

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 15, 2024

Daniel Duran
Modulus Architect, Inc.
8220 San Pedro Dr. NE
Albuquerque, NM 87113

**Re: Unser Crossing
8400 Central Ave. SW
Conceptual Traffic Circulation Layout for DFT Approval
Architect's Stamp 06-14-24 (K10-D045C)**

Dear Mr. Duran,

The conceptual TCL submittal received 06-27-2024 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit. **When submitting a TCL for Building Permit Approval, provide the following:**

- **An approved plat must be provided.**
- **Identify the right of way name and width on Bridge blvd. and 86th St.**
- **The minimum distance from the intersection of Bridge Blvd and 86th St. to site access off the 86th st. should be 100 ft. Please show this dimension on the site plan.**
- **The minimum distance from the intersection of Central Ave. and Victory Ln to site access off Central should be 150 ft. Please show this distance on the site plan.**
- **Keynote 4: Please provide 6 ft wide ADA pathway from the public sidewalk to the building entrance.**
- **Keynote 26: revocable permit is required for any private signs located within public right of way.**

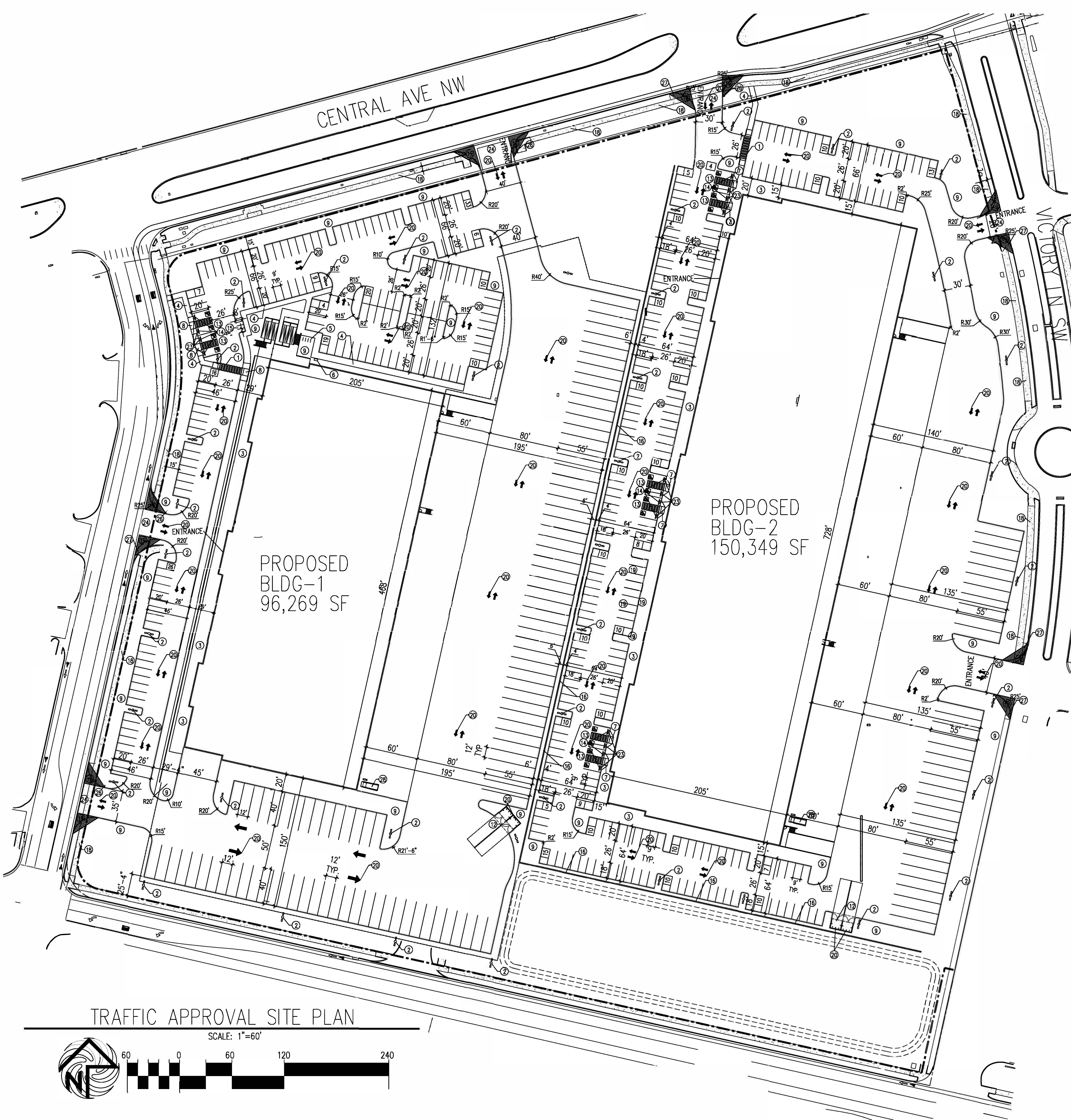
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

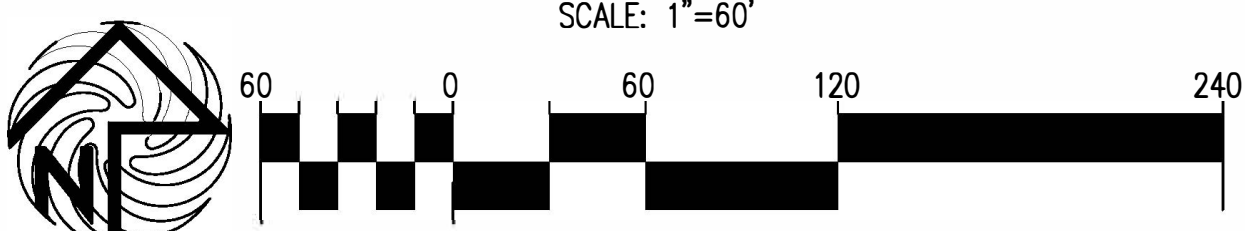
Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept. Development Review Service

FEE PAID:



TRAFFIC APPROVAL SITE PLAN

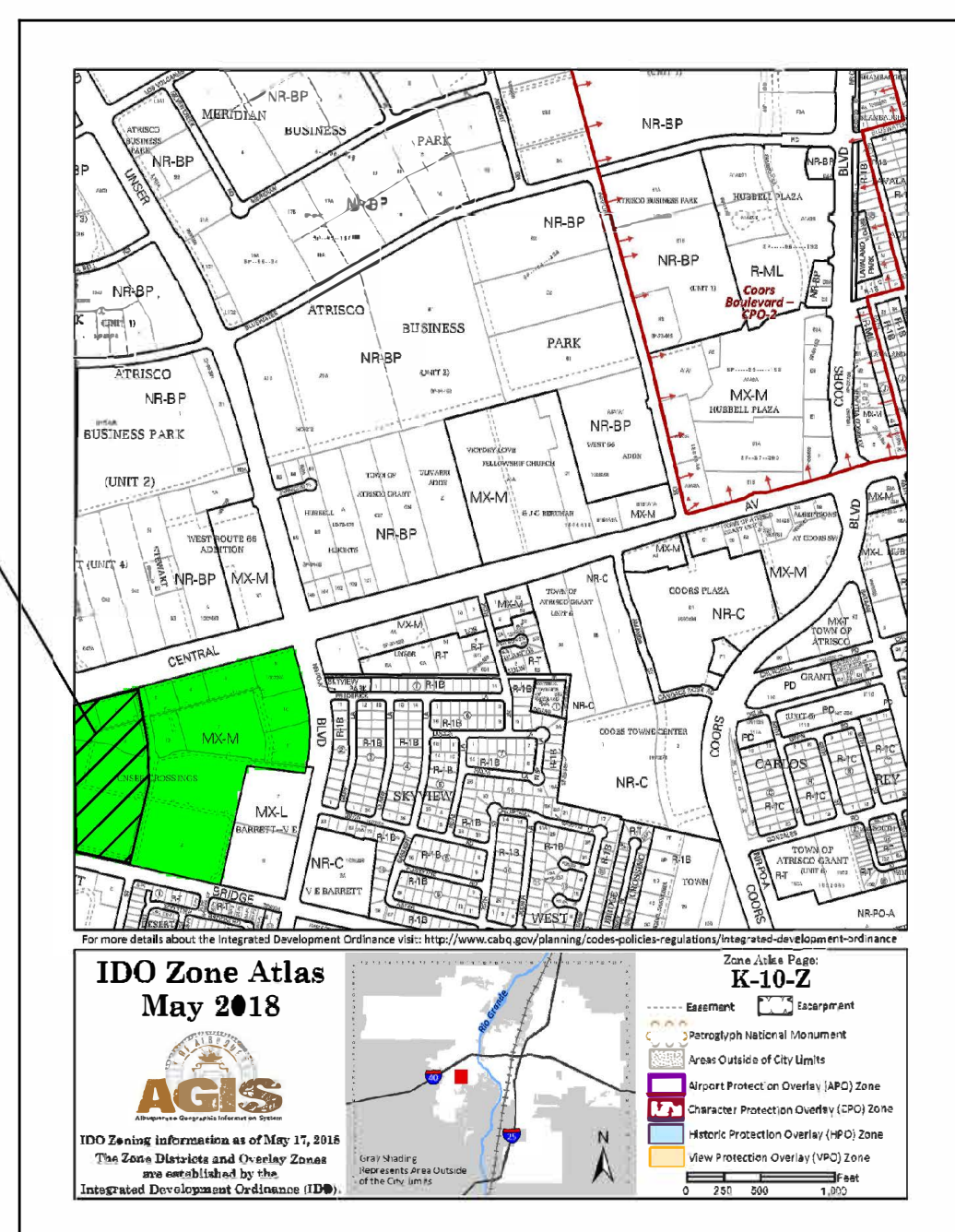


- KEYED NOTE:
- 1 8' , OR AS INDICATED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL 2/G5
 - 2 LIGHT POLE LOCATION RE: DETAIL 1/G4
 - 3 CONC. SIDEWALK ADJACENT BLDG RE: DET 1/G5 RE: SITE PLAN FOR JOINT LAYOUT
 - 4 CONC. SIDEWALK RE: DET 1/G5 RE: SITE PLAN FOR JOINT LAYOUT
 - 5 INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 12/G4
 - 6 BENCH LOCATION RE: DETAIL 5/G4
 - 7 HANDICAP RAMP RE: 13/G5
 - 8 TAPERED RAMP DETAIL RE:14/G5
 - 9 INDICATES LANDSCAPE PLANTING AREA G.C. TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION
 - 10 NOT USED
 - 11 6" HIGH CONC. ISLAND /CURB RE: SITE GRADING PLAN FOR INFO
 - 12 REFUSE ENCLOSURE RE: DET 8/G5
 - 13 H.C. PARKING STALL RE: DET 13/G4
 - 14 WHEELSTOP RE: DET 4/G4
 - 15 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. 6/G4
 - 16 NEW RETAINING WALL PER SECTION 5-7(D) OF THE IDO.
 - 17 PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
 - 18 EXISTING SIDEWALK TO REMAIN
 - 19 INDICATES CLEAR SIGHT TRIANGLE: NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET AS MEASURED VERTICALLY FROM ADJACENT GUTTERPAN.
 - 20 BOLLARD PAINTED SAFETY YELLOW RE: DET. 3/G5
 - 21 PAVEMENT MARKINGS TO FOLLOW COA STANDARD 2600-105 RE: DET. 7/G4
 - 22 NEW ASPHALT
 - 23 ADA SIGN RE: DET. 10/G4
 - 24 VALLEY GUTTER SIMILAR TO COA STANDARD DRAWING 2420
 - 25 BOLLARD RE: DET. 3/G4
 - 26 PARALLEL CONCRETE RAMP PER COA DRAWING STANDARD 2447
 - 27 STOP SIGN RE: DET. 9/G4
 - 28 DETECTABLE WARNING PER COA STANDARD DRAWING 2446
 - 29 PROPOSED ROLL-OFF LOCATION (30 YARD MARATHON OR EQUAL)

GENERAL NOTES:
1. PROTECTED BIKE LANE AND EXTENSION OF VICTORY LANE ARE TO BE BUILT PER WORK ORDER.
2. JERSEY BARRIERS IN VICTORY LANE AT THE NORTH END OF THE TRAFFIC CIRCLE AND ALONG CENTRAL AVE TO BE REMOVED.

SITE DATA TABLE	WAREHOUSE- BLDG-1	WAREHOUSE- BLDG-2
PROPOSED USES:	WAREHOUSE- BLDG-1	WAREHOUSE- BLDG-1
BUILDING SIZE:	96,269 SF	150,349 SF
TOTAL PARKING REQ:	52 SPACES	50 SPACES
TOTAL PARKING PROVIDED:	160 SPACES	256 SPACES
H.C. PROVIDED:	4 SPACES	4 SPACES
H.C. REQUIRED:	3 SPACES	4 SPACES
BIKE SPACES PROVIDED:	20 SPACES	25 SPACES
BIKE SPACES REQUIRED:	10% OF TOTAL	10% OF TOTAL
MOTORCYCLE SPACES PROVIDED:	4 SPACES	4 SPACES
MOTORCYCLE SPACES REQUIRED:	4 SPACES	4 SPACES

PROJECT LOCATION



VICINITY MAP

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			
33			
34			
35			
36			
37			
38			
39			
40			
41			
42			
43			
44			
45			
46			
47			
48			
49			
50			
51			
52			
53			
54			
55			
56			
57			
58			
59			
60			
61			
62			
63			
64			
65			
66			
67			
68			
69			
70			
71			
72			
73			
74			
75			
76			
77			
78			
79			
80			
81			
82			
83			
84			
85			
86			
87			
88			
89			
90			
91			
92			
93			
94			
95			
96			
97			
98			
99			
100			

MODULUS ARCHITECTS
AND LAND USE PLANNING

8220 SAN PEDRO DR. N.E. SUITE 520
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
REGISTERED ARCHITECT
STEPHEN A. DUNBAR
No. 4218

6/14/2024

PROJECT TITLE
UNSER CROSSING
CENTRAL AVE. SW
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
S

JOB NO.

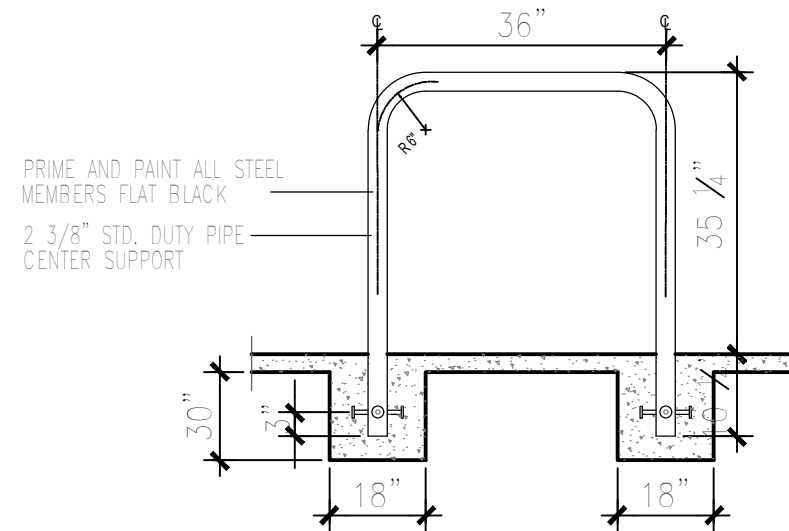
DRAWN BY:
S

SHEET TITLE
TRAFFIC APPROVAL SITE PLAN

DATE:
6/14/2024

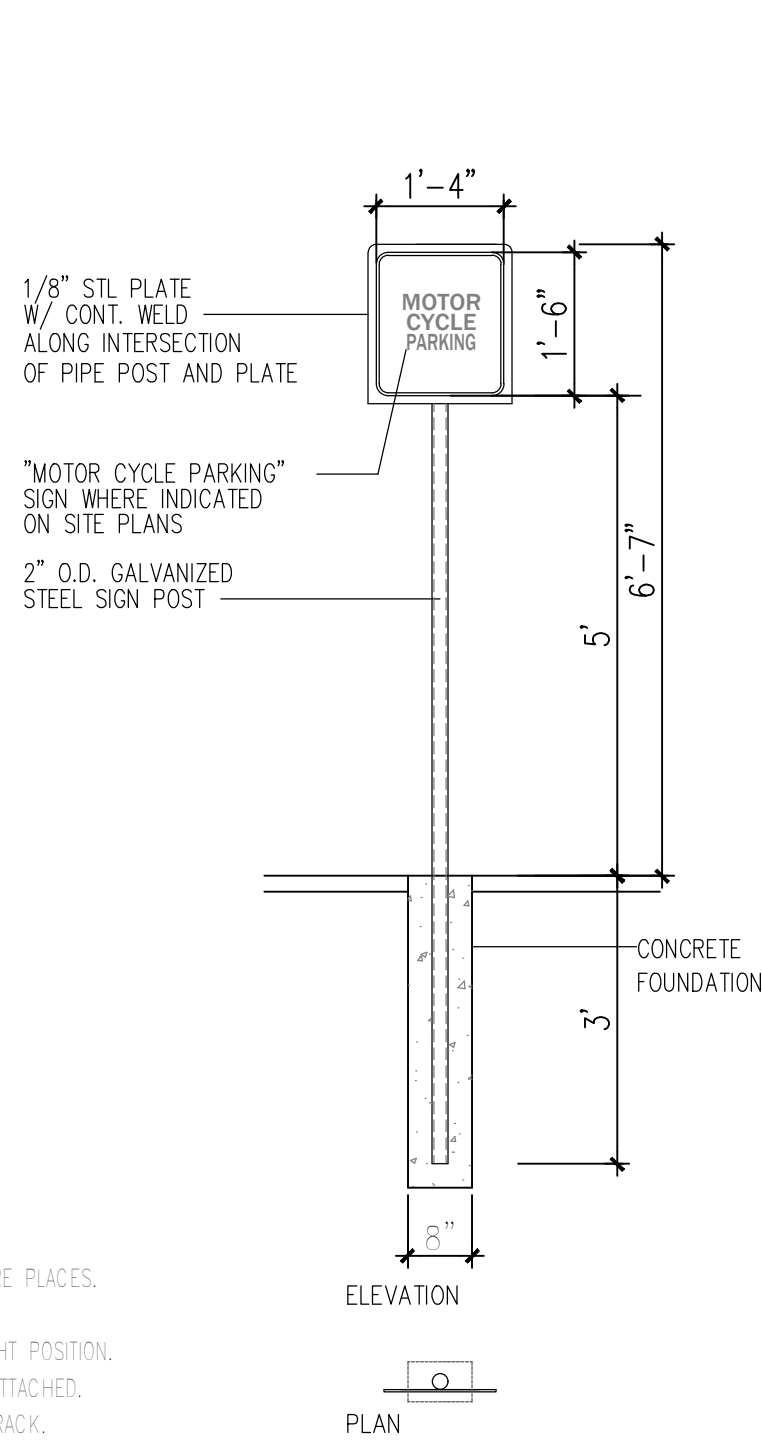
SCALE:
RE: SCALE

sheet:
G3
of.

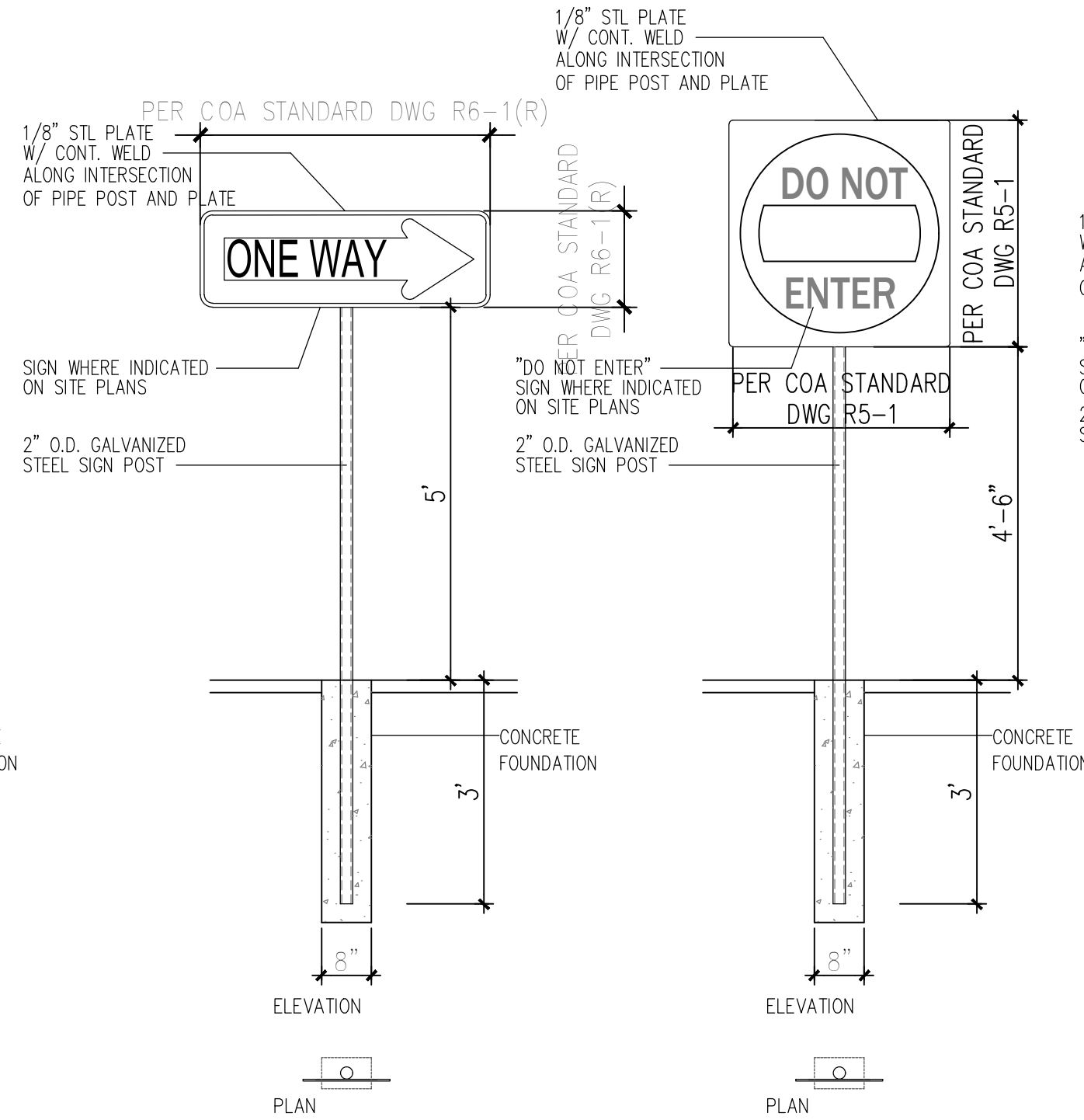


NOTE:
BICYCLE RACK SHALL BE DESIGN ACCORDING TO THE FOLLOWING GUIDELINES:
A. THE RACK SHALL BE MINIMUM 30" TALL AND 18" WIDE.
B. THE BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT 2 OR MORE PLACES.
C. COMB/TOASTER RACKS ARE NOT ALLOWED.
D. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION.
E. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
F. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
G. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.

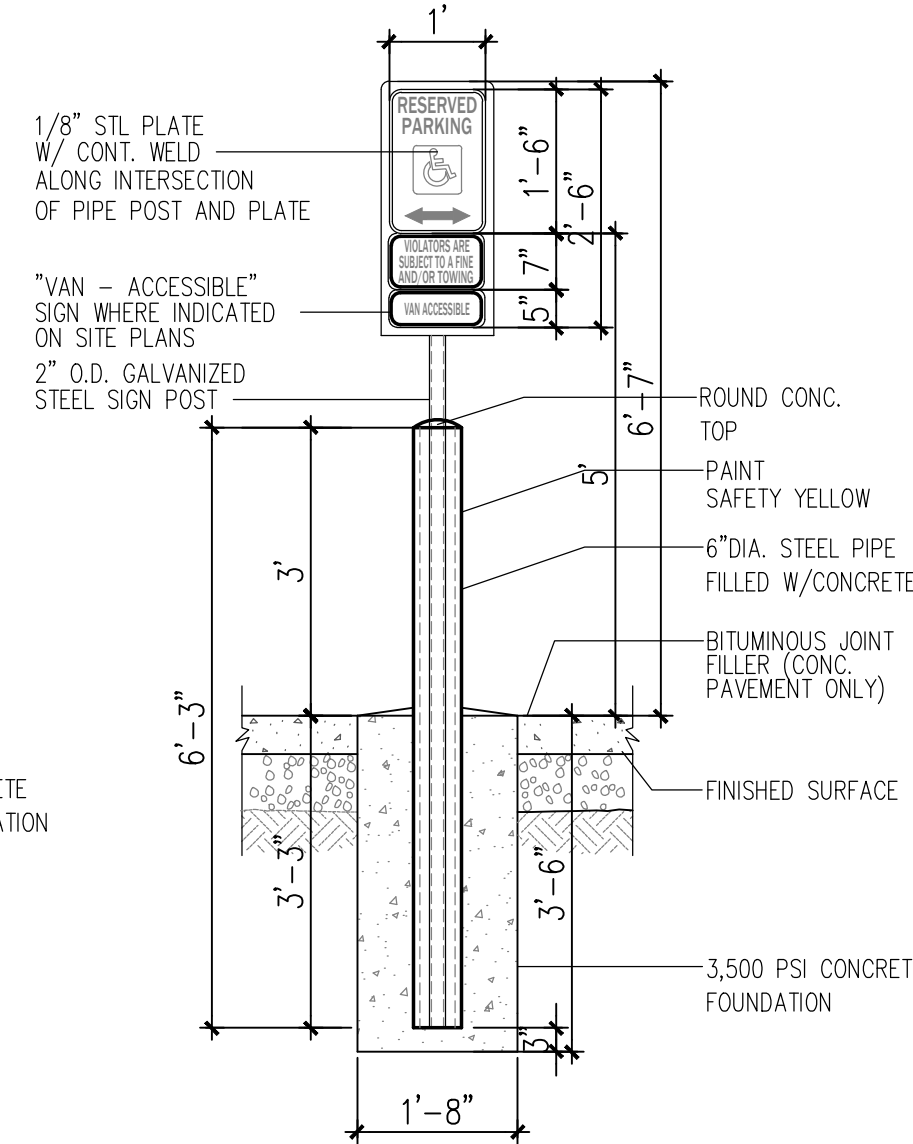
12 BIKE RACK
N.T.S.



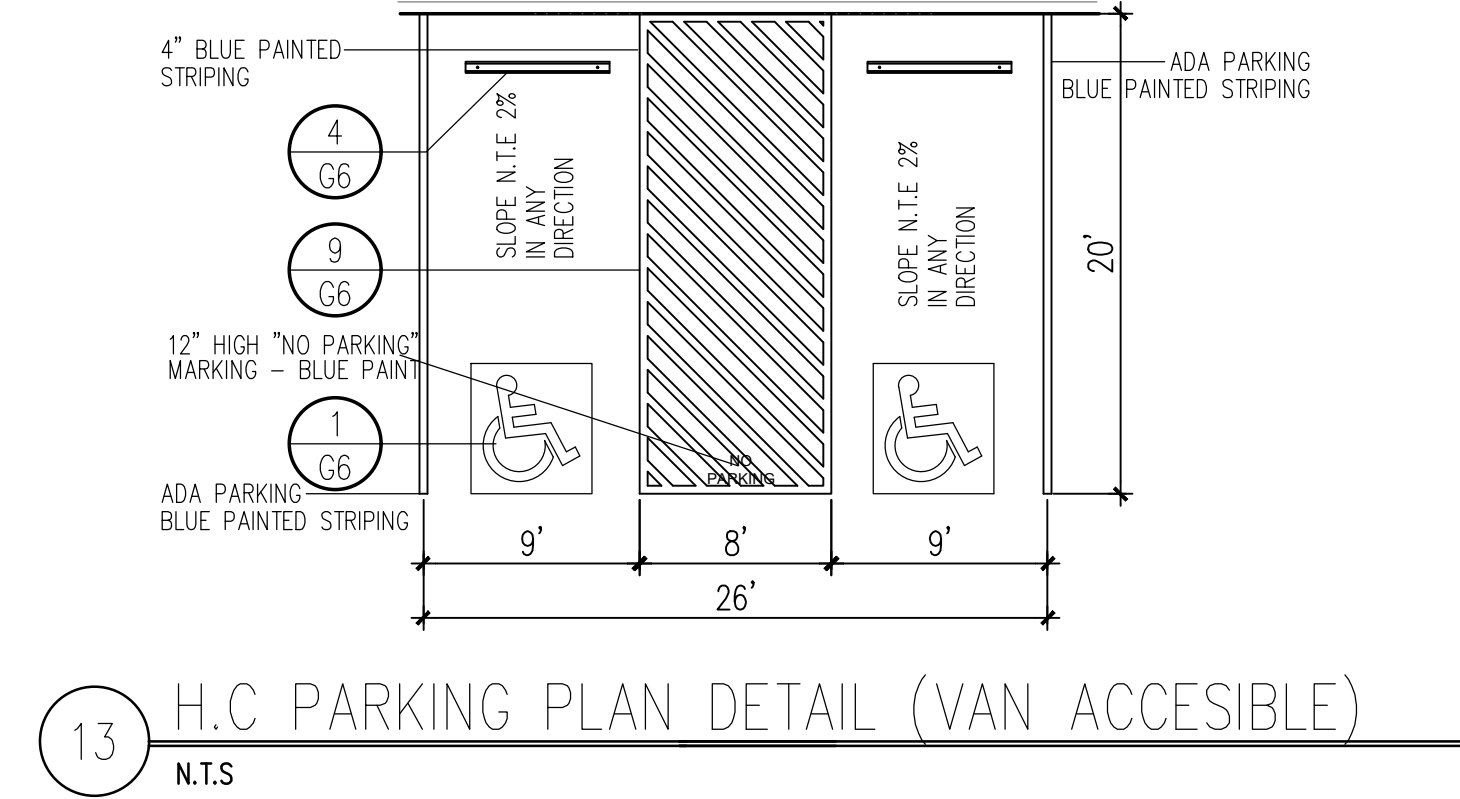
11A MISC. SIGNAGE
N.T.S.



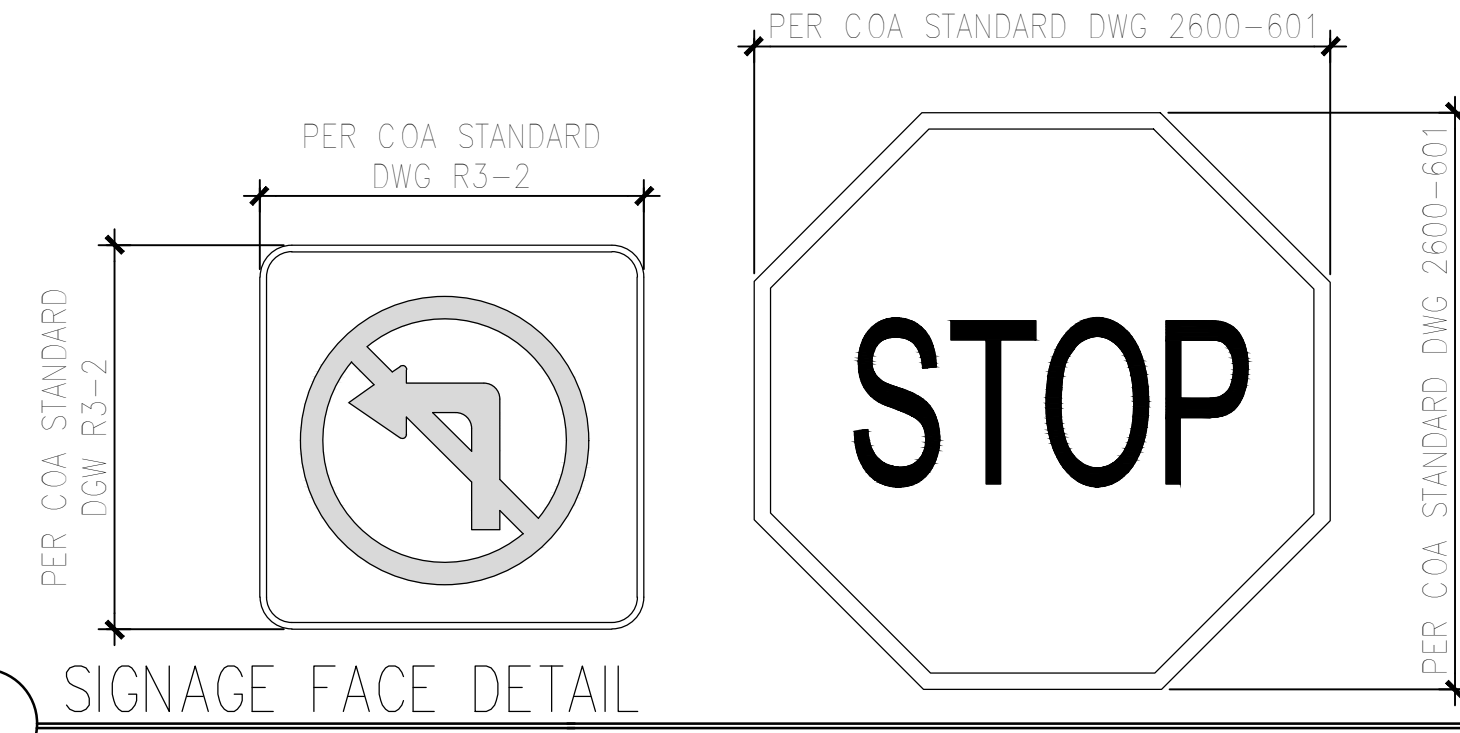
11A MISC. SIGNAGE
N.T.S.



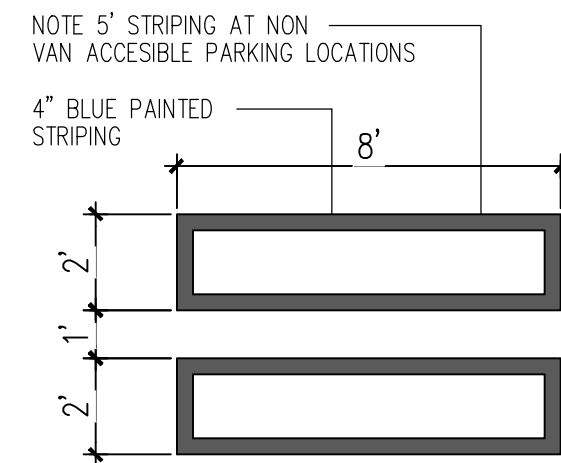
10 H.C SIGNAGE
N.T.S.



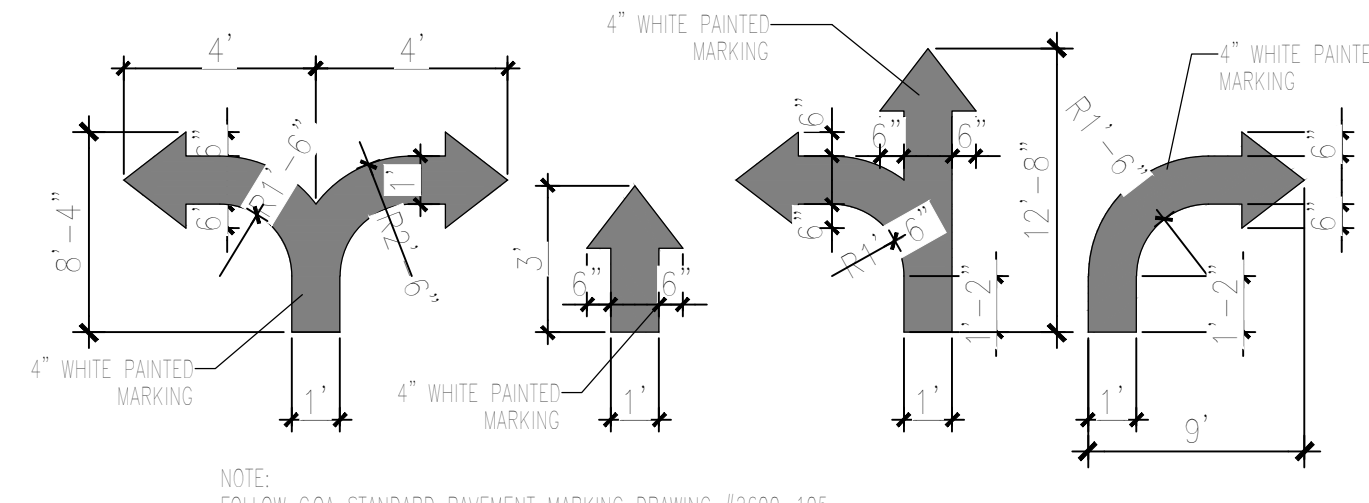
13 H.C PARKING PLAN DETAIL (VAN ACCESIBLE)
N.T.S.



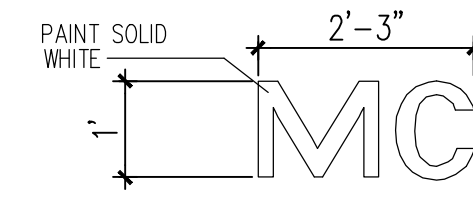
9 SIGNAGE FACE DETAIL
N.T.S.



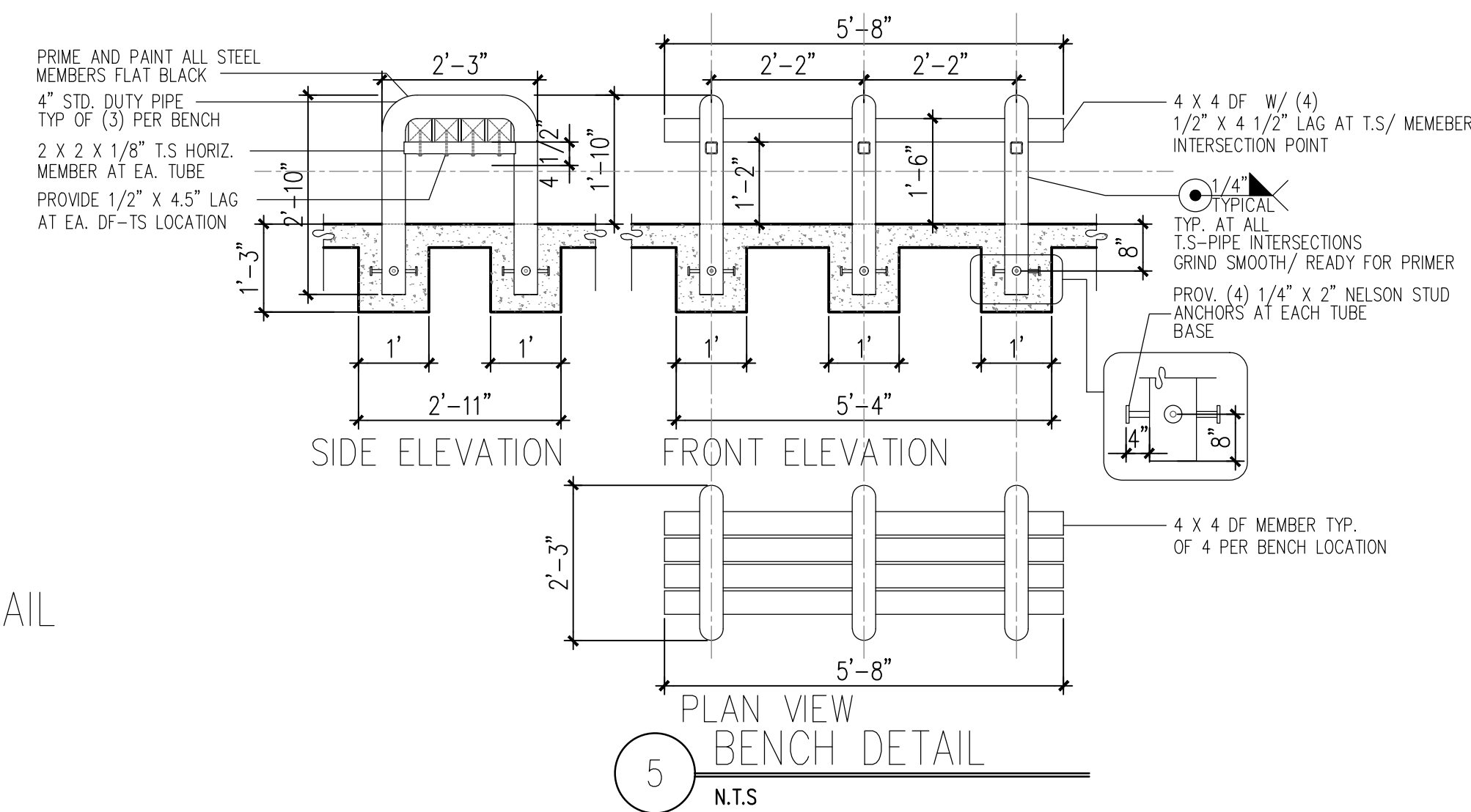
8 H.C PARKING-WALK PAINT DETAIL
N.T.S.



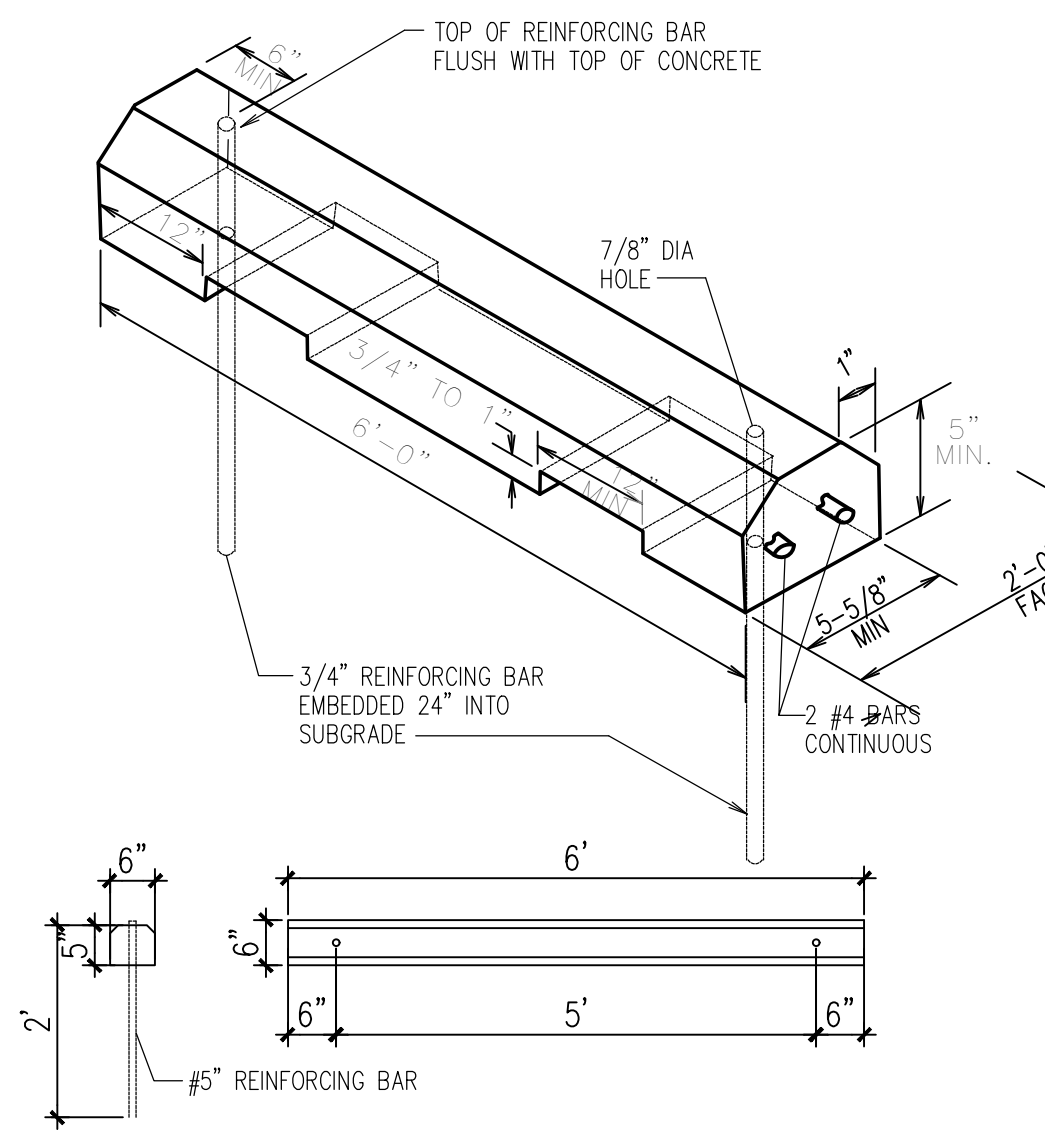
7 SITE DIRECTIONAL PAINT DETAIL
N.T.S.



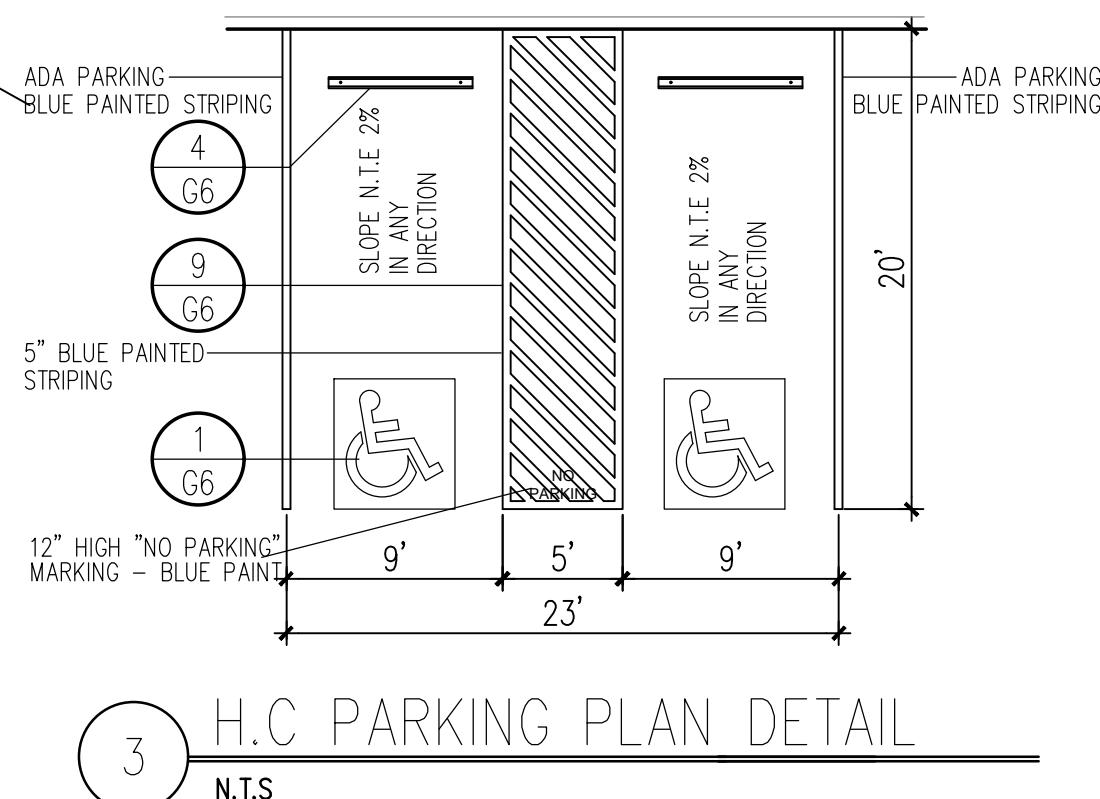
6 MOTORCYCLE PARKING PAINT DETAIL
N.T.S.



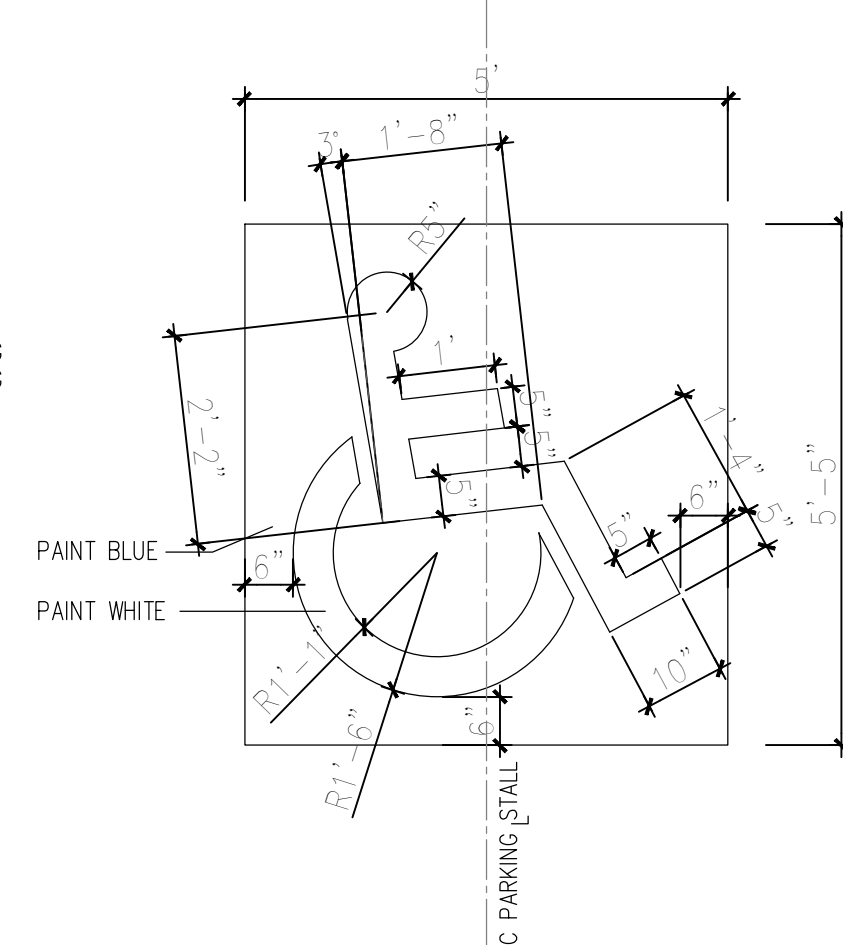
5 BENCH DETAIL
N.T.S.



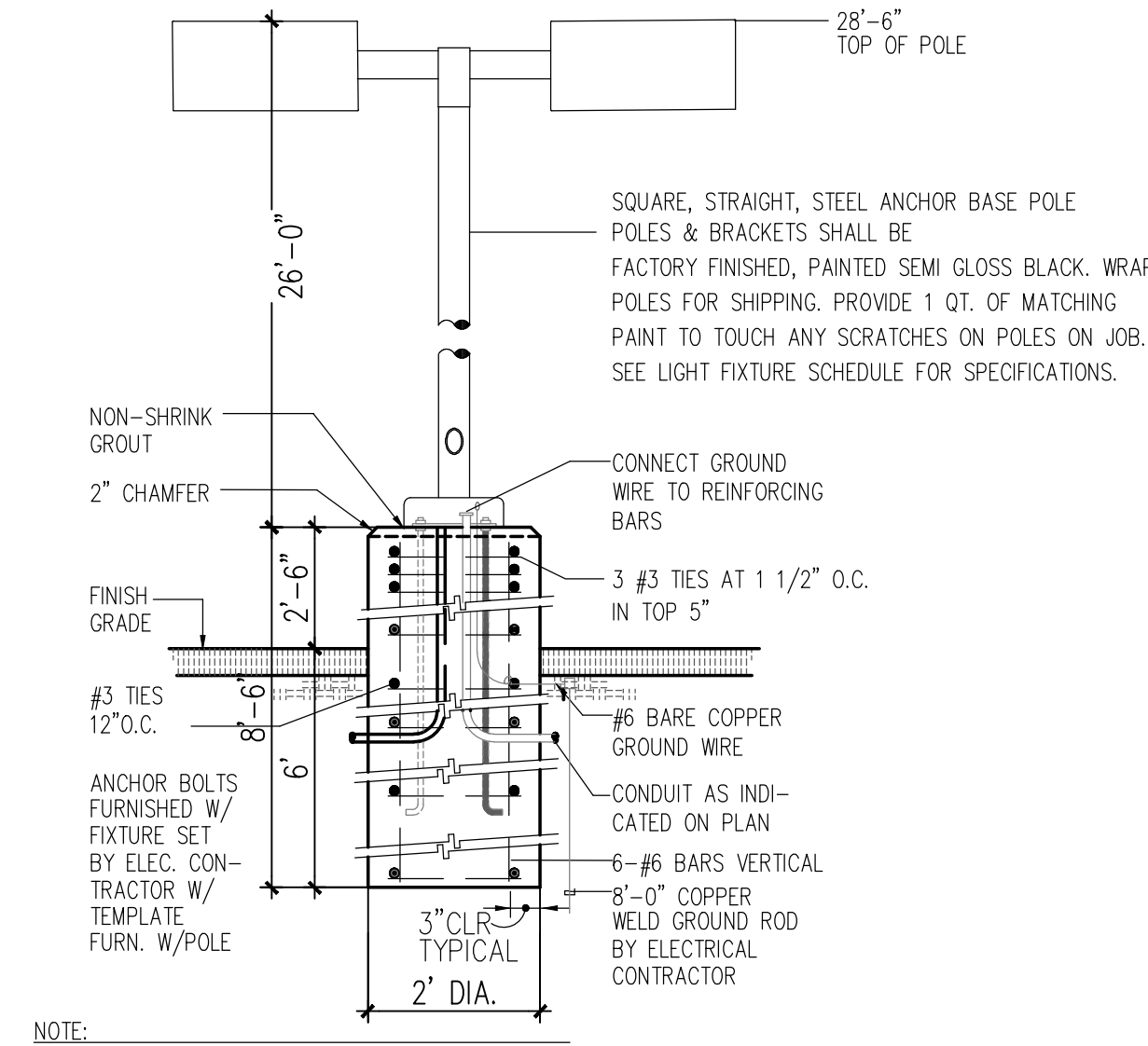
4 WHEEL STOP
N.T.S.



3 H.C PARKING PLAN DETAIL
N.T.S.



2 H.C SIGNAGE
N.T.S.



NOTE:
1. MANUFACTURER SHALL WARRANT THAT THE COMPLETE ASSEMBLY, FIXTURES, POLE, BASE, SHALL WITH STAND MIN. 90 MPH SUSTAINED WIND LOAD OR AS REQUIRED BY LOCAL AGENCY, WHICH EVER IS GREATER.
2. CONTRACTOR SHALL VERIFY THAT ALL CONTRACTOR INSTALLED LIGHTS COMPLY WITH LOCAL CODE REQUIREMENTS
3. SHOULD EXISTING POLE HEIGHT TO BE MATCHED EXCEED 22' GENERAL CONTRACTOR SHALL VERIFY W/ ARCHITECT ADEQUACY OF DESIGN SHOWN PRIOR TO INSTALL

1 LIGHT POLE DETAIL
N.T.S.

REV	DATE	BY	REVISION
A			
A			
A			
A			
A			

MODULUS ARCHITECTS
AND LAND USE/PLANNING
8220 SAN PEDRO DR. N.E. SUITE 520
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
STEPHEN A. DUNBAR
No. 4218
REGISTERED ARCHITECT
06/28/2024

PROJECT TITLE
UNSER CROSSING
CENTRAL AVE SE
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER
STEPHEN DUNBAR, AIA
JOB NO.
DRAWN BY:
S
SHEET TITLE
SITE DETAILS

DATE:
06/28/2024
SCALE:
RE: SCALE
sheet:
G4
of.

