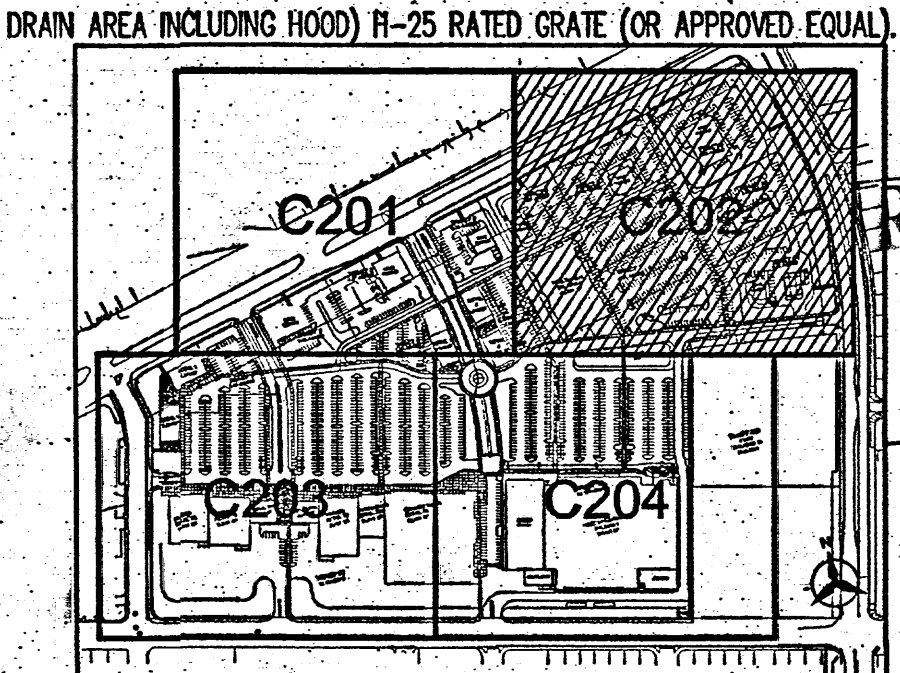




DRAWING NUMBER:
C202

Parking Calculations														Plaza Requirements	
Building #	Use	Building SF	Required Parking	Transit Discount	Required Parking	Required Parking	Provided Parking	Disabled	Disabled	Motorcycle	Motorcycle	Bike Pkg	Bike Pkg	Plaza SF Required	Plaza SF Shown
1	Retail	6,500	33	5	28	56	72	2	4	3	4	2	5	130	2,249
2	Retail	6,500	33	5	28	56	72	2	4	3	4	2	5	130	2,249
3	Retail	6,500	33	5	28	56	72	2	4	3	4	2	5	130	2,249
4	Retail	6,500	33	5	28	56	72	2	4	3	4	2	5	130	2,249
5	Retail	6,500	33	5	28	56	72	2	4	3	4	2	5	130	2,249
6	Health Club	40,000	267	41	226	228	347	8	8	5	6	14	15	800	3,773
7A	Retail	30,000	135	21	114	228	347	8	8	5	6	14	15	800	3,773
7B	Retail	20,000	95	15	80	214	214	4	13	5	6	5	15		
7C1	Retail	4,800	24	4	20			1				2		3511	7,904
7C2	Retail	4,800	24	4	20			1				2			
7D	Retail	18,000	87	14	73	417	455	4	18	6	6	5	25		
7E	Retail	97,942	382	58	324			12				20		2,513	Shore with Bldg 8
8	Home Improvement	125,601	474	72	402	402	438	12	12	6	6	24	25		
Total		372,343	1,646	253	1,393	1,393	1,648	59	61	29	32	86	95	7,448	22,838

Parking Calculation Notes:

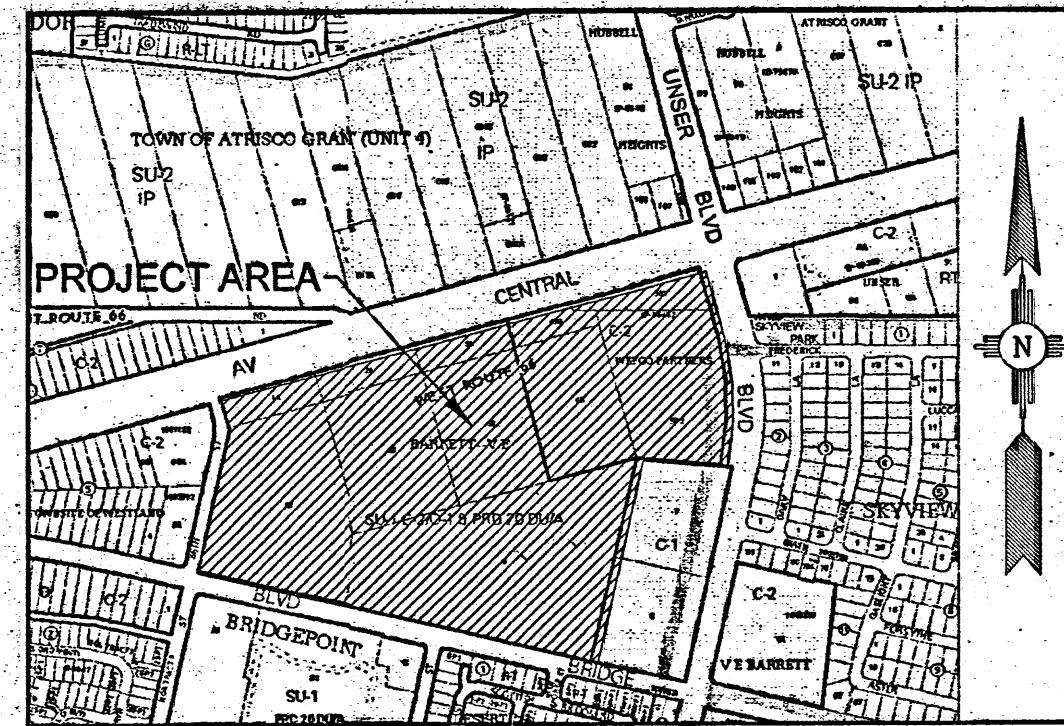
- Parking provided includes disabled parking spaces.
- Required parking for Building 6 (Health Club) calculated using 1 space per 150 SF. All other buildings follow section 14-16-3-1-A-27 of the City of Albuquerque zoning code.
- Transit discount of 15% taken due to the fact that the site is adjacent to a regular Albuquerque Transit system route and two transit rider shelters will be built with this project.
- First column of required parking is without transit discount.
- Provided parking is divided into logical grouping of buildings to allow users to park once and visit multiple retailers.

MONUMENT SIGN
TYPE
A
B
C
D
E
F
G

*ALL ON-SITE SIGNAGE HAS BEEN SUBMITTED TO EPC (08EPC-00063) AND WILL RETURN SEPARATELY TO DRB.

TRANSIT DEPARTMENT NOTE:

- THE SW MESA PARK & RIDE IS LOCATED NEAR THE NW CORNER OF CENTRAL & UNSER.
- AS OF 3/15/08, BUS ROUTES 766, 162, 66, AND 54 HAVE A STOP NEAR OR ADJACENT TO THE SITE.
- PARTICIPATION IN TRANSIT DEMAND MANAGEMENT PROGRAM IS ENCOURAGED FOR USERS OF THE SITE.



VICINITY MAP
ZONE ATLAS PAGES K-09-2 & K-10-2

SHEET INDEX

C-001	SITE PLAN FOR BUILDING PERMIT	A-107B	ELEVATIONS BUILDING 7
C-002	SITE PLAN DETAILS	A-107C	ELEVATIONS BUILDING 7
LS-101	LANDSCAPE PLAN	A-107D	ELEVATIONS BUILDING 7
LS-102	LANDSCAPE DETAILS	A-107E-1	ELEVATIONS BUILDING 7
C-101	CONCEPTUAL GRADING & DRAINAGE PLAN	A-107E-2	ELEVATIONS BUILDING 7
C-201	CONCEPTUAL UTILITY PLAN	A-108A	ELEVATIONS BUILDING 8
A-101	ELEVATIONS BUILDING 1	A-108B	ELEVATIONS BUILDING 8
A-102	ELEVATIONS BUILDING 2	A-108C	ELEVATIONS BUILDING 8
A-103	ELEVATIONS BUILDING 3		
A-104	ELEVATIONS BUILDING 4	C-003	SITE PLAN FOR SUBDIVISION
A-105	ELEVATIONS BUILDING 5	C-101	DESIGN STANDARDS
A-106A	ELEVATIONS BUILDING 6	C-102	DESIGN STANDARDS
A-106B	ELEVATIONS BUILDING 6	C-103	DESIGN STANDARDS
A-107A	ELEVATIONS BUILDING 7		

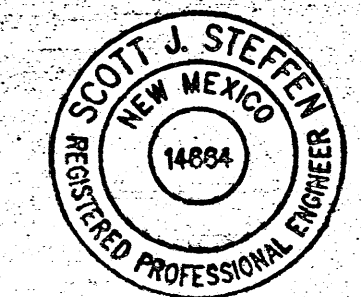
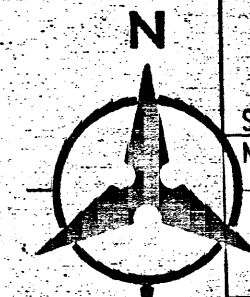
KEYED NOTES

- 6" CONCRETE CURB.
- COA STANDARD CURB & GUTTER PER COA STD DWG 2415A, TO BE COMPLETED AS A PUBLIC WORK ORDER.
- 6" TEMPORARY ASPHALT CURB.
- 14" WIDE CONCRETE SIDEWALK.
- 6" WIDE CONCRETE SIDEWALK PER COA STD DWG 2423A, TO BE COMPLETED AS A PUBLIC WORK ORDER.
- 8" WIDE CONCRETE SIDEWALK.
- 10" WIDE CONCRETE SIDEWALK, SLOPE TO LANDSCAPE AREA IF POSSIBLE.
- 6"x8" LANDSCAPE PLANTER.
- EDGE RACK PER 3/C-002.
- EIGHT POLE PER 5/C-002.
- REFUSE ENCLOSURE PER 2/C-002 & 9/C-002.
- 6" HIGH SCREEN WALL PER 9/C-002.
- HANDICAP PARKING SPACE PER 4/C-002.
- TRANSIT STOP WITH SHELTER PER COA STD DWG 2435, PEDESTRIAN AMENITIES SHALL BE PER SECTION M OF THE SITE PLAN FOR SUBDIVISION.
- COLORLED, TEXTURED, CONCRETE CROSSWALK.
- LOADING DOCK.
- END ISLAND PLANTER PER 1/C-002.
- 10" WIDE CONTRACTOR PARKING SPACES, TOTAL OF 24.
- TRASH COMPACTOR.
- NEW DRIVEWAY, FULL ACCESS, NEW SIGNAL RECOMMENDED BY ILL. DRIVEWAY PER COA STD DWG 2426, TO BE COMPLETED AS A PUBLIC WORK ORDER.
- NEW RIGHT IN/RIGHT OUT DRIVEWAY, DRIVEWAY PER COA STD DWG 2426, TO BE COMPLETED AS A PUBLIC WORK ORDER.
- NEW FULL ACCESS DRIVEWAY, DRIVEWAY PER COA STD DWG 2426, TO BE COMPLETED AS A PUBLIC WORK ORDER.
- NEW RIGHT IN, RIGHT OUT, LEFT IN DRIVEWAY, DRIVEWAY PER COA STD DWG 2426, TO BE COMPLETED AS A PUBLIC WORK ORDER.
- CART CORRAL, WELDED METAL PIPE, PAINTED TO MATCH BUILDING.
- MOTORCYCLE PARKING WITH SIGN PER 8/C-002.
- WALL MOUNTED LIGHT.
- PROPOSED DECEL LANE/TURN LANE TO BE COMPLETED WITH PUBLIC INFRASTRUCTURE PLANS.
- APPLIANCE AND PALLET RECYCLING STORAGE UNIT.
- CROSS ACCESS EASEMENT TO BE CREATED BY PLATTING ACTION WITH THIS PROJECT.
- COLUMN, SEE ARCHITECTURAL ELEVATION.
- 8" HIGH SCREEN WALL BEHIND LOADING DOCKS PER 9/C-002.
- PROPOSED FIRE HYDRANT LOCATION.
- EXISTING BUS STOP LOCATION.
- FUTURE PEDESTRIAN CONNECTION TO ADJACENT PAD SITES.
- ADA ACCESSIBLE RAMP AND STEPS FOR PEDESTRIAN CONNECTION.
- NEW HANDICAP RAMP PER COA STD DWG 2441, TO BE COMPLETED AS A PUBLIC WORK ORDER.
- NEW WHEELCHAIR RAMP PER COA STD DWG 2426, MAX SLOPE IS 12:1.

TRAFFIC CIRCULATION LAYOUT CERTIFICATION

THIS CERTIFICATION INDICATES IMPROVEMENTS MADE BY THE APPROVED DRB PLAN AND ADMINISTRATIVE AMENDMENT:
4. SCOTT J. STEFFEN, OF BOHANNAN HUSTON INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE TRAFFIC AND PEDESTRIAN RELATED IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED TRAFFIC CIRCULATION LAYOUT PLAN TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Scott J. Steffen
SCOTT J. STEFFEN, P.E.
N.M.P.E. NO. 14664



LEGEND

- PROPERTY LINE
- EXISTING EDGE OF ROAD
- CONCRETE CURB
- SCREEN WALL
- PLAZA AREA
- SIDEWALK
- FUTURE PHASES, SEE NOTE #4
- WALL MOUNTED LIGHT
- DECORATIVE POLE MOUNTED LIGHT PER 6/C-002
- TYPICAL POLE MOUNTED LIGHT PER 5/C002

NOTES

- TRUCKS MAY NOT BE MOVED OR LEFT IDLING BETWEEN THE HOURS OF 10:00 PM & 6:30 AM.
- PLEASE SEE SITE PLAN FOR SUBDIVISION FOR FUTURE PHASE FAR, CIRCULATION, PARKING, LANDSCAPING, AND OTHER DESIGN GUIDELINES.
- SEE SITE PLAN FOR SUBDIVISION AND UTILITY PLAN FOR ALL EASEMENTS.
- FUTURE PHASES SHALL FOLLOW DESIGN GUIDELINES INCLUDED IN THE SITE PLAN FOR SUBDIVISION TO ENSURE A CONSISTENT LEVEL OF DEVELOPMENT THROUGHOUT UNSER CROSSING. SITE PLANS FOR BUILDING PERMIT WHICH ARE IN COMPLIANCE WITH THE DESIGN GUIDELINES MAY BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD AFTER EPC APPROVES THE FIRST PAD SITE.
- SEE LANDSCAPE PLAN FOR PEDESTRIAN PLAZA AREA DETAILS.
- MAINTENANCE AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE & OWNER SHALL BE SIGNED PER LARGE RETAIL FACILITY ORDINANCE.
- A BLANKET CROSS ACCESS AND CROSS DRAINAGE EASEMENT WILL BE GRANTED BY PLATTING ACTION WITH THIS PROJECT.
- INTERNAL HANDICAP RAMPS SHALL BE PROVIDED AT ALL PEDESTRIAN CROSSWALKS. SLOPE SHALL NOT EXCEED 12:1 ON ANY RAMPS.

Unser Crossing
DRB Submittal
Site Plan for Building Permit
Central Avenue and Unser Boulevard
Albuquerque, New Mexico 87121

RECEIVED

NOV 20 2009

HYDROLOGY

SECTION

Rev. 2

June 24, 2008

July 8, 2008

Job Number

Drawn By BO

Checked RM/BJS

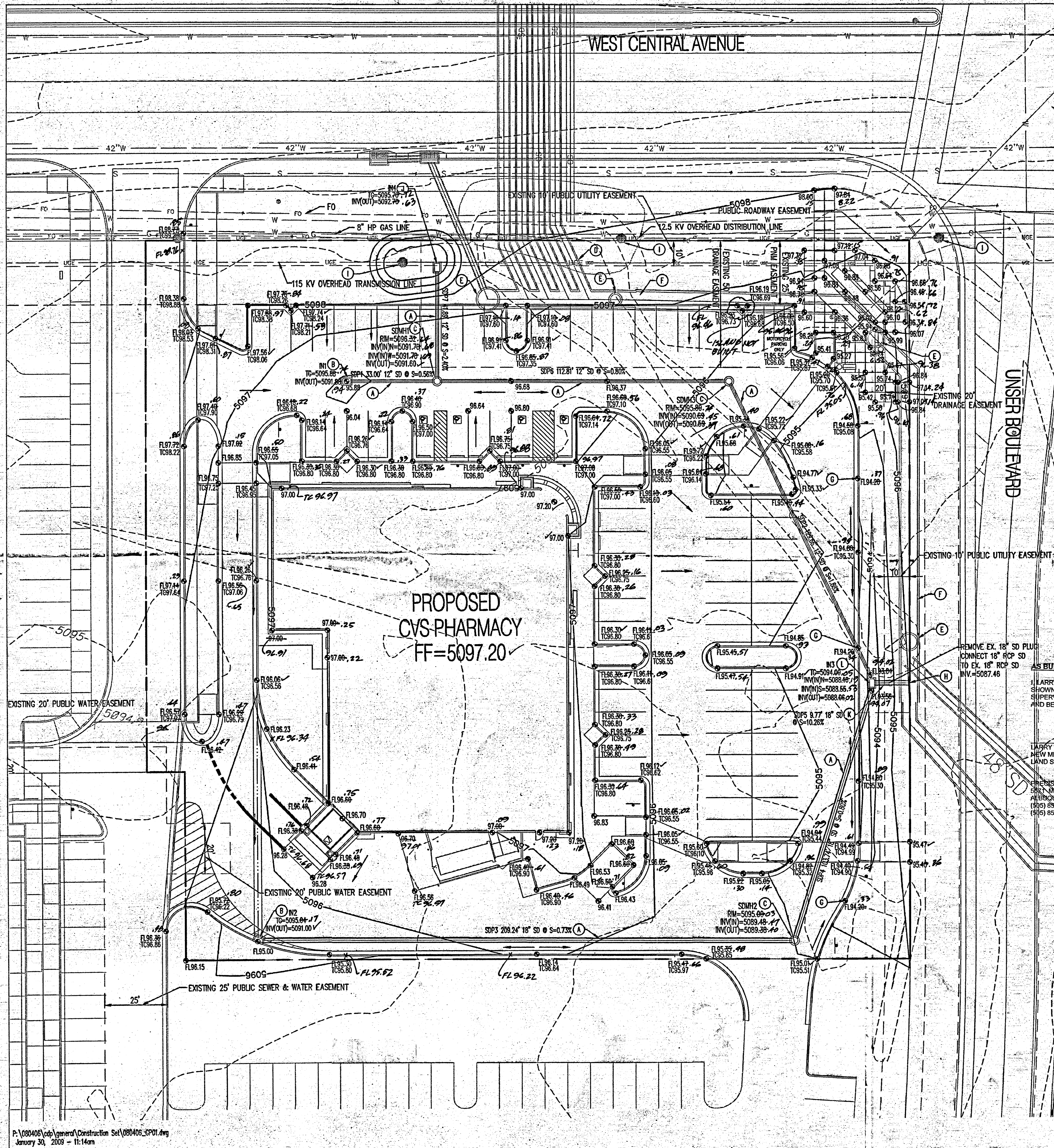
Issue Date June 17, 2008

SITE PLAN
FOR BUILDING
PERMIT

Scale

C-001

00 OF 00



GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

KEYED NOTES

- A. INSTALL HOPE (N-12WT OR APPROVED EQUAL) STORM DRAIN. SIZE PER PLANS.
- B. INSTALL STORM DRAIN INLET TYPE "D" PER COA STD DWG 2206 OR NYLOPLAST ROAD & HIGHWAY DRAINAGE INLET STRUCTURE WITH 2'x2' STEEL BAR GRATE (551.25 SQ IN APPROX DRAIN AREA) H-25 RATED GRATE (OR APPROVED EQUAL).
- C. INSTALL STORM DRAIN MANHOLE, TYPE "C", PER COA STD DWG 2101 OR NYLOPLAST 30" SOLID GRATE H-25 RATED.
- D. STORM DRAIN MANHOLE PER CPM#735884.
- E. STORM DRAIN MANHOLE PER CPM#735884.
- F. 78" STORM DRAIN PER CPM#735884.
- G. CURB CUT PER DETAIL THIS SHEET.
- H. 78"x18" TEE PER CPM#735884.
- I. EXISTING POWER POLE.
- J. INSTALL 12" NYLOPLAST STANDARD DRAIN BASIN & GRATE WITH H-25 LOADING (OR APPROVED EQUAL).
- K. INSTALL ROP STORM DRAIN. SIZE PER PLANS.
- L. INSTALL STORM DRAIN INLET TYPE "D" PER COA STD DWG. 2206.

AS BUILT CERTIFICATION

I, LARRY W. MEDRANO, DO HEREBY ATTEST TO THE FACT THAT THE GRADING INFORMATION SHOWN HEREON, IS THE RESULT OF A FIELD SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE SAME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

LARRY W. MEDRANO
NEW MEXICO PROFESSIONAL
LAND SURVEYOR NO. 11993

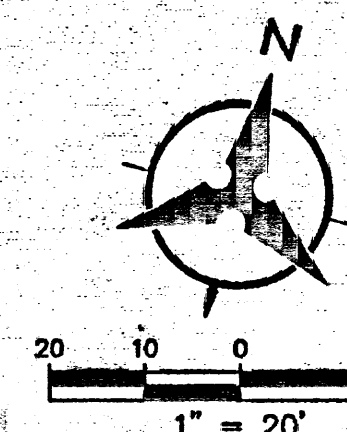
LEGEND

- | | |
|---------|---|
| 5301 | PROPERTY LINE |
| 5301.15 | EXISTING CONTOURS |
| 5301.15 | EXISTING GROUND SPOT ELEVATION |
| 5301.15 | EXISTING ELECTRICAL POLE |
| 5301.15 | PROPOSED SPOT ELEVATION TO-TOF OF CURB, FL-FLOW LINE EX-EXISTING, TO-TOF OF GRADE |
| 5301.15 | PROPOSED DIRECTION OF FLOW |
| 5301.15 | WATER BLOCK |
| 5301.15 | PROPOSED RETAINING WALL |
| 5301.15 | PROPOSED INDEX CONTOURS |
| 5301.15 | PROPOSED INTER CONTOURS |
| 5301.15 | PROPOSED CURB & GUTTER |
| 5301.15 | EASEMENT |
| 5301.15 | EXISTING TREE |
| 5301.15 | PROPOSED STORM DRAIN LINE |
| 5301.15 | PROPOSED STORM DRAIN MANHOLE |
| 5301.15 | PROPOSED STORM DRAIN INLET |
| 5301.15 | EXISTING STORM DRAIN MANHOLE |

1. TYPICAL CURB CUT DETAIL

N.T.S.

ALBUQUERQUE
BUILDING & SAFETY
FEB 12 2009
IBC
PLAN CHECK SECTION



BENCHMARK

ACS ALUMINUM DISC STAMPED "7-K10 1988"
GEOGRAPHIC POSITION (NAD 83)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=1,483,739.165
GROUND TO GRID FACTOR = 0.99983005
DELTA ALPHA = -00° 16' 18.14"
NAVD 1988 ELEVATION = 5097.854

CIVIL ENGINEER

Bohannon & Huston

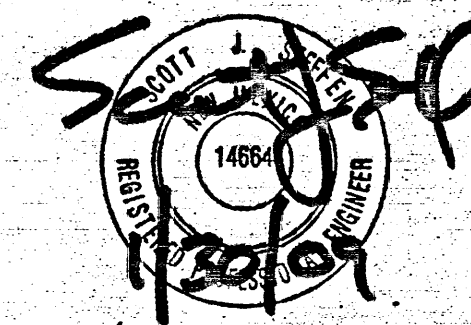
Consultant: 7500 Jefferson St. NE
Albuquerque, NM 87109
Tel: (505) 823-1000
Fax: (505) 798-7988

BOHANNON HUSTON, INC
7500 JEFFERSON ST. NE
ALBUQUERQUE, NM 87109
TEL: (505) 823-1000
FAX: (505) 798-7988

CONSULTANT: Mitchell Associates, LLC

Landscape Architects
Curtis Blvd. NE, Suite 112
Albuquerque, NM 87110
Phone: (505) 838-6006
Curtis@mcassoc.com

SEAL:



CVS/ pharmacy

STORE #08981
SOUTHWEST CORNER OF CENTRAL AVE.
& UNSER BLVD.
ALBUQUERQUE, NM

DEVELOPER:

ARMSTRONG DEVELOPMENT
PROPERTIES, INC.
1500 N. PRIEST DR., SUITE
150E
TEMPE, AZ 85281
OFFICE: 602.385.4100
FAX: 602.385.4101

REVISIONS:

DRAWING BY: BJC

DATE: JANUARY 29, 2009

JOB NUMBER: 080406

TITLE:

GRADING PLAN

SHEET NUMBER:

C-201

COMMENTS: