

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 12, 2023

Ronald Bohannon, P.E
Tierra West, LLC
5571 Midway Park Pl. NE
Albuquerque, NM 87109

Re: Jiffy Lube/ 130 Coors Blvd. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 01-27-2022 (K10-D047)
Certification dated 12-07-23

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 12-08-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
PAD CERTIFICATION
CONCEPTUAL G&D PLAN
GRADING & DRAINAGE PLAN
DRAINAGE REPORT
DRAINAGE MASTER PLAN
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
TRAFFIC IMPACT STUDY (TIS)
STREET LIGHT LAYOUT
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY
CONCEPTUAL TCL DFT APPROVAL
PRELIMINARY PLAT APPROVAL
FINAL PLAT APPROVAL
SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
SIA/RELEASE OF FINANCIAL GUARANTEE
FOUNDATION PERMIT APPROVAL
GRADING PERMIT APPROVAL
SO-19 APPROVAL
PAVING PERMIT APPROVAL
GRADING PAD CERTIFICATION
WORK ORDER APPROVAL
CLOMR/LOMR
OTHER (SPECIFY) _____

DATE SUBMITTED: _____



TIERRA WEST, LLC

December 7, 2023

Ms. Marwa Al-najjar
Development Review Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: APPROVED TRAFFIC CIRCULATION LAYOUT (TCL) FOR BUILDING
PERMIT CERTIFICATION
REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY
130 COORS BLVD NW ALBUQUERQUE NM 87121**

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Traffic Circulation Layout for issuance of a Permanent Certificate of Occupancy for the project referenced above. This is in substantial compliance as inspected on December 04, 2023, and is in general accordance with the design intent of the Approved Site Plan dated 01/27/2022.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

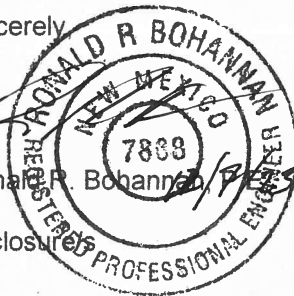
Enclosed, please find the information sheet and the as-built Approved Traffic Circulation Layout. Therefore, we request approval of the as-built Approved Traffic Circulation Layout Permit and issuance of the Permanent Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

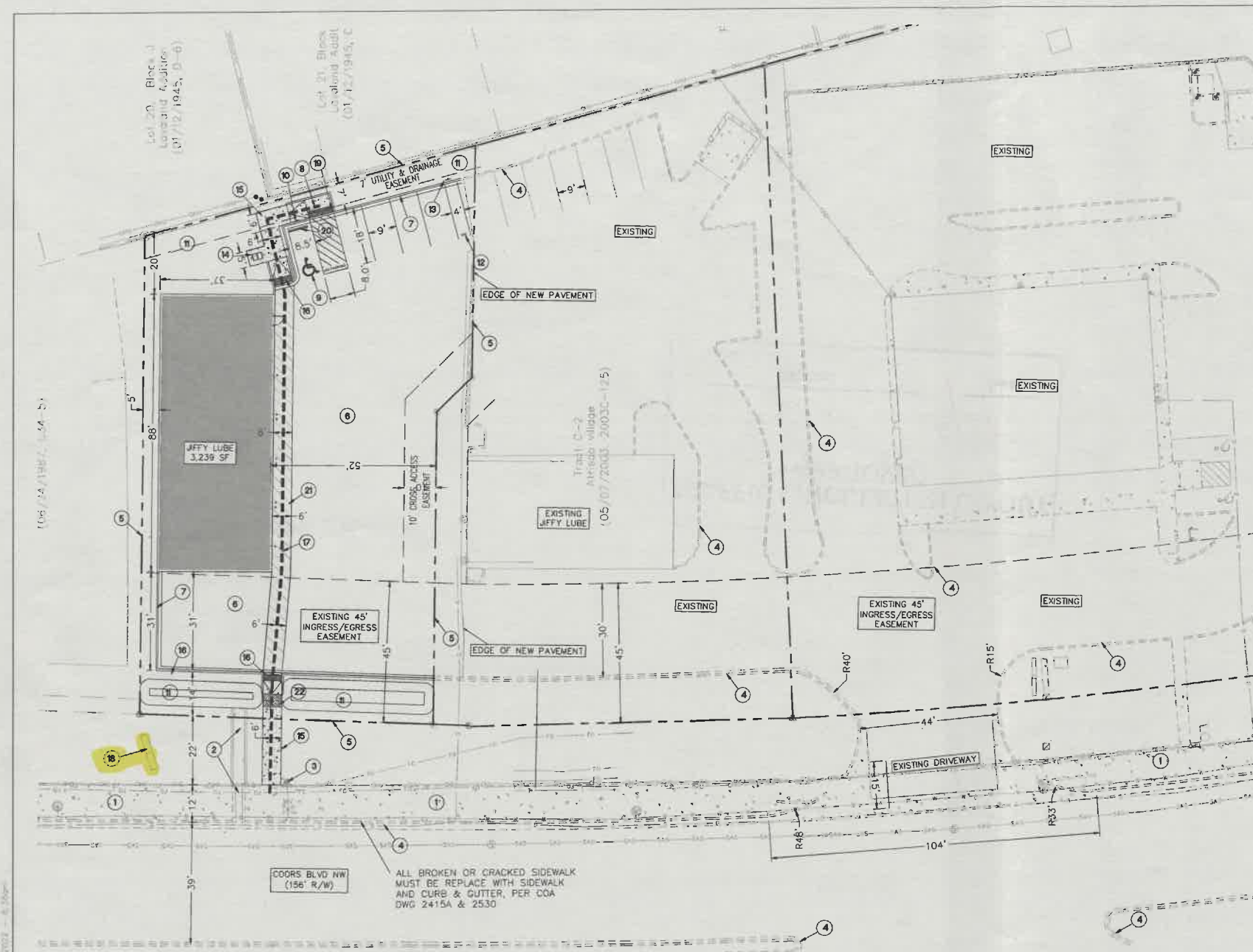
Ronald R. Bohannon

Enclosures



JN: 2021094
RRB/ln/mw

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com



- LEGEND**
- CURB & GUTTER
 - EASEMENT
 - PROPOSED PROPERTY LINE
 - PROPOSED BUILDING
 - SIDEWALK
 - EXISTING STRIPING
 - EXISTING CURB & GUTTER
 - EXISTING SIDEWALK
 - EXISTING HYDRANT

- KEYED NOTES**
- EXISTING SIDEWALK
 - EXISTING SIDEWALK CULVERT AND CONCRETE RUNDOWN
 - EXISTING FIRE HYDRANT
 - EXISTING CURB AND GUTTER
 - PROPERTY LINE
 - SITE ASPHALT PAVEMENT (SEE DETAIL, SHEET C2.1)
 - 6" PRIVATE CURB AND GUTTER (SEE DETAIL, SHEET C2.1)
 - ADA PARKING ACCESSIBLE PATHWAY
 - ADA PARKING PER ADA REQUIREMENTS (SEE DETAIL, SHEET C2.1)
 - ADA NO PARKING SIGN (SEE DETAIL, SHEET C2.1)
 - LANDSCAPE AREA
 - MOTORCYCLE PARKING, ADD PAINT LABEL PER COA CODE (SEE DETAIL, SHEET C2.1)
 - MOTORCYCLE PARKING SIGN (SEE DETAIL, SHEET C2.1)
 - BIKE RACK (SEE DETAIL, SHEET C2.1)
 - SIDEWALK PER COA STD DWG #2430
 - UNIDIRECTIONAL ADA RAMP WITH TRUNCATED DOMES INSTALLED (SEE DETAIL, SHEET C2.2)
 - ADA PUBLIC ACCESSIBLE PATHWAY
 - EXISTING BILLBOARD SIGN
 - PARRALLEL ADA RAMP WITH TRUNCATED DOMES INSTALLED (SEE DETAIL, SHEET C2.2)
 - WHEEL STOP (SEE DETAIL, SHEET C2.2)
 - CROSS WALK (SEE DETAIL, SHEET C2.2)
 - PRIVATE SIDEWALK CULVERT (REFER COA STD DWG 2236)

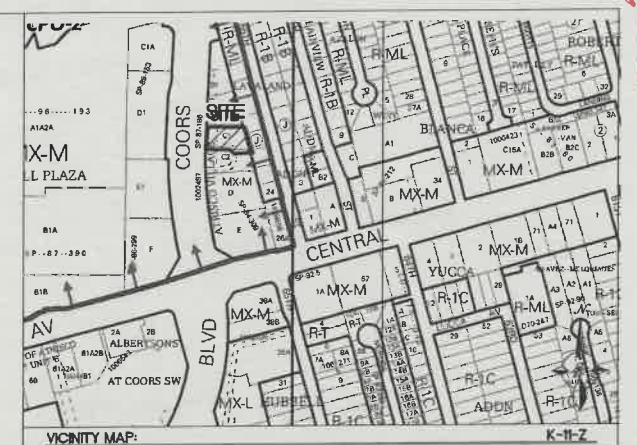
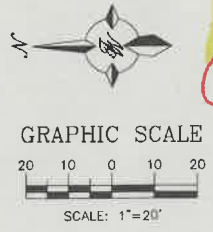
LANDSCAPING NOTE

1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

CONDITION OF FINAL E.O. APPROVAL
THE APPROVED/RECORDED COPY
OF REVOCABLE PERMIT BE
PROVIDED TO OUR
TRANSPORTATION SECTION
(FOR KEYED NOTE 18)

**TRAFFIC CIRCULATION LAYOUT
APPROVED**

Signed _____ Date 2/11/2022 (K10-0047)



LEGAL DESCRIPTION

TR C1 PLAT OF TRACTS C1 & C2 ATRISCO VILLAGE
CONT .3768 AC

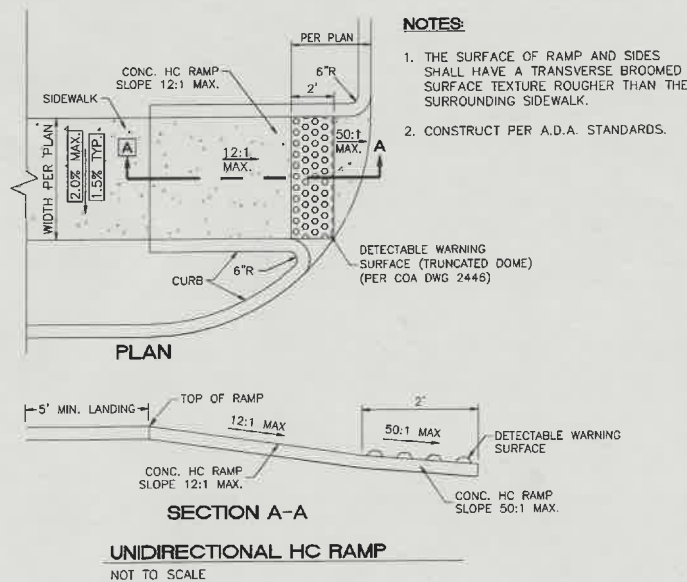
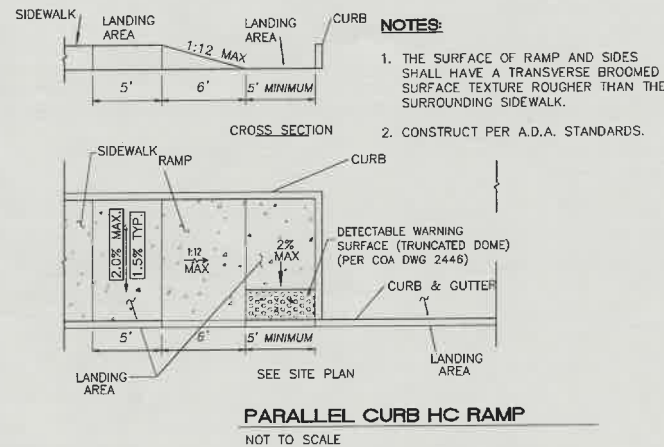
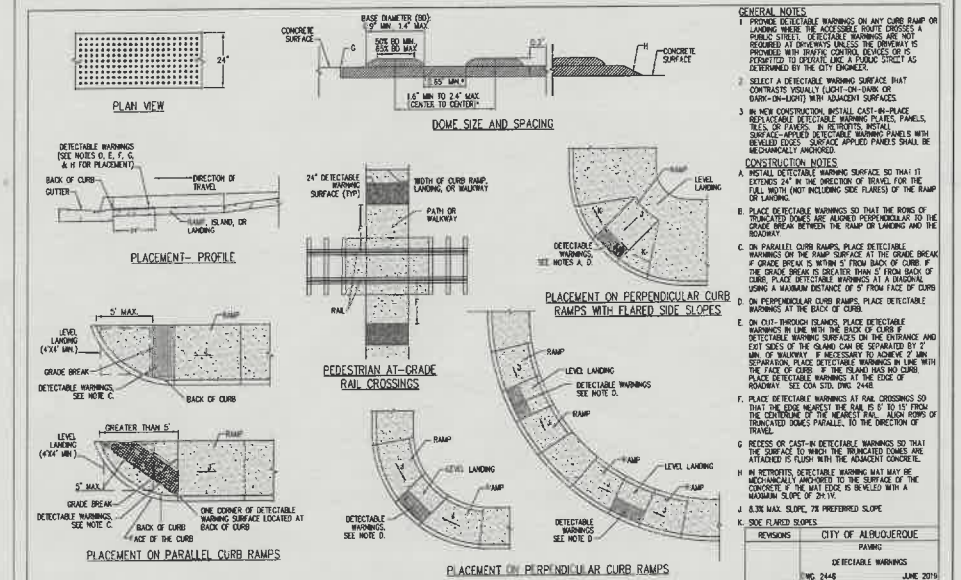
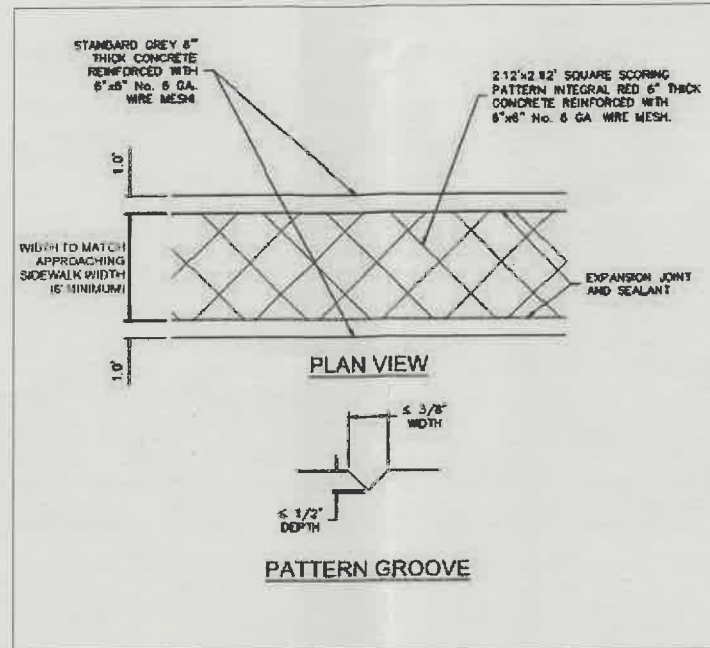
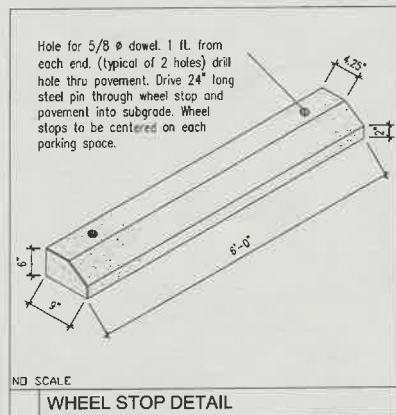
SITE DATA

JIFFY LUBE (LIGHT VEHICLE REPAIR)	
IDO ZONING:	MX-M
PROPOSED USAGE:	BUSINESS
LOT AREA:	16,413 SF (0.3768 ACRE)
BUILDING AREA:	3,239 SF
PARKING: SPACES REQUIRED:	3 (1 SPACES/ 1,000 SF)
PARKING: SPACES PROVIDED:	5 (INCLUDES HC PARKING)
HC PARKING: SPACES REQUIRED:	1
HC PARKING: SPACES PROVIDED:	1
(1 VAN ACCESSIBLE)	
MC PARKING: SPACES REQUIRED:	1
(1 PER 1-25 REQUIRED PARKING SPACES)	
MC PARKING: SPACES PROVIDED:	1
BICYCLE PARKING: SPACES REQUIRED:	3
(3 SPACES OR 10% OF REQUIRED PARKING)	
BICYCLE PARKING: SPACES PROVIDED:	3
LANDSCAPE AREA PROVIDED:	3,373 SF (25%)

- NOTES**
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
 - ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
 - ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
 - ALL SYMBOLS AND ARROWS STRIPING TO BE PREFORMED HOT APPLIED THERMOPLASTIC TAPE.
 - ALL LANE OR LANES STRIPING TO BE PREFORMED HOT APPLIED THERMOPLASTIC TAPE.
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS

	JIFFY LUBE 130 COORS, ALBUQUERQUE	DRAWN BY RMG
	TRAFFIC CIRCULATION LAYOUT (TCL)	DATE 01/24/2022
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2021094-SP
		SHEET # C1
RONALD R. BOHANNAN P.E. #7868		JOB # 2021094

DETERMINED TO NOT BE
OWNED BY PROPERTY OWNER.
BELONGS TO EXTERNAL
ADVERTISEMENT COMPANY.



TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed

Date

ENGINEER'S SEAL	JIFFY LUBE 130 COORS, ALBUQUERQUE	DRAWN BY RMC
RONALD R. BOHANNAN NEW MEXICO 7868	SITE DETAILS	DATE 01/24/2022
01/27/2022	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2021094-DTE
RONALD R. BOHANNAN P.E. #7868		SHEET # C2.2
		JOB # 2021094

K10-D047