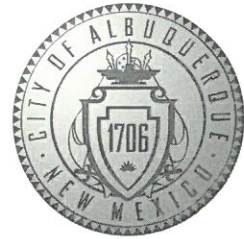


CITY OF ALBUQUERQUE



June 11, 2020

Kevin Kofchur
Dekker/Perich/Sabatini
7601 Jefferson St NE
Albuquerque, NM

Re: Defined Fitness
8020 Central Ave SW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 8-9-18 (AA) (K10D045)
Certification dated 6-5-20

Dear Mr. Shelton

Based upon the information provided in your submittal received 6-8-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

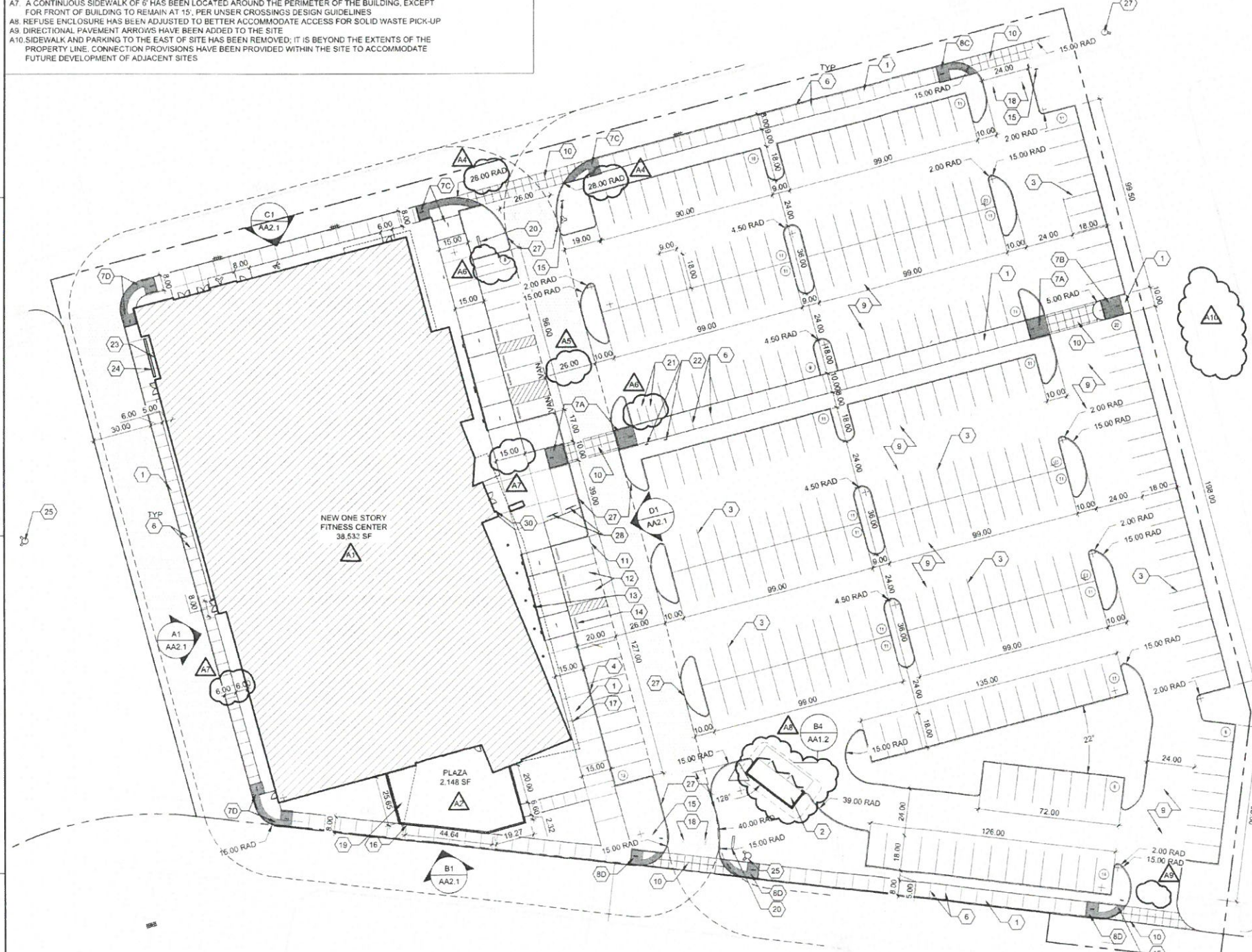
Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

NOTED CHANGES TO APPROVED EXISTING SDP

- A1. BUILDING SQUARE FOOTAGE REDUCED FROM 40,000SF TO 38,533SF, A 3.6% CHANGE IN SF. REMAINS IN COMPLIANCE WITH IBC SECTION 14-16-6-4(Y), TABLE 6-4-5 OF A MAXIMUM ALLOWABLE 10% CHANGE.
- A2. PLAZA SQUARE FOOTAGE REDUCED FROM 3,773SF TO 2,148SF. REMAINS IN COMPLIANCE WITH UNSER CROSSINGS DESIGN GUIDELINES SECTION F OF THE REQUIRED 800SF PLAZA.
- A3. PROVIDED PARKING HAS BEEN REDUCED FROM 347 TO 264 SPACES. REMAINS IN COMPLIANCE WITH CITY OF ALBUQUERQUE ZONING CODE, 14-16-3-1 WHICH REQUIRES 218 SPACES.
- A4. PRIOR APPROVED CURB CUT WITH RAMPS OF 15' RADIUS HAVE CHANGED TO A 28' RADIUS TO ACCOMMODATE FIRE TRUCK ACCESS. ALL OTHER EXISTING CURBS TO REMAIN AT 15' RADI.
- A5. DRIVING AISLE TO EXTEND FROM 24' TO 26' TO ACCOMMODATE FIRE TRUCK ACCESS AS PER CITY OF ALBUQUERQUE FIRE ORDINANCE CH1, SECTION 503.2.1.
- A6. MOTORCYCLE PARKING LOCATION HAVE BEEN REVISED TO 2 LOCATIONS AT THE FRONT OF THE BUILDING.
- A7. A CONTINUOUS SIDEWALK OF 6' HAS BEEN LOCATED AROUND THE PERIMETER OF THE BUILDING, EXCEPT FOR FRONT OF BUILDING TO REMAIN AT 15', PER UNSER CROSSINGS DESIGN GUIDELINES.
- A8. REFUSE ENCLOSURE HAS BEEN ADJUSTED TO BETTER ACCOMMODATE ACCESS FOR SOLID WASTE PICK-UP.
- A9. DIRECTIONAL PAVEMENT ARROWS HAVE BEEN ADDED TO THE SITE.
- A10. SIDEWALK AND PARKING TO THE EAST OF SITE HAS BEEN REMOVED; IT IS BEYOND THE EXTENTS OF THE PROPERTY LINE. CONNECTION PROVISIONS HAVE BEEN PROVIDED WITHIN THE SITE TO ACCOMMODATE FUTURE DEVELOPMENT OF ADJACENT SITES.



GENERAL SHEET NOTES

- A. DIMENSIONS ARE IN FEET - TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- C. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- D. SITE PLAN SHALL COMPLY WITH LOCAL ZONING AND FEDERAL ADA STANDARDS & GUIDELINES.
- E. STANDARD PARKING SPACES ARE 9'-0" X 18'-0" PER ABQ ZONING CODE 14-16-3-1.
- F. HANDICAP PARKING SPACES ARE 9'-0" X 20'-0" ACCESSIBLE PARKING TO COMPLY WITH IBC-2009 SECTION 1106.6.

PROJECT DATA

LEGAL DESCRIPTION: TR 7 PLAT OF UNSER CROSSING
SITE AREA: 4.72 ACRES (205,503 SF)
EXISTING ZONING: C-2
BUILDING SF: 38,533 SF
PLAZA REQUIREMENTS: 800 SF REQUIRED / 2,148 SF PROVIDED

PARKING CALCULATIONS

PARKING CALCULATIONS COMPLY PER ABQ ZONING CODE 14-16-3-1

PARKING REQUIRED: 38,533 SF / 150 = 257 SPACES
TRANSIT DISCOUNT: 15% OF 257 SPACES = 39 SPACES
REQUIRED PARKING: 257 - 39 = 218 SPACES
PARKING PROVIDED: 264 SPACES

HANDICAP ACCESSIBLE PARKING
REQUIRED: 8 SPACES
PROVIDED: 8 SPACES

MOTORCYCLE PARKING
REQUIRED: 5
PROVIDED: 5

BICYCLE PARKING
REQUIRED: 15
PROVIDED: 15

*TRANSIT DISCOUNT OF 15% TAKEN DUE TO THE FACT THAT SITE IS ADJACENT TO A REGULAR ALBUQUERQUE TRANSIT SYSTEM ROUTE

SHEET KEYED NOTES

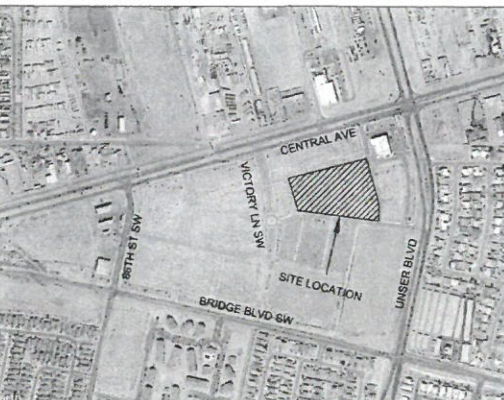
NOT ALL KEYED NOTES USED ON SHEET

1. CONCRETE SIDEWALK
2. TRASH ENCLOSURE, SEE: B4/AA1.2
3. PARKING STRIPING, 4" WIDE WHITE PAINT
4. CONCRETE HEADER CURB, SEE: A1/AA1.2
5. CONCRETE CURB AND GUTTER, SEE: A2/AA1.2
6. CONCRETE CONTROL JOINT, SEE: B1/AA1.2
7. ACCESSIBLE CONCRETE CURB RAMP A/B/C/D, SEE: C3, C4, D4, D3/AA1.2
8. EXISTING CONCRETE CURB RAMP A/B/C/D, SEE: C3, C4, D4, D3/AA1.2
9. ASPHALT DRIVE PAVING
10. COLORED, CAST IN PLACE CONCRETE SIDEWALK
11. ACCESSIBLE PARKING, SEE: D5/AA1.2
12. ACCESSIBLE PAVEMENT MARKING, SEE: C5/AA1.2
13. ACCESSIBLE PARKING SIGN, SEE: B2/AA1.2
14. PARKING BUMPER
15. STOP SIGN, SEE: B2/AA1.2
16. 6' SITE WALL W/ PERFORATED SCREEN @ OUTDOOR WORKOUT AREA
17. OVERHEAD ARCHITECTURAL
18. DIRECTIONAL PAVEMENT ARROWS, SEE: B3/AA1.2
19. PREFABRICATED SHADE STRUCTURE
20. MONUMENT SIGN PER CITY REQUIREMENTS
21. MOTORCYCLE PARKING
22. MOTORCYCLE PARKING SIGN, SEE: B2/AA1.2
23. ELECTRICAL METERS
24. 7' PERFORATED METAL GATE, SEE: C1/AA1.2
25. EXISTING FIRE HYDRANT
26. LIGHT POLE BASE
27. FIRE LANE STRIPING, SEE: D1/AA1.2
28. BICYCLE RACK, SEE: C5/AA1.2
29. ELECTRICAL TRANSFORMER
30. KNOX BOX

LEGEND

- PROPERTY LINE
--- FIRE LANE
--- ACCESSIBLE PARKING
--- FIRE HYDRANT
--- FIRE DEPARTMENT CONNECTION
--- POST INDICATOR VALVE
--- BUILDING FOOTPRINT
--- HEAVY ASPHALT FOR FIRE ACCESS
--- LANDSCAPED AREA, SEE LANDSCAPE
--- NOTED CHANGE TO APPROVED EXISTING SDP

VICINITY MAP



DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

SEAL

PROJECT

DEFINED FITNESS AT
UNSER CROSSING

ADMINISTRATIVE
AMENDMENT

REVISIONS

△
△
△
△
△

DRAWN BY: BL
REVIEWED BY: MA, KK
DATE: 2016.07.10
PROJECT NO: 17-0085.001

DRAWING NAME
SITE PLAN

SHEET NO

AA1.1

ADMINISTRATIVE AMENDMENT
FILE # 2016-07-10 PROJECT # 2016-07-10
Fitness center smaller footprint
revised elevations, adjusted for King
landscape per original approval
1/2/16 09 Aug 2016
APPROVED BY: DATE



A1

SITE PLAN

1" = 30'-0"

0 30' 60'

June 05, 2020

DEKKER
PERICH
SABATINI

Traffic Engineer
City of Albuquerque
Public Works Department
Development & Building Services Division
600 2nd Street NW
Albuquerque, New Mexico 87102

**Re: Transportation Final Certificate of Occupancy
Defined Fitness
8020 Central Ave. SW**

To Whom It May Concern:

I, Jeremy Shelton, NMRA no.4187 of the firm Dekker/Perich/Sabatini, hereby certify that the above referenced project is substantially compliant in accordance with the approved August 09, 2018 Administrative Amended Site Plan, per our visit to the site on February 27, 2020.

The following item was required to be addressed per Transportation comment received on our previous TCL submittal for Certificate of Occupancy:

1. Contractor has painted the text "NO PARKING" in all the striped off accessible aisles in the parking lot area.

This certification is submitted in support of a request for Final Certificate of Occupancy. The record information presented herein is not complete and intended only to verify substantial compliance of the traffic aspects of this project as they relate to the above mentioned building. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions, please feel free to contact myself or Kevin Kofchur at 761-9700, thank you.

Very truly yours,
Dekker/Perich/Sabatini Ltd.

Jeremy Shelton AIA, CSI, LEED AP
Principal





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: DEFINED FITNESS Building Permit #: 2019-21467 Hydrology File #: K1000415
DRB#: N/A EPC#: N/A Work Order#: N/A
Legal Description: UNION CROSSING TRACT 7; UPL #101005710709730308
City Address: 8020 CENTRAL AVE. SW

Applicant: DEKKER/PERICH/SABATINI Contact: RONALD DELYSER
Address: 7601 JEFFERSON ST. NE
Phone#: 761-9700 Fax#: _____ E-mail: Ronald@dpsdesign.org

Other Contact: DEKKER/PERICH/SABATINI Contact: KEVIN KOEHLER
Address: 7601 JEFFERSON ST. NE
Phone#: 761-9700 Fax#: _____ E-mail: kevin@dpsdesign.org

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 06/05/2020 By: KEVIN KOEHLER

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____