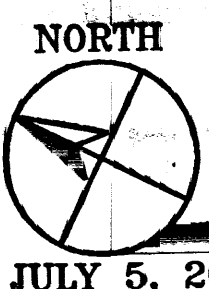
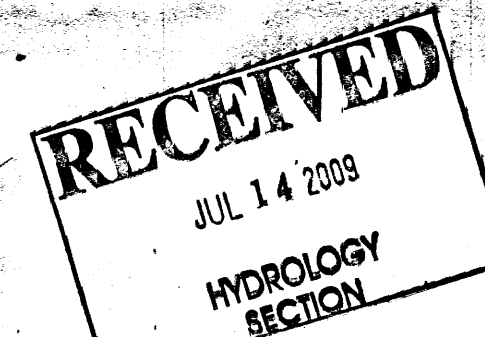


**VICINITY MAP** COA FILE K10/D44 **K-10**

**ADDRESS:**  
7301 BLUEWATER RD, NW  
LOT 14, MERIDIAN BUSINESS PARK

**BENCHMARK:**  
ACS MONUMENT 10-K10 LOCATED AT THE SOUTHEAST CORNER OF UNSER BOULEVARD AND LOS VOLCANES ROAD ELEVATION = 5142.79 FT.

- CONSTRUCTION NOTES**
1. TWO WORKING DAY PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
  2. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARD AND PROCEDURE.
  3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
  4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN THE PLANS AND THOSE OF THE EXISTING SITE.
  5. THE OWNER SHALL VERIFY LOCATIONS OF PONDS WITH GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING WITH ANY CONSTRUCTION WORK ON THIS PROJECT, AND INFORM THE ARCHITECT / ENGINEER OF ANY ADDITIONAL REQUIREMENTS.
  6. CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.

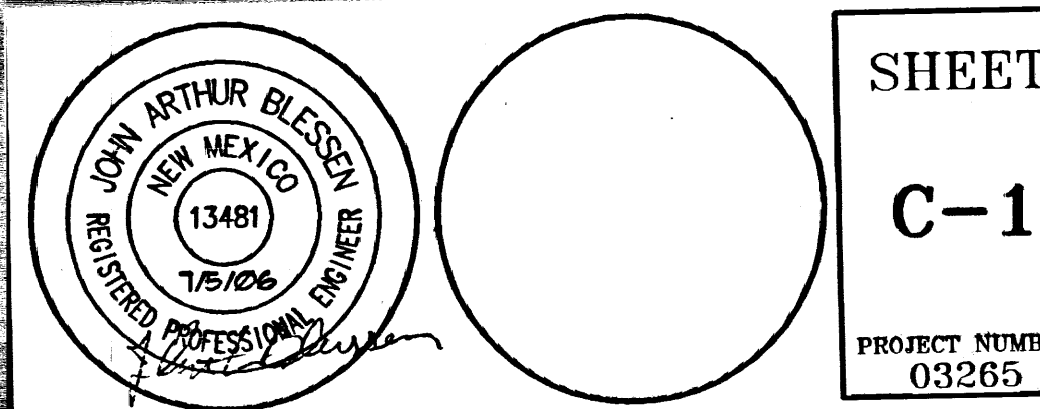


# **BUILDING PERMIT GRADING PLAN**

JULY 5, 2006 1"=30'-0"

**CLAUDIO VIGIL ARCHITECTS**

**OFFICE / WAREHOUSE**  
MERIDIAN LOT 14  
7301 BLUEWATER RD NW  
ALBUQUERQUE, NEW MEXICO



**OWNERSHIP OF INSTRUMENTS OF SERVICE**  
All design concepts, details, plans, specifications, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

1801 Rio Grande NW, #2, Albuquerque, NM 87104  
Phone: 505/842-1113 Fax: 505/842-1330

**SHEET**  
**C-1**  
PROJECT NUMBER 03265

- LEGEND:**
- 51.00 EXISTING SPOT ELEVATION
  - 51 NEW SPOT ELEVATION
  - 51 EXISTING CONTOUR
  - 51 NEW CONTOUR
  - SWALE
  - VERIFIED ELEVATION
  - AS BUILT ELEVATION
  - BASIN BOUNDARY
  - PROPERTY LINE
  - FL FLOW LINE
  - GND GROUND
  - INV INVERT
  - TA TOP OF ASPHALT
  - TC TOP OF CURB
  - TG TOP OF GRATE
  - TS TOP OF CONCRETE SLAB
  - TW TOP OF WALL
  - TBM TEMPORARY BENCH MARK
  - GRAVEL
  - ASPHALT PAVING
  - CONCRETE

John Arthur Blessen  
architect engineer

11530 Menual Suite 109  
Albuquerque, NM 87112  
(505) 293-1477

## **GRADING AND DRAINAGE PLAN - LOT 14**

**DRAINAGE PLAN**  
THE FOLLOWING ITEMS CONCERNING THE LOT-14, MERIDIAN BUSINESS PARK GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. VICINITY MAP
2. GRADING PLAN
3. CALCULATIONS

THE PROPOSED IMPROVEMENTS, AS SHOWN BY THE VICINITY MAP, ARE LOCATED ON THE SOUTH SIDE OF BLUEWATER RD. N.W. THE SITE IS UNDEVELOPED. THE LAND SLOPES FROM WEST TO EAST AT AN APPROXIMATE SLOPE OF 2.0%. THE SITE WAS IN A FLOOD HAZARD ZONE, BUT THE CONSTRUCTION OF THE UNSER DIVERSION CHANNEL REMOVED THE SITE FROM THE FLOOD HAZARD ZONE.

THE MASTER DRAINAGE PLAN FOR THIS SUBDIVISION WAS PREPARED BY EASTERLING AND ASSOCIATES. THE MASTER PLAN ESTABLISHED A DISCHARGE RATE OF 0.10 CFS/ACRE AND REQUIRES TEMPORARY DIVERSION DITCHES AND PONDS TO CONTROL THE RUNOFF BE CONSTRUCTED ON EACH LOT.

THIS SITE IS HIGHER THAN THE LAND TO THE EAST. THE EXISTING STREET TO THE SOUTH PREVENTS OFF SITE FLOWS FROM THAT DIRECTION. THE SITE TO THE NORTH HAS BEEN DEVELOPED. RUNOFF FROM THE UNDEVELOPED LANDS TO THE WEST ARE CONTAINED WITHIN AN EXISTING TEMPORARY DRAINAGE POND, THEREFORE OFFSITE FLOWS ARE NOT CONSIDERED SIGNIFICANT.

- THE GRADING PLAN SHOWS:
1. THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
  2. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
  3. THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
  4. THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

THE PROPOSED IMPROVEMENTS CONSIST OF AN OFFICE / WAREHOUSE WITH THE ASSOCIATED PARKING AND LANDSCAPING. THE SITE IS DIVIDED INTO TWO SUB-BASINS. THE RUNOFF FROM BASIN B1 (THE ROOF AND LOADING DOCK AREAS) WILL BE COMBINED WITH THE RUNOFF FROM LOT 13. THE COMBINED RUNOFF WILL BE STORED IN THE MODIFIED POND A-1. THE RUNOFF FROM BASIN B2 WILL BE STORED IN POND B, ALONG THE EAST PROPERTY LINE.

AS SHOWN BY THE ANALYSIS, THE RATE AND VOLUME OF RUNOFF WILL INCREASE, HOWEVER, THE POND(S) WITH CONTROLLED OUTLETS WILL MITIGATE THE INCREASE. THE TOTAL DISCHARGE FROM LOTS 13 AND 14 IS 0.54 CFS, (0.54/5.17 = 0.1 CFS/ACRE). THIS PLAN IS IN CONFORMANCE WITH THE MASTER DRAINAGE PLAN WHICH LIMITS THE DISCHARGE FROM THE SITE TO 0.1 CFS PER ACRE.

**CALCULATIONS**  
THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II.

PRECIPITATION ZONE = 1  
TOTAL SITE AREA = 2.518 ACRES

**BASIN B2**  
AREA = 0.851 ACRES  
EXISTING CONDITIONS  
LAND TREATMENT A=100%  
E = 0.44(1.00) = 0.44 INCHES  
V = 0.44 (0.851) / 12 = 0.031 ACRE FEET  
Q = 1.29 (1.00) (0.851) = 1.10 CFS

DEVELOPED CONDITIONS  
LAND TREATMENT B=35% D=65%  
E = 0.67 (0.35) + 1.97 (0.65) = 1.52 INCHES  
V = 1.52 (0.851) / 12 = 0.108 ACRE FEET  
Q = [2.03 (0.35) + 4.37 (0.65)] (0.851) = 3.03 CFS  
INCREASE IN VOLUME OF RUNOFF = 0.077 ACRE FT  
INCREASE IN RATE OF RUNOFF = 1.93 CFS

**POND VOLUME FROM BASIN B2**  
DISCHARGE RATE 0.04 CFS  
T = 0.2 HR 0.25 Ad/At = 0.25(0.65) = 0.1625 HR  
T = 2.107 E At/Op - 0.25 Ad/At = 0.736 HR  
T = (0.7 Tc) + ((1.6 - Ad/At)/12) = 0.219 HR  
V = 0.219 (0.04) = 0.0088 ACRE FEET  
V<sub>required</sub> = 4,802 CF

**POND VOLUME POND B2**  
VOLUME @ ELEV 5101.5  
V = [0.5\*(2666+2134)\*0.5\*(0.5\*(2134)+1392+752+298)\*1.0] = 4709 CF

**DISCHARGE PIPE SIZES AT POND B2**  
USE 1" DIA ORIFICE  
Q = 0.60 A [ 2 (32.2) (2.5) ] = .04 CFS

**BASIN B1**  
AREA = 1.667 ACRES  
EXISTING CONDITIONS  
LAND TREATMENT A=100%  
E = 0.44(1.00) = 0.44 INCHES  
V = 0.44 (1.667) / 12 = 0.061 ACRE FEET  
Q = 1.29 (1.00) (1.667) = 2.15 CFS

DEVELOPED CONDITIONS  
LAND TREATMENT B=0% D=100%  
E = 0.67 (0.00) + 1.97 (1.00) = 1.97 INCHES  
V = 1.97 (1.667) / 12 = 0.274 ACRE FEET  
Q = [2.03 (0.00) + 4.37 (1.00)] (1.667) = 7.28 CFS  
INCREASE IN VOLUME OF RUNOFF = 0.213 ACRE FT  
INCREASE IN RATE OF RUNOFF = 5.13 CFS

**ADDITIONAL POND VOLUME FROM BASIN B1**  
T = 0.2 HR 0.25 Ad/At = 0.25(1.00) = 0.25 HR  
T = 2.107 E At/Op - 0.25 Ad/At = 0.700 HR  
T = (0.7 Tc) + ((1.6 - Ad/At)/12) = 0.190 HR  
V = 0.190 (0.213) = 0.0405 ACRE FEET  
V<sub>required</sub> = 12,038 CF  
V<sub>required</sub> = 12,001 CF + 17163 CF = 29,164 CF

**MODIFIED POND VOLUME POND A-1**  
VOLUME @ ELEV 5102.0 (EXISTING WATER LINE)  
V = [0.5\*(48636+9769)\*1.0+0.5\*(9769+18)\*0.5] = 30,749 CF

**DISCHARGE PIPE SIZES AT POND A-1**  
ALLOWABLE = (0.252+0.292) - (0.04+0.11) = 0.39  
Q = 0.39 = 0.60 A [ 2 (32.2) (3.0) ]  
DIA = 3.08 INCHES USE 3" DIA ORIFICE

I, JOHN ARTHUR BLESSEN, NMPE 13481, OF THE FIRM J ARTHUR BLESSEN ENGINEERING, HEREBY CERTIFY THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7/5/06. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENTS HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OR ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

John Arthur Blessen 7-11-09  
J Arthur Blessen, PE  
NM PE# 13481



MERIDIAN PLACE



# PROJECT INFORMATION

**PROJECT:** MERIDIAN BUSINESS PARK LOT 14  
NEW OFFICE WAREHOUSE BUILDING.

**LOCATION:** 1301 BLUEWATER RD NW  
ALBUQUERQUE, NEW MEXICO  
LOCATED BETWEEN AIRPORT ROAD AND  
UNSER BOULEVARD

**OWNER:** G & A LTD. CO.  
1400 MERIDIAN PLACE NW, SUITE D  
ALBUQUERQUE, NEW MEXICO 87121

**ARCHITECT:** CLAUDIO VIGIL ARCHITECTS  
1801 RIO GRANDE BOULEVARD, NW,  
ALBUQUERQUE, NEW MEXICO 87104

**LEGAL DESCRIPTION:** LOT 14, MERIDIAN BUSINESS PARK  
K-10-Z

**ZONING CLASSIFICATION:** IF, INDUSTRIAL PARK ZONE

**BUILDING FUNCTION:** OFFICE WAREHOUSE

**CONSTRUCTION TYPE:** TYPE II-N CONSTRUCTION WITH  
100% AUTOMATIC FIRE SPRINKLER  
SYSTEM

**OCCUPANCY TYPE:** B (OFFICE) / S-1 (WAREHOUSE)

**ALLOWABLE AREA:**  
GROUP B AND S-1 OCCUPANCIES, TYPE II-N CONSTRUCTION,  
ALLOWABLE BASE AREA = 12,000 SF  
ALLOWABLE INCREASE FOR SPRINKLER SYSTEM  
SEPARATION ON 3 SIDE OVER 40 FT 100%  
12,000 SF

**TOTAL BUILDING AREA:** 43,200 SQUARE FEET

**BUILDING HEIGHT:** 32'-0" AFF.

**OCCUPANCY LOAD:** OFFICE = 2,400 SF / 100 = 24  
WAREHOUSE = 48,000 SF / 500 = 96  
TOTAL = 120

**TOTAL LOT AREA:** 109,600 SQUARE FEET, 2.518 ACRES

**NET LOT AREA:** 109,600 - 43,200 = 66,400 SF.

**TOTAL PARKING/PAVED AREA:** 46,825 SF.

**TOTAL LANDSCAPE AREA REQUIRED:** 9,972 SF.

**TOTAL LANDSCAPE AREA PROVIDED:** 14,096 SF.

**LANDSCAPE TO PARKING AREA RATIO:** 0.3 TO 1

**PARKING ANALYSIS:** OFFICE AREA (10%) - 4320/200 = 22 SPACES  
WAREHOUSE AREA - 388800/2000 = 194 SPACES  
TOTAL = 42 SPACES

**TOTAL PARKING SPACES PROVIDED:**  
48 REGULAR 4 HC, 12 SMALL CAR = 64 PARKING SPACES  
(INCLUDES 2 VAN ACCESSIBLE PARKING SPACES)  
TOTAL = 42 SPACES

**PARKING SPACE SIZES:**  
REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0"  
OVERHANG.  
VAN ACCESSIBLE  
HANDICAP PARKING SPACE = 9'-0" x 18'-0" WITH A 2'-0"  
OVERHANG AND A 9'-0"  
WIDE ACCESS STRIP.

**BICYCLE SPACES:**  
REQUIRED PARKING - 64/20 = 32 BICYCLES (4 SPACES)  
TOTAL BICYCLE SPACES PROVIDED = 4 BICYCLE SPACES  
(1 BIKE RACK POSTS AT 4 BICYCLES PER POST)

**SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT  
SITE PLAN**

OCTOBER 3, 2003 1"=30'-0"

**CLAUDIO VIGIL ARCHITECTS**

**OFFICE / WAREHOUSE**

**MERIDIAN LOT 14**

**7301 BLUEWATER RD NW**

**ALBUQUERQUE, NEW MEXICO**

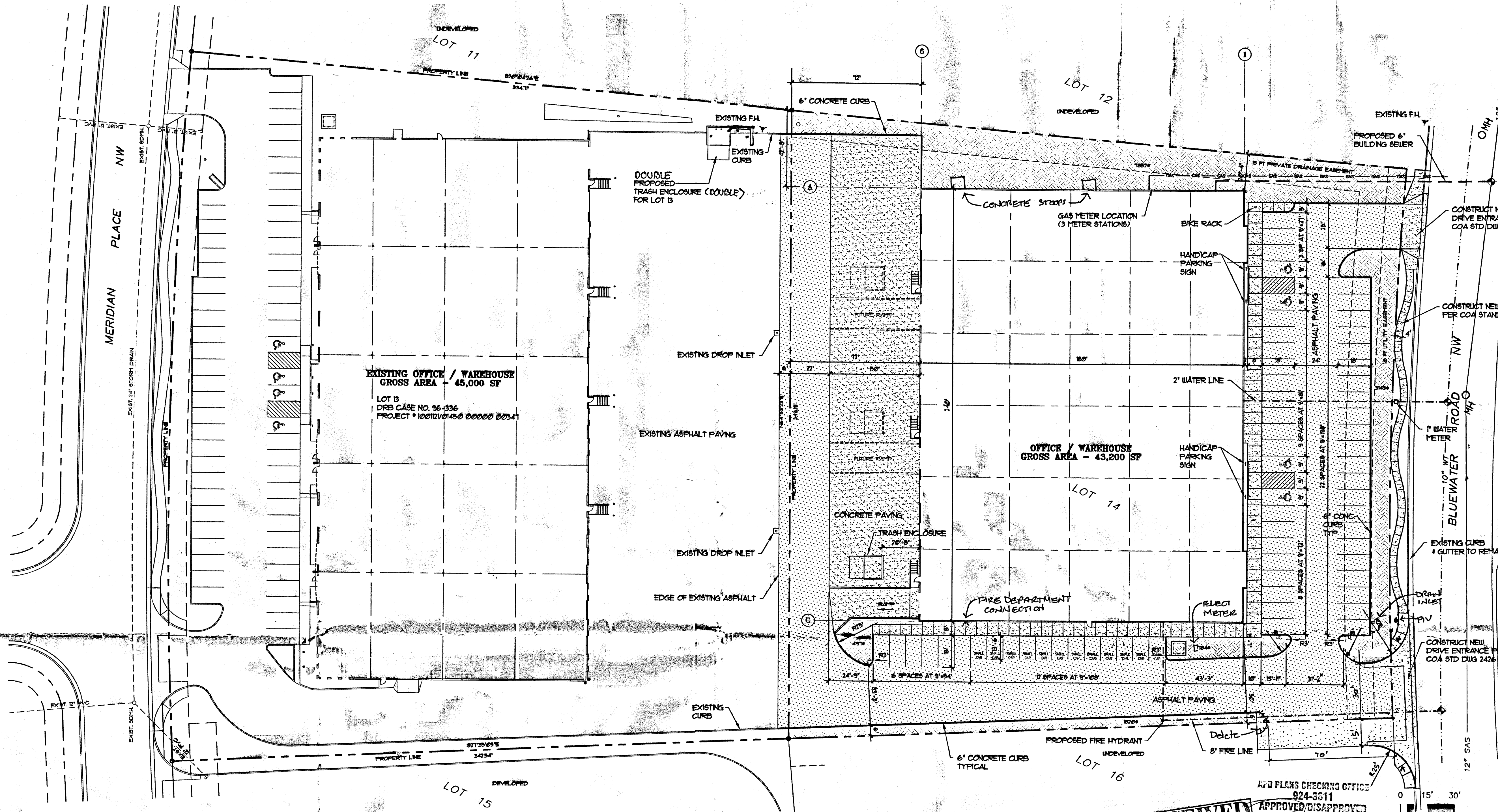
**SHEET  
SP-1**

**PROJECT NUMBER  
03265**

**OWNERSHIP OF INSTRUMENTS OF SERVICE**  
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**Phone: 505/842-1113 Fax: 505/842-1330**



**SITE PLAN LEGEND**

GRAVEL

INDICATES THE EXTENT OF ASPHALT PAVING.  
2" ASPHALT OVER 6" BASE COURSE.

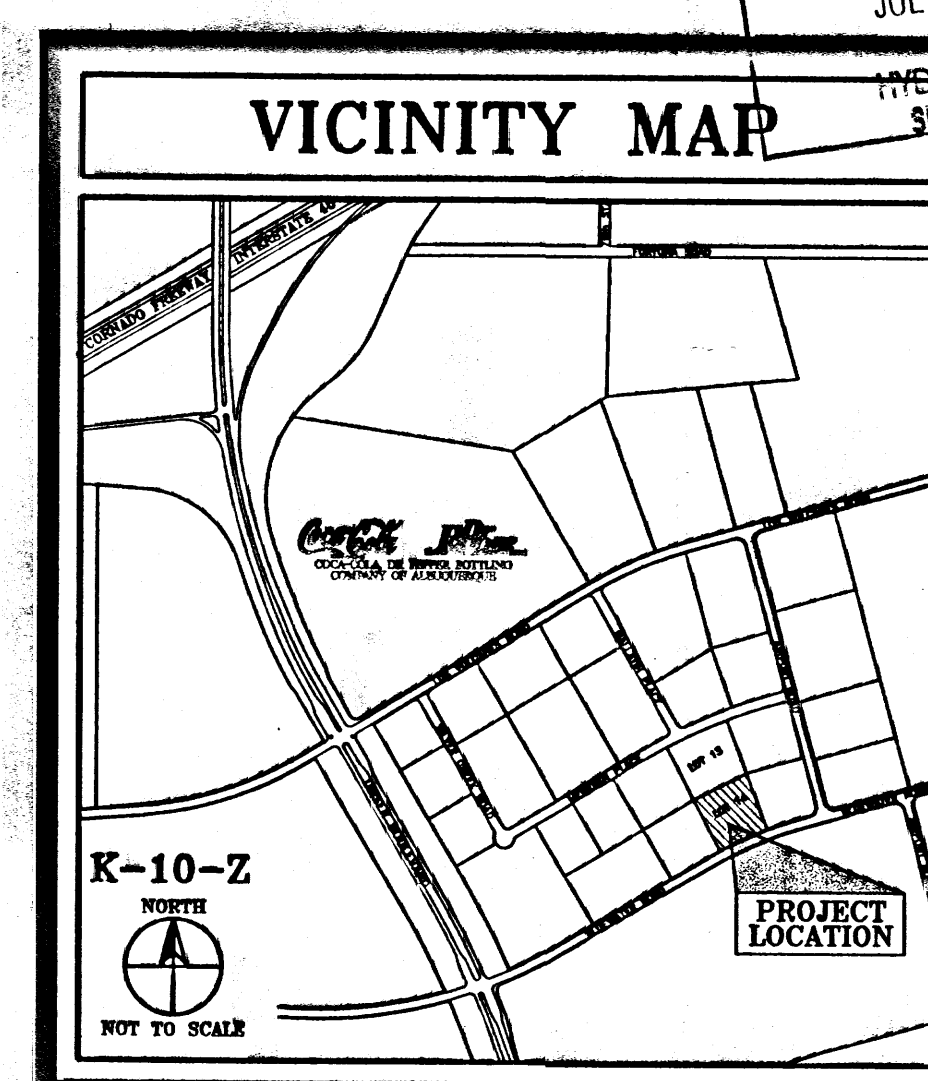
INDICATES THE EXTENT OF CONCRETE PAVING AND  
CONCRETE SIDEWALKS. PROVIDE CONTROL JOINT:  
IN SIDEWALKS 1/4" TOoled JOINTS AT 6 FT ON CENTER  
MAX AND 1/2" EXPANSION JOINT AT 18 FT ON CENTER.  
CONCRETE PAVING: 6" CONCRETE REINFORCED WITH  
WUP 6x6-6x6. CONTROL JOINTS: TOoled JOINTS AT 10 FT  
ON CENTER AND 1/2" EXPANSION JOINTS AT 30 FT ON  
CENTER.

INDICATES THE EXTENT OF LANDSCAPED AREA.

PROPERTY LINE.

EASEMENT BOUNDARIES.

FIRE HYDRANT



**SIGNATURE BLOCK**

E.P.C. CASE NO. 2-2-21  
D.R.B. CASE NO. 1003025

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT  
PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION  
(EPC) ON 10/15/03 AND THAT THE FINDINGS  
AND CONDITIONS IN THE OFFICIAL NOTICE: NOTIFICATION OF  
DECISION HAVE BEEN COMPLIED WITH:

**SITE DEVELOPMENT PLAN**

*Christina Sandoval* 11/3/03  
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

*Roger A. Sandoval* 10/15/03  
PARKS & RECREATION DEPARTMENT DATE

*Calvin A. Montoya* 10-15-03  
PUBLIC WORKS, WATER UTILITIES DIVISION DATE

*Michael Holter* 10-6-03  
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA DATE

SOLID WASTE DEPARTMENT / REFUSE DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY  
THE DEVELOPMENT PROCESS MANUAL.

*Sherran Mateon* 11/3/03  
CITY PLANNER, ALBUQUERQUE DATE

PLN2(10706) 4/96

**SECTION**  
NOT TO SCALE

NOTE: DO NOT  
DRILL ANY HOLES  
IN FACE OF SIGN.  
ALL ATTACHMENTS  
SHALL BE BLIND  
AS DETAILED  
HERE.

NOTE:  
NO SCREWS WILL  
BE USED ON THE  
FACE OF THE SIGN

**BIKE RACK**

SCALE: 3/4" = 1'-0"

**SECTION**  
NOT TO SCALE

NOTE: DO NOT  
DRILL ANY HOLES  
IN FACE OF SIGN.  
ALL ATTACHMENTS  
SHALL BE BLIND  
AS DETAILED  
HERE.

NOTE:  
NO SCREWS WILL  
BE USED ON THE  
FACE OF THE SIGN

**HANDICAP PARKING SIGN**

SCALE: 3/4" = 1'-0"



# PROJECT INFORMATION

**PROJECT:** MERIDIAN BUSINESS PARK LOT 14  
NEW OFFICE WAREHOUSE BUILDING.

**LOCATION:** 1301 BLUEWATER RD NW  
ALBUQUERQUE, NEW MEXICO  
LOCATED BETWEEN AIRPORT ROAD AND  
UNSER BOULEVARD

**OWNER:** G & A LTD. CO.  
1400 MERIDIAN PLACE NW, SUITE D  
ALBUQUERQUE, NEW MEXICO 87101

**ARCHITECT:** CLAUDIO VIGIL ARCHITECTS  
1801 RIO GRANDE BOULEVARD, NW,  
ALBUQUERQUE, NEW MEXICO 87104

**LEGAL DESCRIPTION:** LOT 14, MERIDIAN BUSINESS PARK

**ZONING ATLAS MAP:** K-10-Z

**ZONING CLASSIFICATION:** IP, INDUSTRIAL PARK ZONE

**BUILDING FUNCTION:** OFFICE WAREHOUSE

**CONSTRUCTION TYPE:** TYPE II-N CONSTRUCTION WITH  
100% AUTOMATIC FIRE SPRINKLER  
SYSTEM

**OCCUPANCY TYPE:** B (OFFICE) / S-1 (WAREHOUSE)

**ALLOWABLE AREA:**  
GROUP B AND S-1 OCCUPANCIES, TYPE II-N CONSTRUCTION  
ALLOWABLE BASE AREA = 12,000 SF  
ALLOWABLE INCREASE FOR SPRINKLER SYSTEM X3  
SEPARATION ON 3 SIDE OVER 40 FT 100% X2  
12,000 SF.

**TOTAL BUILDING AREA:** 43,200 SQUARE FEET

**BUILDING HEIGHT:** 32'-0" AFF.

**OCCUPANCY LOAD:** OFFICE = 2,400 SF / 100 = 24  
WAREHOUSE = 48,000 SF / 100 = 96  
TOTAL = 120

**TOTAL LOT AREA:** 109,600 SQUARE FEET, 2.518 ACRES

**NET LOT AREA:** 109,600-43,200 = 66,400 SF.

**TOTAL PARKING/PAVED AREA:** 46,825 SF.

**TOTAL LANDSCAPE AREA REQUIRED:** 9,912 SF.

**TOTAL LANDSCAPE AREA PROVIDED:** 14,036 SF.

**LANDSCAPE TO PARKING AREA RATIO:** 0.3 TO 1

**PARKING ANALYSIS:** OFFICE AREA (10%) - 4320/100 = 43 SPACES  
WAREHOUSE AREA - 38880/1000 = 38 SPACES  
TOTAL = 81 SPACES

**TOTAL PARKING SPACES PROVIDED:**  
48 REGULAR 4 H.C. 12 SMALL CAR = 64 PARKING SPACES  
(INCLUDES - 2 VAN ACCESSIBLE PARKING SPACES)

**PARKING SPACE SIZES:**  
REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0"  
OVERHANG.

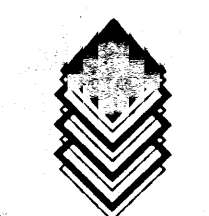
**VAN ACCESSIBLE**  
HANDICAP PARKING SPACE = 9'-0" x 18'-0" WITH A 2'-0"  
OVERHANG AND A 9'-0" WIDE ACCESS STRIP.

**BICYCLE SPACES:**  
EQUIPED PARKING - 64/20 = 32 BICYCLES (4 SPACES)  
TOTAL BICYCLE SPACES PROVIDED = 4 BICYCLE SPACES  
(BIKE RACK POSTS AT 4 BICYCLES PER POST)

**NORTH SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT  
SITE PLAN**

OCTOBER 3, 2003

1" = 30' - 1"



**CLAUDIO VIGIL ARCHITECTS**

**OFFICE / WAREHOUSE**

**MERIDIAN LOT 14**

**7301 BLUEWATER RD NW**

**ALBUQUERQUE, NEW MEXICO**

**SHEET**

**SP-1**

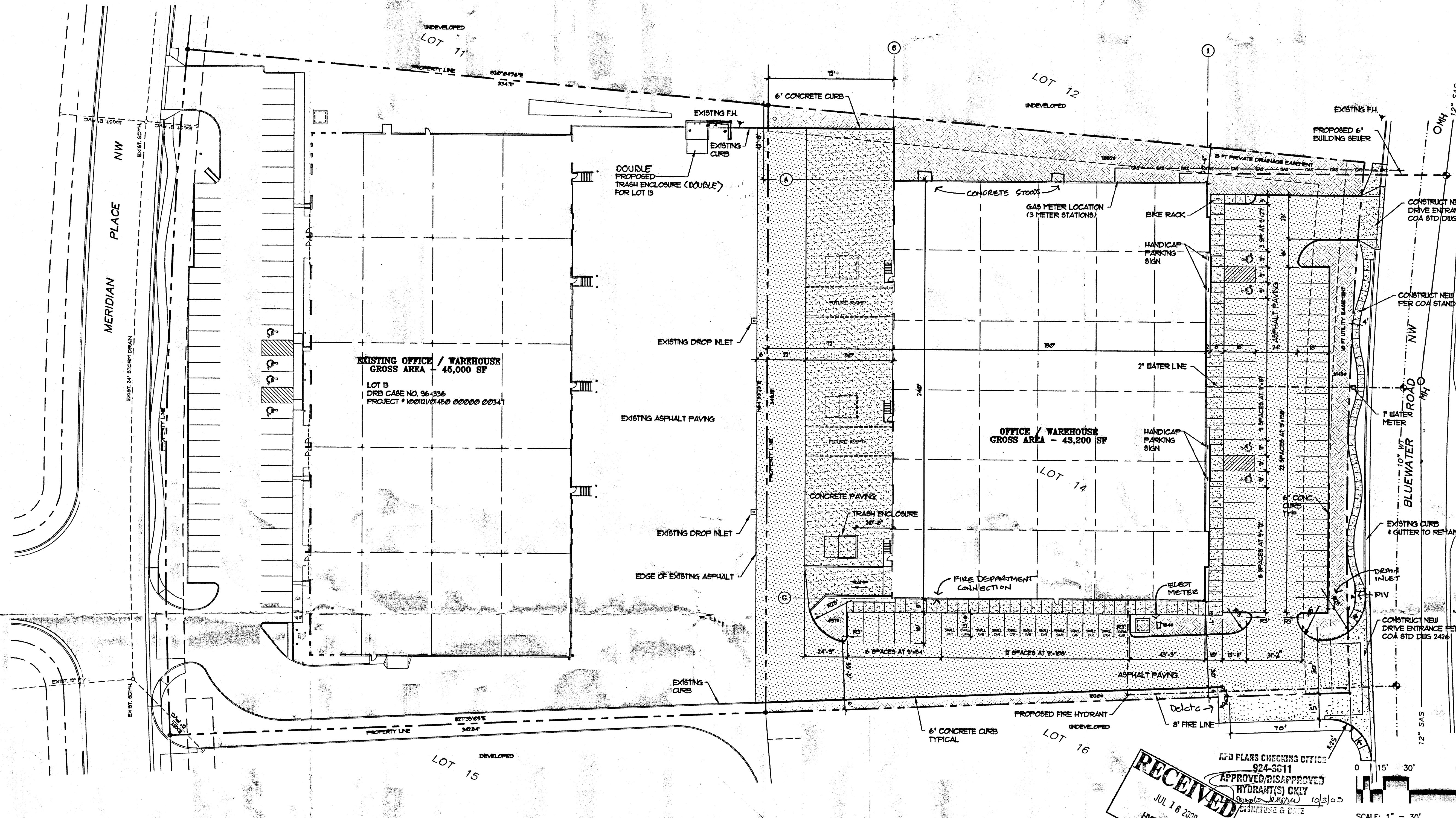
PROJECT NUMBER  
03265

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Phone: 505/842-1113 Fax: 505/842-1330

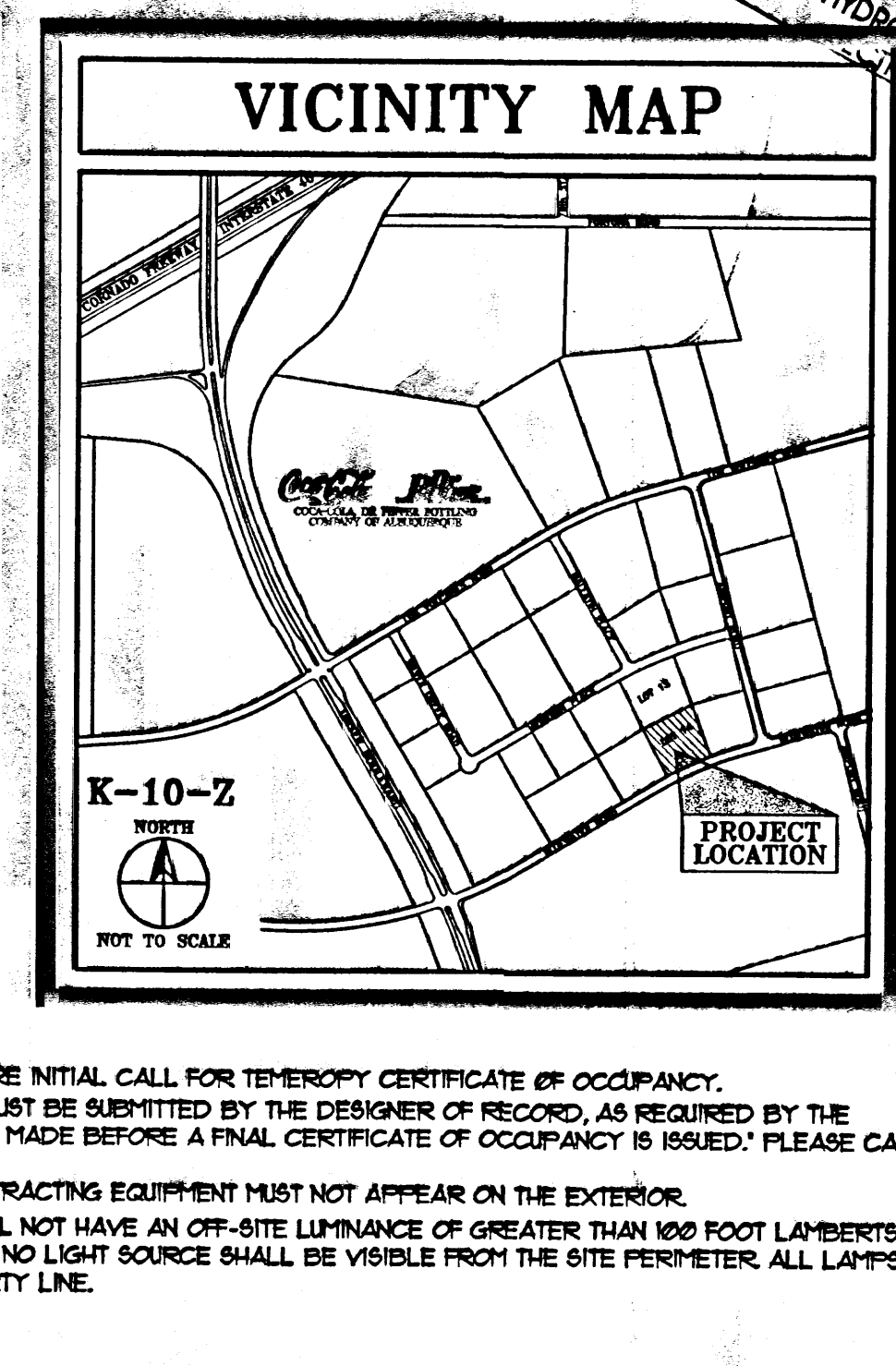


### SITE PLAN LEGEND

	GRAVEL
	INDICATES THE EXTENT OF ASPHALT PAVING. 2" ASPHALT OVER 6" BASE COURSE
	INDICATES THE EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS. PROVIDE CONTROL JOINTS: IN SIDEWALKS 1/4" TOoled JOINTS AT 6 FT ON CENTER MAX AND 1/2" EXPANSION JOINT AT 18 FT ON CENTER. CONCRETE PAVING: 6" CONCRETE REINFORCED WITH WUP 6x6x6x6. CONTROL JOINTS: TOoled JOINTS AT 18 FT ON CENTER AND 1/2" EXPANSION JOINTS AT 30 FT ON CENTER.
	INDICATES THE EXTENT OF LANDSCAPED AREA.
	PROPERTY LINE.
	EASEMENT BOUNDARIES.
	FIRE HYDRANT

**NOTES:**

- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL CALL FOR TEMPORARY CERTIFICATE OF OCCUPANCY.
- AN AS-BUILT COPY OF THE APPROVED TOL (TRAFFIC CIRCULATION LAYOUT) MUST BE SUBMITTED BY THE DESIGNER OF RECORD, AS REQUIRED BY THE TRANSPORTATION DEVELOPMENT (INCLUDING RANDOM FIELD CHECKS) WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY CO.
- OVERHEAD DOCK DOORS MUST BE INSTALLED ON THE INTERIOR SIDE. THE RETRACTING EQUIPMENT MUST NOT APPEAR ON THE EXTERIOR.
- SITE LIGHTING SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT LAMBERTS. ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS SHALL BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.



### SIGNATURE BLOCK

R.P.C. CASE NO. 2-0-01  
D.R.B. CASE NO. 100 3025

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON 10/15/03 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE: NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

**SITE DEVELOPMENT PLAN**

	11/3/02	DATE
	10/15/03	DATE
	10/15/03	DATE
	10-15-03	DATE
	10-6-03	DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

CITY PLANNER, ALBUQUERQUE

11/3/03

DATE

PLN2(10706) 4/98

### BIKE RACK

SCALE: 3/4" = 1'-0"

**SECTION**  
NOT TO SCALE

NOTE: DO NOT DRILL ANY HOLES IN FACE OF SIGN. ALL ATTACHMENTS SHALL BE BLIND AS DETAILED HERE.

NOTE: NO SCREWS WILL BE USED ON THE FACE OF THE SIGN

1/2" SQUARE STEEL TUBE FRAME, MITER CORNERS

19" x 6" METAL SIGN - BACKGROUND COLOR TO MATCH BUILDING. SYMBOL TO BE CONTRASTING COLOR. SIGN TO BE ATTACHED TO 1/2" BAR STOCK SUPPORTS WITH VANDAL PROOF BOLTS

1/2" BAR STOCK DECORATIVE MEMBERS

PAINT SIGN SUPPORT GREY TO MATCH BUILDING

SET FRAME IN 6" x 6" CONCRETE FOOTING 8" BELOW FINISH GRADE

### HANDICAP PARKING SIGN

SCALE: 3/4" = 1'-0"

**SECTION**  
NOT TO SCALE

NOTE: DO NOT DRILL ANY HOLES IN FACE OF SIGN. ALL ATTACHMENTS SHALL BE BLIND AS DETAILED HERE.

NOTE: NO SCREWS WILL BE USED ON THE FACE OF THE SIGN

1/2" BAR STOCK

WELD ANGLE TO SIGN FACE PLATE STOP ANGLE 1/4" FROM EDGES

4" x 6" MINIMUM P.V.

1/2" BAR STOCK DECORATIVE MEMBERS

PAINT SQUARE RED

PAINT SIGN SUPPORT TO MATCH BUILDING

SET FRAME IN 6" x 6" CONCRETE FOOTING 8" BELOW FINISH GRADE