



***Planning Department
Transportation Development Services***

August 14, 2015

Phil Clark
Clark Consulting Engineers
19 Ryan Rd.
Edgewood, NM 8787015

**Re: Tam Le Salon
130 Coors Blvd., NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 8-10-15 (K10-D047)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 8-11-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify and dimension the medians and curb cuts on Coors Blvd. for the proposed building and the existing building to the south. If there are to be no new curb cuts for the proposed building, please detail access pathway from the adjacent property's drive pad on drawing
2. Show all drive aisle widths and radii for the proposed building off of Coors Blvd.
3. Per DPM, the handicap parking spaces are to be a min. of 8.5 ft. wide and 20 ft. in length and there must be 6 ft. clear pedestrian pathway provided to building entrance. Per the submitted drawing, the ADA parking is 18 ft. in length with wheel stops and overhang, for a max. of 16 ft. in length.
4. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
5. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details of ADA ramps from Right Of Way.
6. Design delivery vehicle route needs to be shown.

PO Box 1293

Albuquerque

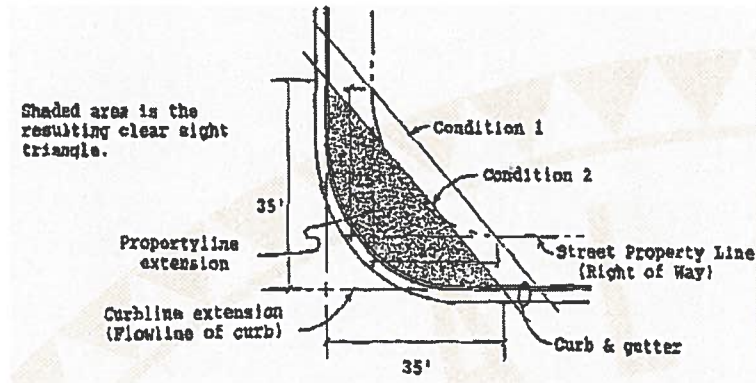
New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



7. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please provide this detail, if a drive pad is to be constructed on Coors Blvd.



8. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
9. Please specify the City Standard Drawing Number when applicable.
10. Please include a copy of your shared access and parking agreement with the adjacent property owner.
11. Work within the public right of way requires a work order with DRC approved plans.
12. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

K10 D047

PROJECT TITLE: Tamke Salon ZONE MAP/DRG. FILE # K-10
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRC-1 Bk. J. Atrisco Village
CITY ADDRESS: 130 Coors BLVD NW

ENGINEERING FIRM: Clark Consulting Engineers CONTACT: Phil
ADDRESS: 19 Ryan Road PHONE: 281-2444
CITY, STATE: Edgewood, New Mexico 87015 ZIP CODE: _____

OWNER: Van Hyls CONTACT: Tuan / Tamke
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Master Works CONTACT: Tina
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: Termetrix NM CONTACT: Phil
ADDRESS: _____ PHONE: (above)
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN 1 copy
- _____ EROSION CONTROL PLAN
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (2 Copies)
- _____ ENGINEER/ARCHITECT CERT (TCL)
- _____ ENGINEER/ARCHITECT CERT (DRB S.P.)
- _____ ENGINEER/ARCHITECT CERT (AA)
- _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TEMP)
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- _____ YES
- _____ NO
- _____ COPY PROVIDED

SUBMITTED BY: One DATE: 8/11/15

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

