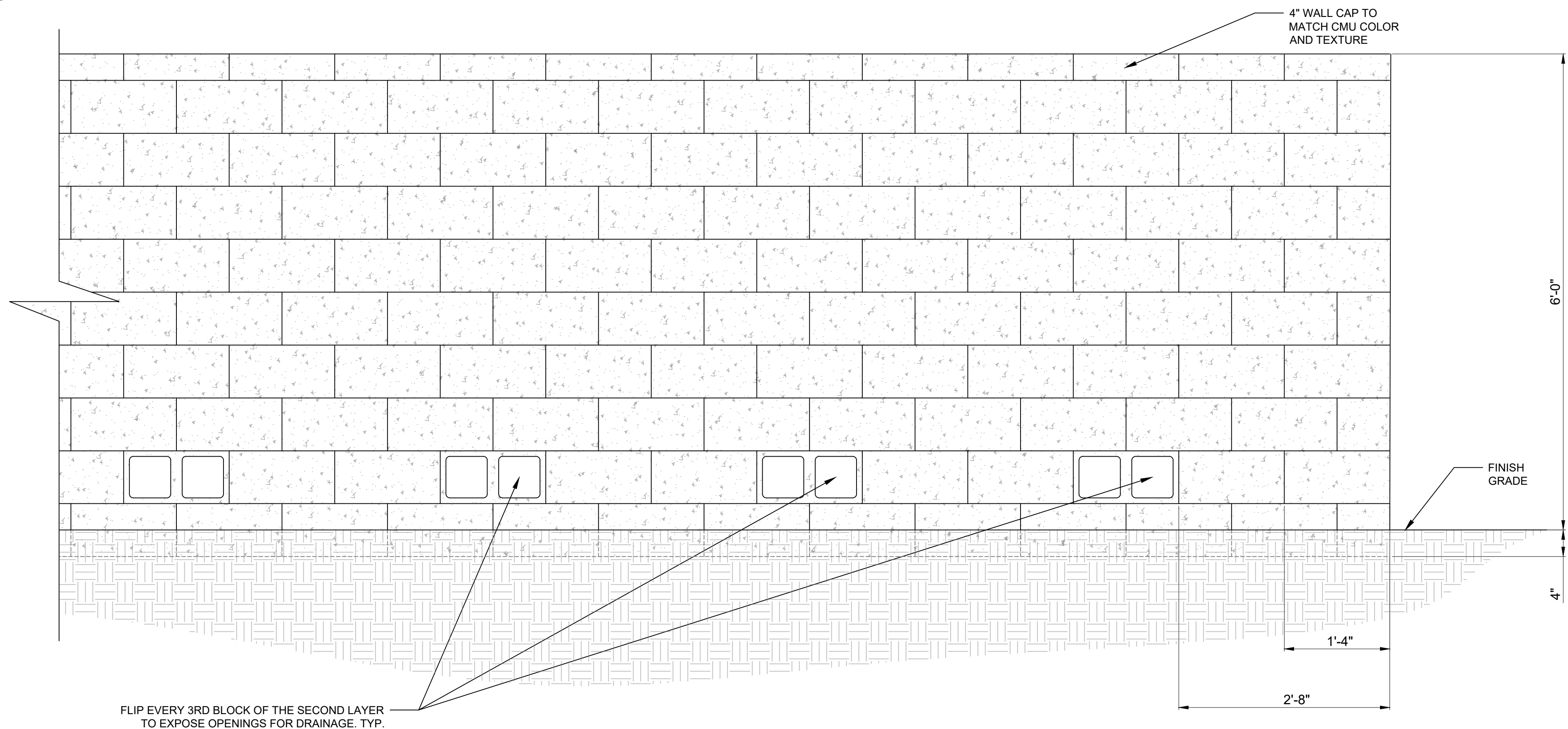
1 CMU PRIVACY WALL DETAIL  
SCALE: NTS

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE  $f'_c = 3000$  PSI MIN.
  2. ALL MASONRY IS TO BE  $f'_m = 2000$  PSI MIN.
  3. ALL BARS ARE TO BE GRADE 60, ASTM A615.
  4. MINIMUM COMPACTION UNDER FOOTINGS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE  $\pm 2.0\%$ .
  5. REFERENCE THE PROJECT GEOTECHNICAL REPORT FOR ENGINEERED FILL SPECIFICATIONS.
  6. EXTEND HORIZONTAL CONTINUOUS REBAR IN FOUNDATION AND WALLS THROUGH CORNERS. WHERE BREAKS ARE MADE, PROVIDE 2FT MIN. LAPS.

8 INCH PRIVACY WALL							
MARK	H	A	B	D	T	V-BARS	X-BARS
W1	6'-0"	0'-4"	1'-6"	3'-0"	12"	#4 @ 24" O.C.	#5 @ 12" O.C.



3 CONCRETE SWALE DETAIL  
SCALE: NTS



2 PRIVACY WALL ELEVATION (SOUTH-EAST SEGMENT ONLY)  
SCALE: NTS



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CLIENT: PALADIN LLC  
TOWN: ALBUQUERQUE  
PALADIN SELF STORAGE  
ALBUQUERQUE, NEW MEXICO  
MISCELLANEOUS DETAILS

RAYMOND J. SMA  
NEW MEXICO  
18738  
7/26/23  
PROFESSIONAL ENGINEER

Designed SMA	Drawn CLW	Checked RJS
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