

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 29, 2023

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

RE: Jiffy Lube - 130 Coors Blvd NW
30-day Temporary C.O. - Accepted
Engineer's Certification Date: 06/22/23
Engineer's Stamp Date: 03/01/22
Hydrology File: K10D047

Dear Mr. Bohannon:

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Based **solely** on the Certification received 06/23/2023, this letter serves as a “green tag” from Hydrology Section for a **30-day** Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY:

1. Please Resubmit to PLNDRS@cabq.gov when ready with an updated engineer's certification.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to “**Bernalillo County**” for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Jiffy Lube 130 Coors Blvd NW **Building Permit #** _____ **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: TR C1 PLAT OF TRACTS C1 & C2 **City Address OR Parcel** 130 COORS BLVD NW
ATRISCO VILLAGE **UPC:** 101005751432410203

Applicant/Agent: TIERRA WEST, LLC

Contact: Luis Noriega

Address: 5571 Midway Park Place NE Albuquerque, NM 87109

Phone: (505) 858-3100

Email: LNORIEGA@TIERRAWESTLLC.COM

Applicant/Owner: _____

Contact: _____

Address: _____

Phone: _____

Email: _____

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: ☒

RE-SUBMITTAL: YES ☒ NO

DEPARTMENT: TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

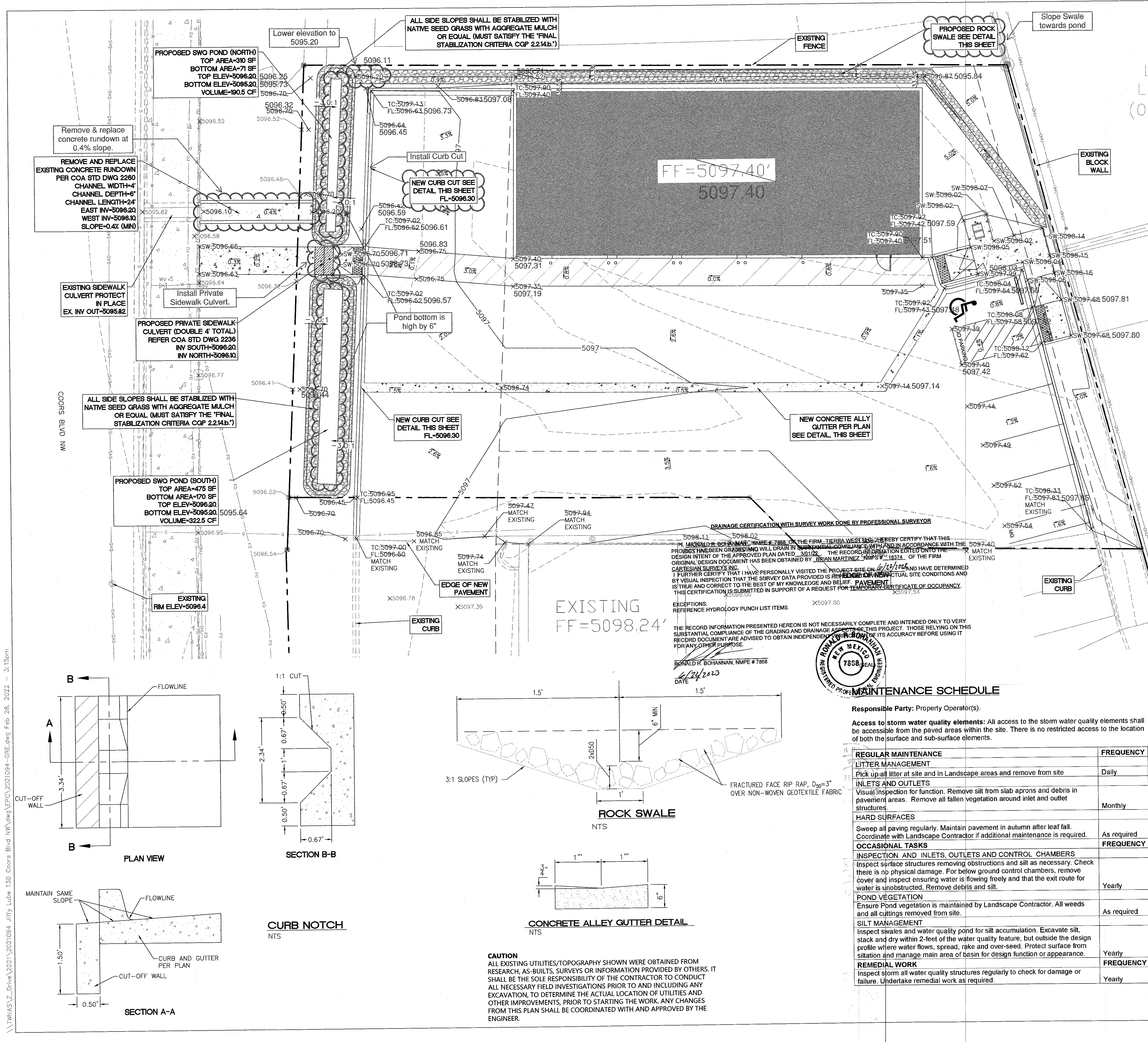
- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY **Temporary**
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 06.22.2023

\\TWS\ASZ_Drive\2021\2021094-GRD.dwg Jiffy Lube 130 Coors Blvd NW.dwg XPC\2021094-GRD.dwg Feb. 28, 2022 - 3:15pm



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- RETAINING WALL
- 5010 --- CONTOUR MAJOR
- 5011 --- CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CONCRETE SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 --- EXISTING CONTOUR MAJOR
- 5011 --- EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION

GRAPHIC SCALE

10 5 0 5 10

SCALE: 1"=10'

- PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR (SPECIAL ORDER "SO-19")**
- BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
 - AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE 95%.
 - MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 - WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
 - FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.

SPOT ELEVATION LEGEND

SW= TOP OF SIDEWALK
TC= TOP OF CURB
FL= FLOW LINE
FF= FINISHED FLOOR

SPOT ELEVATION NOTE:

ALL PROPOSED SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

- NOTE:**
- REFERENCE PROJECT SITE GEOTECHNICAL REPORT BY WESTERN TECHNOLOGIES INC DATED SEPTEMBER 27, 2021 FOR CONSTRUCTION REQUIREMENTS/MINIMUMS
 - REFERENCE LANDSCAPE PLAN FOR FINAL STABILIZATION REQUIREMENTS.

Hydrology Punch List Items:

- Remove & replace concrete rundown at 0.4% slope.
- Install Private Sidewalk Culvert.
- Install Curb Cut
- Pond bottom is high by 6"
- Slope Swale towards pond
- Lower elevation 5096.11 to 5095.20

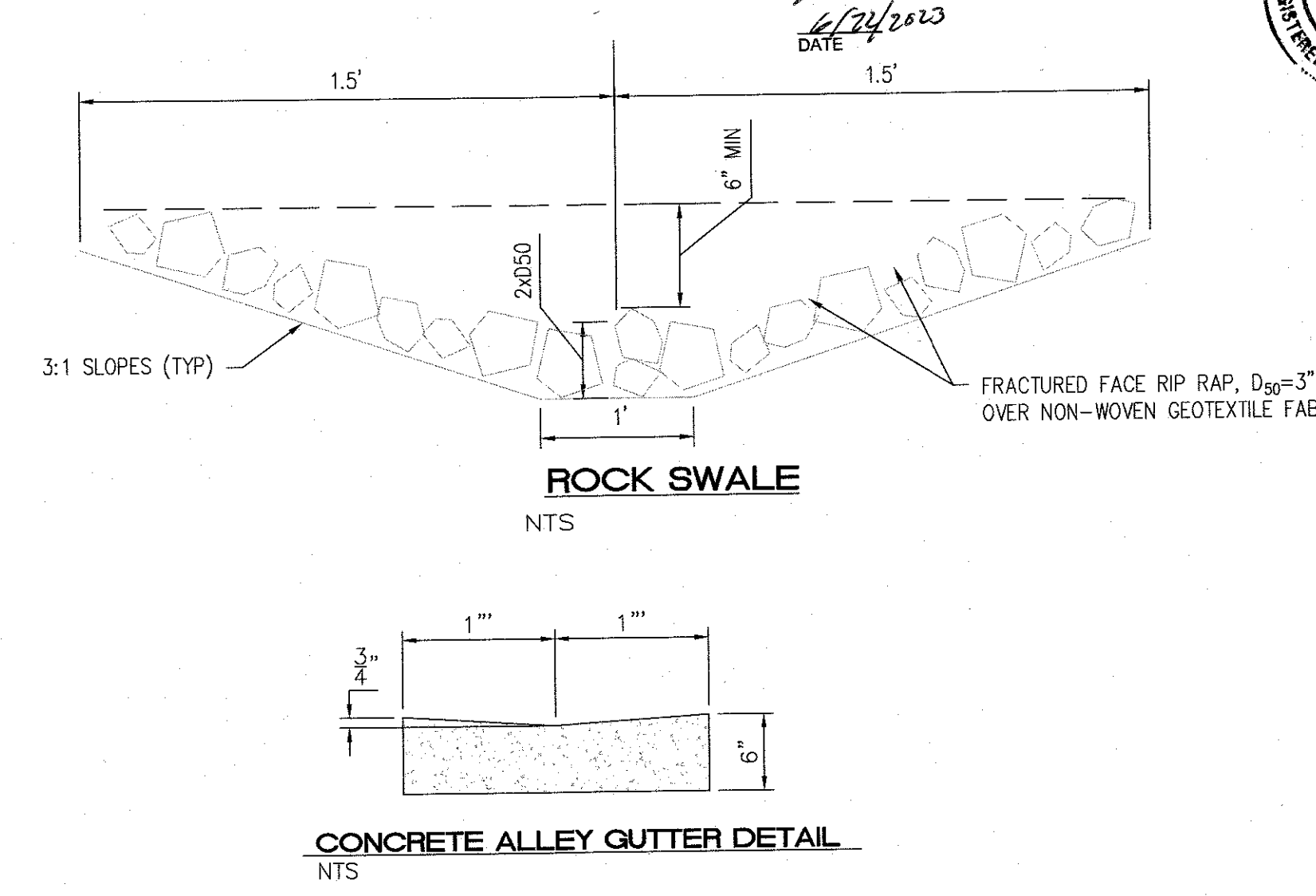
City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 4.12.22
BY: [Signature]
HydroTeam # K10D047

MAINTENANCE SCHEDULE

Responsible Party: Property Operator(s).

Access to storm water quality elements: All access to the storm water quality elements shall be accessible from the paved areas within the site. There is no restricted access to the location of both the surface and sub-surface elements.

REGULAR MAINTENANCE	FREQUENCY
LITTER MANAGEMENT Pick up all litter at site and in Landscape areas and remove from site	Daily
INLETS AND OUTLETS Visual inspection for function. Remove silt from slab aprons and debris in pavement areas. Remove all fallen vegetation around inlet and outlet structures.	Monthly
HARD SURFACES Sweep all paving regularly. Maintain pavement in autumn after leaf fall. Coordinate with Landscape Contractor if additional maintenance is required.	As required
OCCASIONAL TASKS INSPECTION AND INLETS, OUTLETS AND CONTROL CHAMBERS Inspect surface structures removing obstructions and silt as necessary. Check there is no physical damage. For below ground control chambers, remove cover and inspect ensuring water is flowing freely and that the exit route for water is unobstructed. Remove debris and silt.	Yearly
POND VEGETATION Ensure Pond vegetation is maintained by Landscape Contractor. All weeds and all cuttings removed from site.	As required
SILT MANAGEMENT Inspect swales and water quality pond for silt accumulation. Excavate silt, stack and dry within 2-feet of the water quality feature, but outside the design profile where water flows, spread, rake and over-seed. Protect surface from siltation and manage main area of basin for design function or appearance.	Yearly
REMEDIAL WORK Inspect storm all water quality structures regularly to check for damage or failure. Undertake remedial work as required.	Yearly



CAUTION
ALL EXISTING UTILITIES/TOPOGRAPHY SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 03/01/2022	JIFFY LUBE 130 COORS, ALBUQUERQUE	DRAWN BY RMG
	GRADING & DRAINAGE PLAN	DATE 02/28/2022
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2021094-GRD
		SHEET # C2.2

JOB #
2021094