

CITY OF ALBUQUERQUE



July 15, 2009

Jean J. Bordenave, P.E.
Bordenave Designs
P.O. Box 91194
Albuquerque, NM 87199

**Re: Peerless Tires, 7408 Central Ave. SW,
(K-10/D052), Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Dated: 05-28-08
Engineer's Certification Date: 8-21-09**

Dear Mr. Bordenave,

PO Box 1293

Based upon the information provided on 08/21/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Peerless Tires ZONE MAP: K10/D052
DRB#: --- EPC#: --- WORK ORDER#: ---

LEGAL DESCRIPTION: Portion of Tract 53, Unit 6, Town of Atrisco Grant
CITY ADDRESS: 7408 Central Ave. SW

ENGINEERING FIRM: Bordenave Designs CONTACT: J. Bordenave
ADDRESS: PO Box 91194 PHONE: 823-1344
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Peerless Tires CONTACT: S. Forbes
ADDRESS: 5000 Kingston St. PHONE: (303)371-4300
CITY, STATE: Denver, CO ZIP CODE: 80239-2522

ARCHITECT: G. Donald Dudley CONTACT: D. Dudley
ADDRESS: 400 Gold Ave. SW PHONE: 243-8100
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Harris Surveying, Inc. CONTACT: T. Harris
ADDRESS: 2412-D Monroe NE PHONE: 889-8056
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

CONTRACTOR: Faulkner Realty & Builders, Inc. CONTACT: G. Faulkner
ADDRESS: --- PHONE: 435-4207
CITY, STATE: Albuquerque, NM ZIP CODE: ---

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) ---

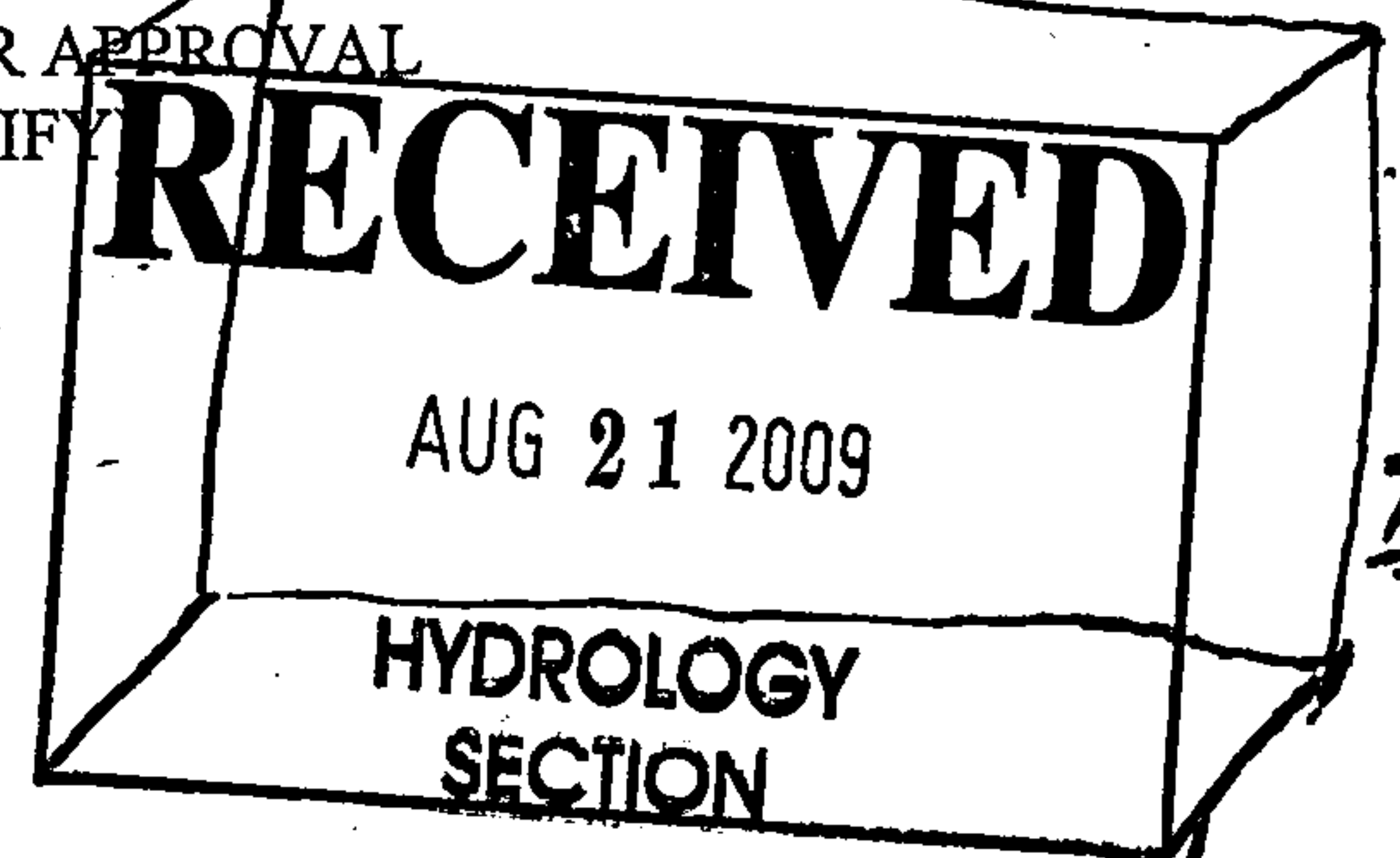
CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) ---

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: August 21, 2009 BY: Jake Bordenave

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 19, 2009

Donald G. Dudley, Registered Architect
G Donald Dudley Architect LTD
Sims Tower Studio 850
400 Gold Avenue SW
Albuquerque, NM 87102

Re: Certification Submittal for Permanent Certificate of Occupancy for
Peerless Tire II (K-10/D052)
7408 Central Avenue, SW
Engineer's/Architect's Stamp dated 08-17-09

Dear Mr. Dudley,

PO Box 1293

The TCL / Letter of Certification submitted on August 19, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

NM 87103

Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: Hydrology file
CO Clerk
Engineer

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: PEERLESS TIRE ZONE MAP: K-10/D052
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION:

CITY ADDRESS: 7408 CENTRAL AVE, SW

ENGINEERING FIRM:

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

OWNER:

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: DUDLEY ARCHITECTS

ADDRESS: 400 GOLD, SW #850

CITY, STATE: ALBUQUERQUE, NM 87102

CONTACT: DON DUDLEY

PHONE: 243-8100

ZIP CODE: 87102

SURVEYOR:

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR:

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION CONTROL PLAN
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- ☒ X TRAFFIC CIRCULATION LAYOUT
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- ☒ X CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TEMP)
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

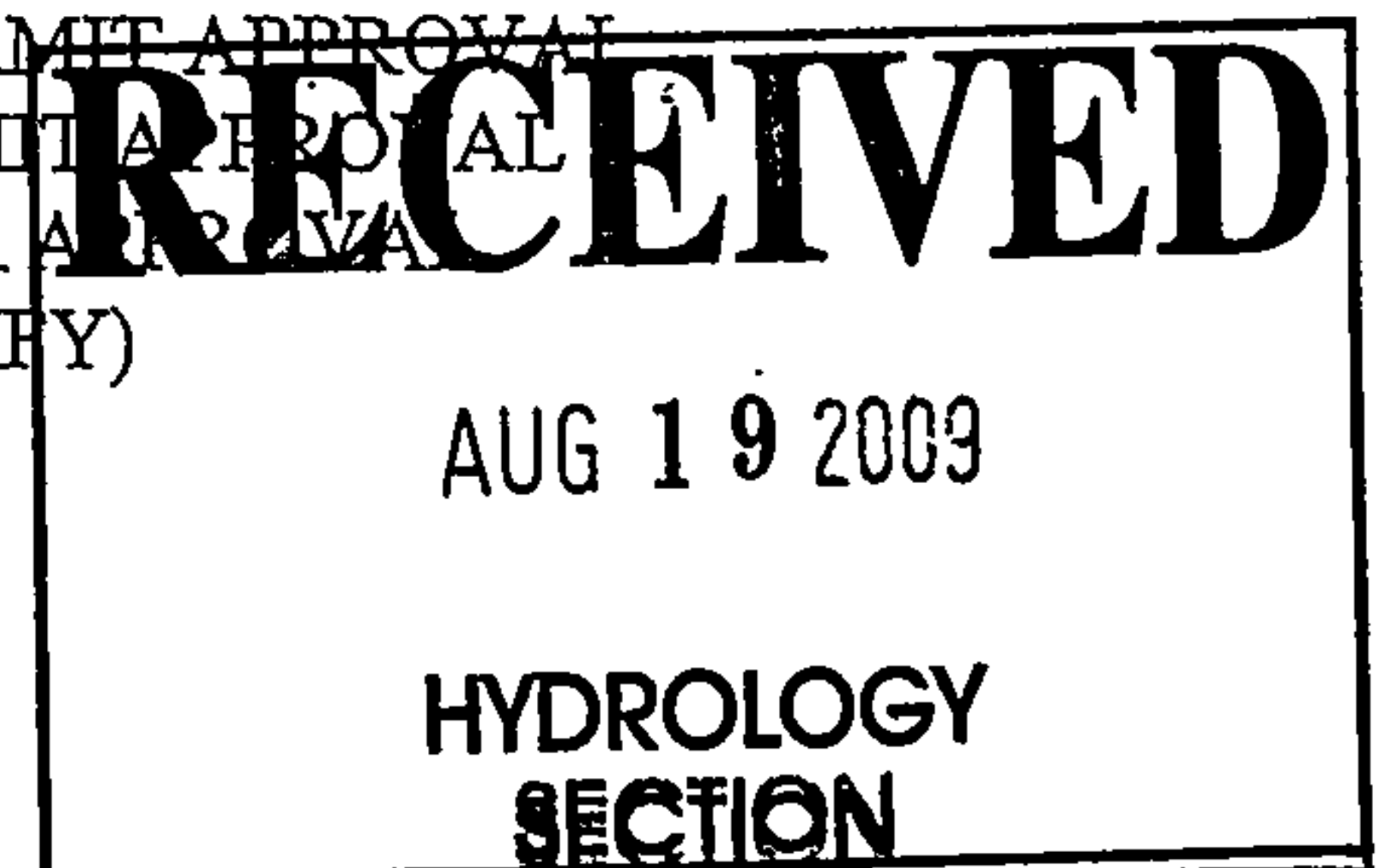
- ☒ X YES
- _____ NO
- _____ COPY PROVIDED

DATE SUBMITTED: 8/19/2009

BY: DON DUDLEY

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August 17, 2009

City of Albuquerque
Planning Department
Development & Building Services Division
600 2nd Street, NW
Albuquerque, NM 87102

Project: **Peerless Tires**
Tire and Fuel Store
7408 Central Avenue, SW
Albuquerque, NM 87121

RE: TRAFFIC CERTIFICATION

I, **DON DUDLEY**, NEW MEXICO REGISTERED ARCHITECT OF THE FIRM **G. DONALD DUDLEY ARCHITECT, LTD.** HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 5/9/08. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY **DON DUDLEY** OF THE FIRM **G. DONALD DUDLEY ARCHITECT, LTD.** I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEVERAL OCCASIONS WHILE UNDER CONSTRUCTION AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR **CERTIFICATE OF OCCUPANCY**.

I AM REQUESTING THE FOLLOWING QUALIFICATIONS FOR THIS PROJECT.

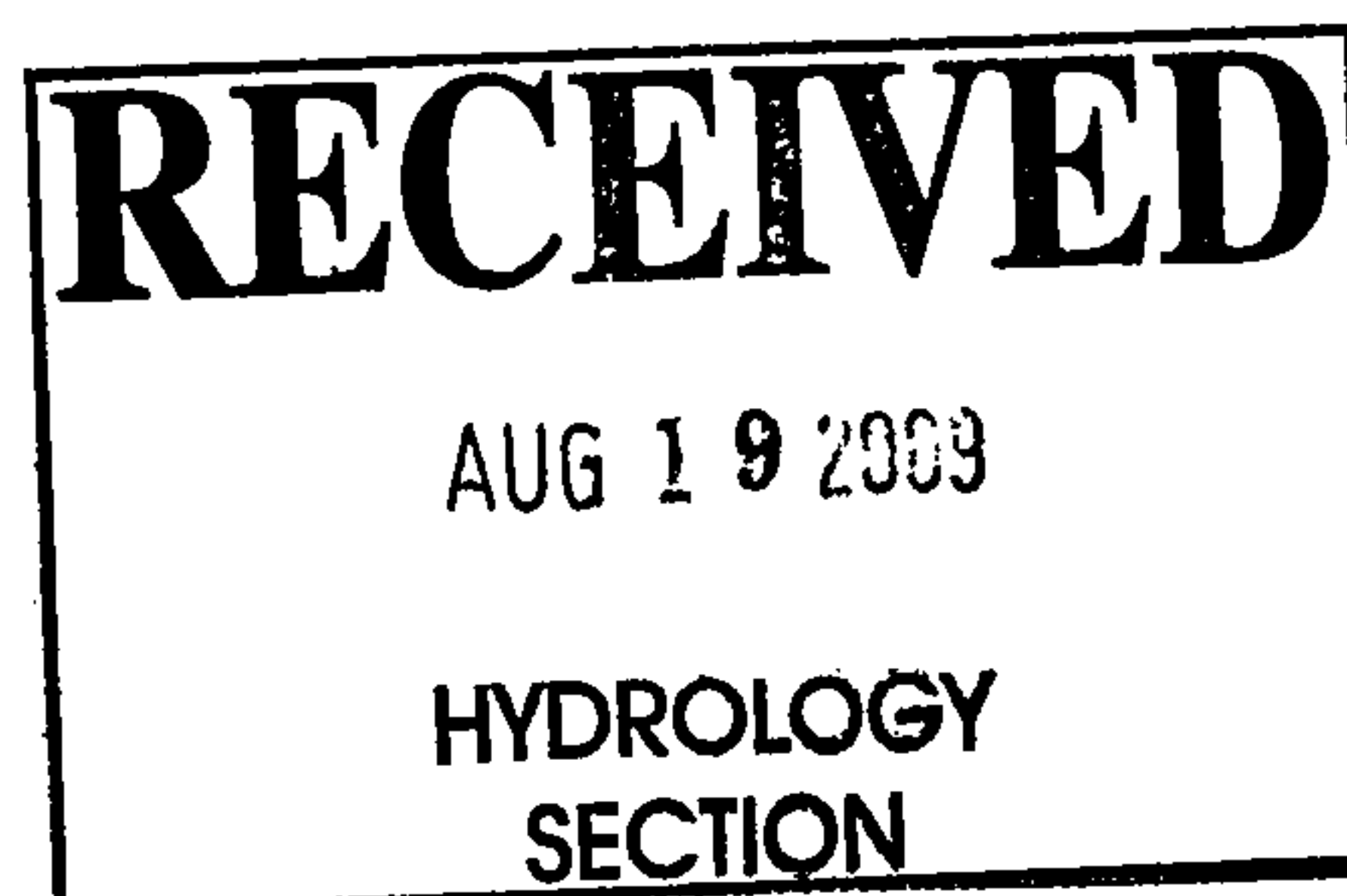
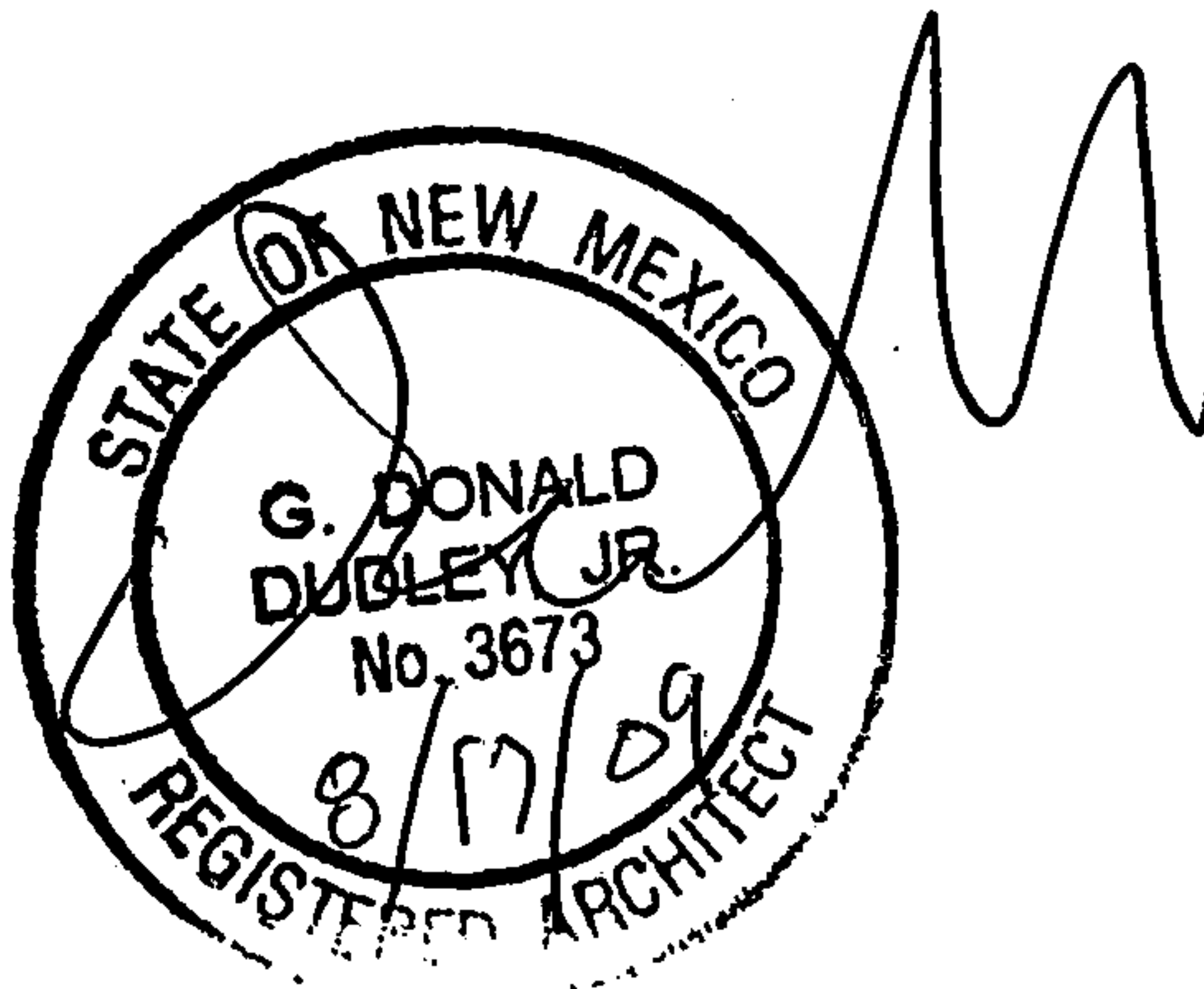
- 1) PER THE APPROVED SITE PLAN, PARKING SPACE NUMBER 18 WAS ELIMINATED. THE FOUR CONTRIBUTING PARKING SPACES AT THE FUEL ISLANDS WERE NOT COUNTED IN THE ORIGINAL TCL SUBMITTAL. THE REQUIRED PARKING SPACES FOR THIS PROJECT IS 16 SPACES. THE CURRENT COUNT IS 21 SPACES. THE PROJECT IS OVERPARKED BY 5 SPACES.

I HAVE OBSERVED THE FOLLOWING REQUIRED CORRECTIONS:

- 1) NONE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

simms tower studio 850
400 gold avenue s w
albuquerque new mexico 87102
u s a
t 505 243 8100
f 505 243 8101
e studio@dondudleydesign.com
DONDUDLEYDESIGN.COM



CITY OF ALBUQUERQUE



May 9, 2008

G. Donald Dudley, R.A.
Simms Tower Studio 850
400 Gold Ave. SW
Albuquerque, NM 87102

Re: Peerless Tires, 7408 Central Avenue SW, Traffic Circulation Layout
Architect's Stamp dated 4-21-08 (K10-D052)

Dear Mr. Dudley,

The TCL submittal received 4-28-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

NM 87103

www.cabq.gov

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: PEERLESS TIRES ZONE MAP: K-10/D052
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 7408 CENTRAL AVE, SW 87121

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: DON DUDLEY CONTACT: DON DUDLEY
ADDRESS: 400 GOLD AVE, SW #850 PHONE: 243-8100
CITY, STATE: ABC, NM 87102 ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

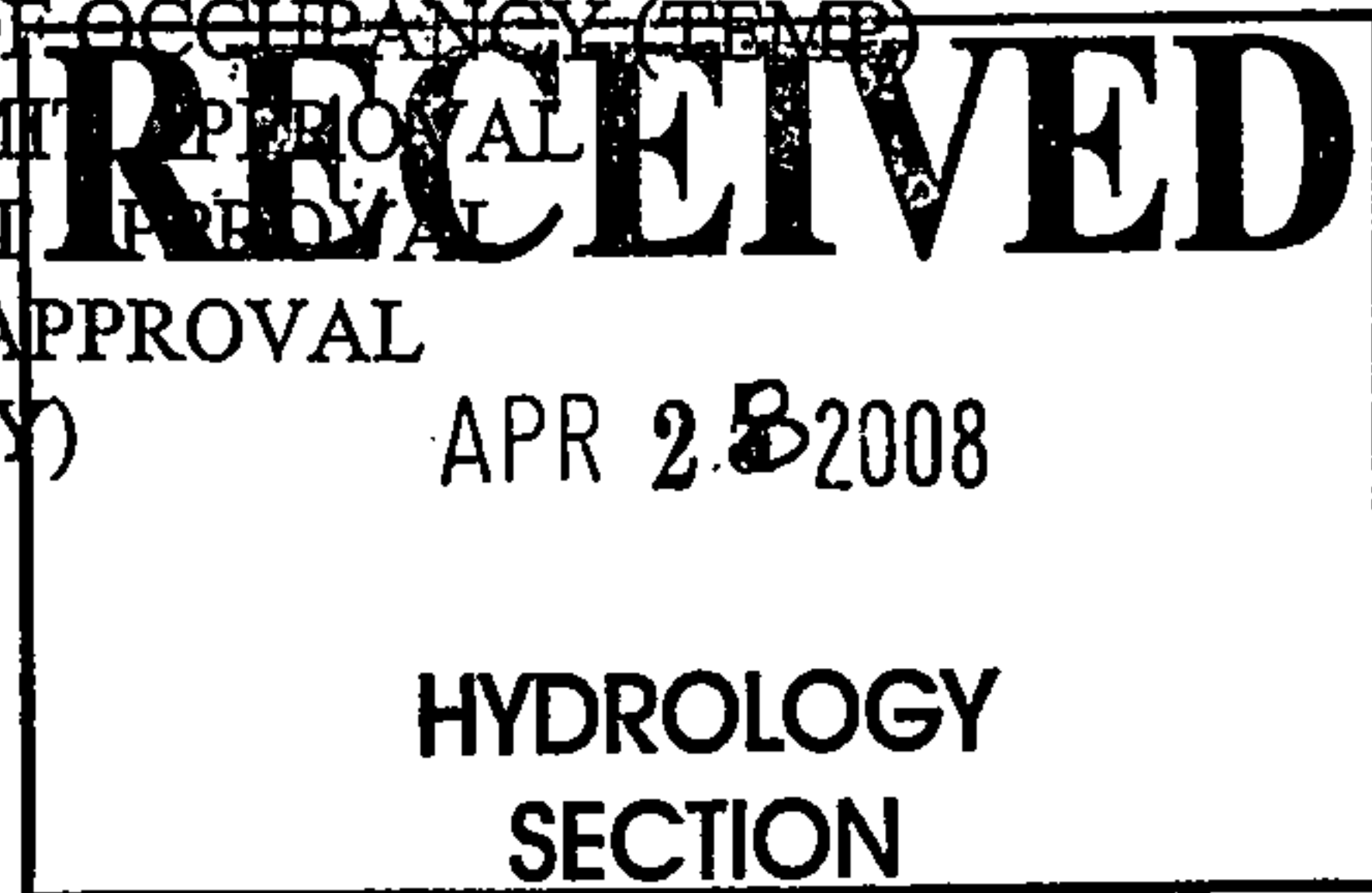
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 4/25/08 BY: DON DUDLEY

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



April 3, 2008

G. Donald Dudley, R.A.
400 Gold Avenue SW
Simms Tower Studio 850
Albuquerque, NM 87102

**Re: Peerless Tires, 7408 Central Ave SW, Traffic Circulation Layout
Architect's Stamp dated X-XX-XX (K-10/D052)**

Mr. Dudley,

Based upon the information provided in your submittal received 3-13-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
- ~~2. Additional information is needed for Central Avenue: show the property line, provide the sidewalk width, identify existing conditions verses proposed work.~~
- ~~3. The gas pumps conflict with traffic flow, these pumps will need to be removed.~~
- 4. Please show a vicinity map.
- 5. Work in City Right-of-Way must have build notes referring to the appropriate City Standard Drawing Number.
- 6. Ensure all ramps meet current ADA standards. A detail will be needed for all ramps. Show all ramps along Central Avenue.
- 7. Define width of the existing sidewalk.
- ~~8. Include the six foot wide ADA accessible pedestrian pathway.~~

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: PEERLESS TIRES ZONE MAP: K-10/52
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1 BLANCOS ADDITION PORTION OF TRACT #53, UNCL #6
CITY ADDRESS: 7408 CENTRAL AVE SW, ABQ, NM 87121

ENGINEERING FIRM: BORDENVALE ENG. CONTACT: JOE BORDENVALE
ADDRESS: 7112 HOLLIS ST, NE PHONE: 823-1344
CITY, STATE: ABQ, NM ZIP CODE: 87109

OWNER: PEERLESS TIRE CONTACT: JEFF FORBES
ADDRESS: 5000 KINGSTON ST PHONE: 303-371-4300
CITY, STATE: DEWULF, CO ZIP CODE: 80239

ARCHITECT: DUDLEY ARCHITECTS CONTACT: DON DUDLEY
ADDRESS: 400 GOLD SW #850 PHONE: 243-8100
CITY, STATE: ABQ, NM ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING CONTACT: TONY HARRIS
ADDRESS: 2412-D MONROE ST, NE PHONE: 889-8056
CITY, STATE: ABQ, NM ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

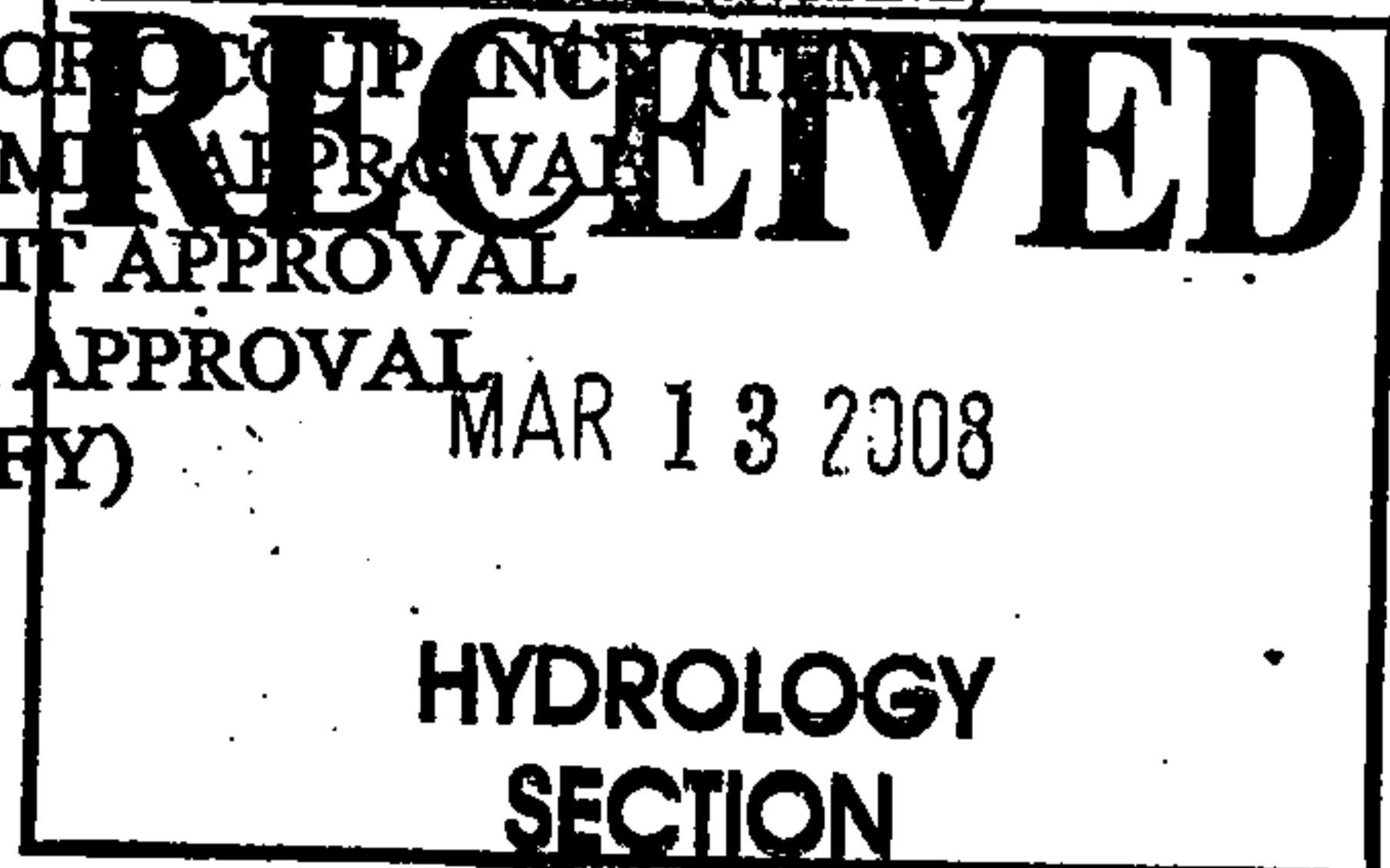
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 3/13/08 BY: DON DUDLEY

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✓ Add'l info needed for Central Ave - show
PL, SW width, proposed vs. exist,

~~Call out dist from A to entrance~~

✓ Gas pumps conflict w/ traffic flow; remove

✓ Need map

✓ All work in City ROW must have brief
notes referring to appropriate City Std

✓ Show all ramps at Central Ave

✓ Show 6' wide, ADA accessible ped
pathway

✓ Call out width of all SW

✓ STAMP PLAN

CITY OF ALBUQUERQUE



May 30, 2008

J. Bordenave, P.E.
Bordenave Designs
PO Box 91194
Albuquerque, NM 87109

Re: Peerless Tire, 7408 Central Ave. SW, Grading and Drainage Plan
Engineer's Stamp dated 05-28-08 (K-10/D052)

Dear Mr. Bordenave,

Based upon the information provided in your re-submittal received 05-29-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

P.O. Box 1293

Albuquerque

C: File
New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Peerless Tires ZONE MAP: K10 / D052
DRB#: --- EPC#: --- WORK ORDER#: ---

LEGAL DESCRIPTION: Portion of Tract 53, Unit 6, Town of Atrisco Grant
CITY ADDRESS: 7408 Central Ave. SW

ENGINEERING FIRM: Bordenave Designs CONTACT: J. Bordenave
ADDRESS: PO Box 91194 PHONE: 823-1344
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Peerless Tires CONTACT: S. Forbes
ADDRESS: 5000 Kingston St. PHONE: (303)371-4300
CITY, STATE: Denver, CO ZIP CODE: 80239-2522

ARCHITECT: G. Donald Dudley CONTACT: D. Dudley
ADDRESS: 400 Gold Ave. SW PHONE: 243-8100
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Harris Surveying, Inc. CONTACT: T. Harris
ADDRESS: 2412-D Monroe NE PHONE: 889-8056
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

CONTRACTOR: Unknown CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

TYPE OF SUBMITTAL:

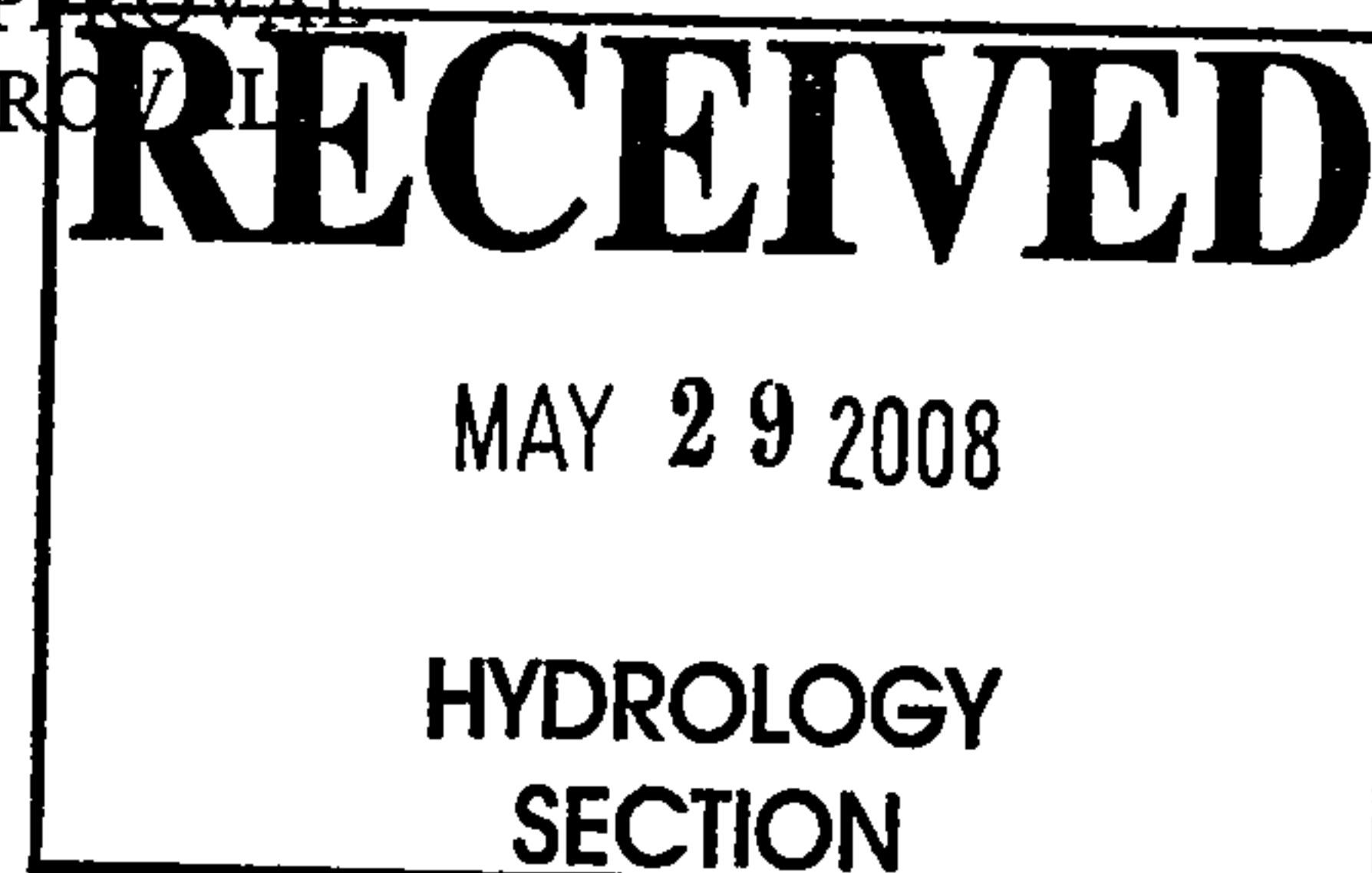
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
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☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

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☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
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☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: May 29, 2008 BY: Jake Bordenave

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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May 28, 2008

City of Albuquerque
Planning Dept., Development & Building Services
PO Box 1293
Albuquerque, NM 87102

Attn: Nilo Salgado-Fernandez, PE
Re: K10/D052, Peerless Tire

Dear Sir,

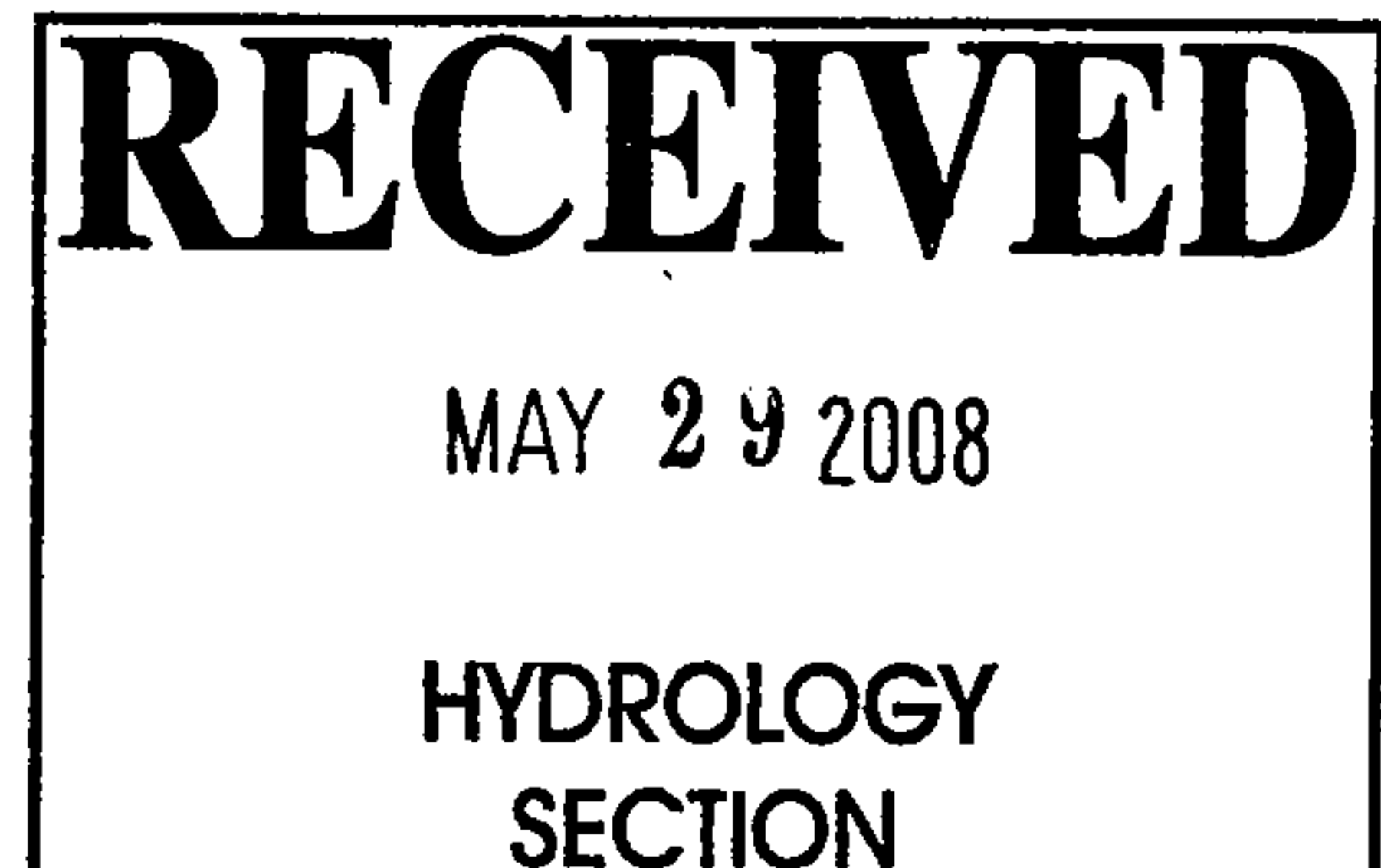
The following is written in response to your comments (dated 05/16/08) on the subject project.
The responses are in the same order as your comments.

1. There are no offsite flows entering the site. This statement has been added to Drainage Data note number 1. The Offsite Drainage Map is shown because there has been discussion about how the drainage from the site and Central Ave. exits the area. Additional information about this subject and paved area between the site and Central Ave. can be obtained from Mr. Bingham and Ms. Metro.
2. Spot elevations have been added in the onsite landscape areas. As noted in Keyed Notes number 4 & 5, the entrance area 'curb' and 'valley gutter' are to match the existing pavement grades.
3. The number in the balloon is incorrect. It has been changed to number 1.
4. Roof drainage directions and rundown locations have been added to the plan.
5. The rainfall zone has been added to Drainage Data note number 2.

Thank you for your review and comments.

Sincerely,

Jean J (Jake) Bordenave



P.O. Box 91194
Albuquerque, NM 87199-1194
Phone (505)823-1344 Fax (505)821-9105 Cell 480-6812
Email jakebordenave@mindspring.com

PROPOSED

REVISED 11-20-07

TOTAL AREA (acre)	1.50	Allowable Discharge (cfs)	5.43
Precipitation Zone	1	Allowable Discharge Vol. (ft ³)	-17809
TOTAL AREA (ft ³)	22920	Required Pond Volume (ft ³)	21304

Treatment Type	Acreage	Square Footage	Treatment %
A	0.00	0	0.0%
B	0.06	2,464	10.8%
C	0.00	0	0.0%
D	0.47	20,456	89.3%

6-hour Storm	Peak Method	Rational Method
100-year Peak Discharge (cfs)	2.17 ✓	2.17
10-year Peak Discharge (cfs)	1.40 ✓	1.40
2-year Peak Discharge (cfs)	0.80 ✓	0.80

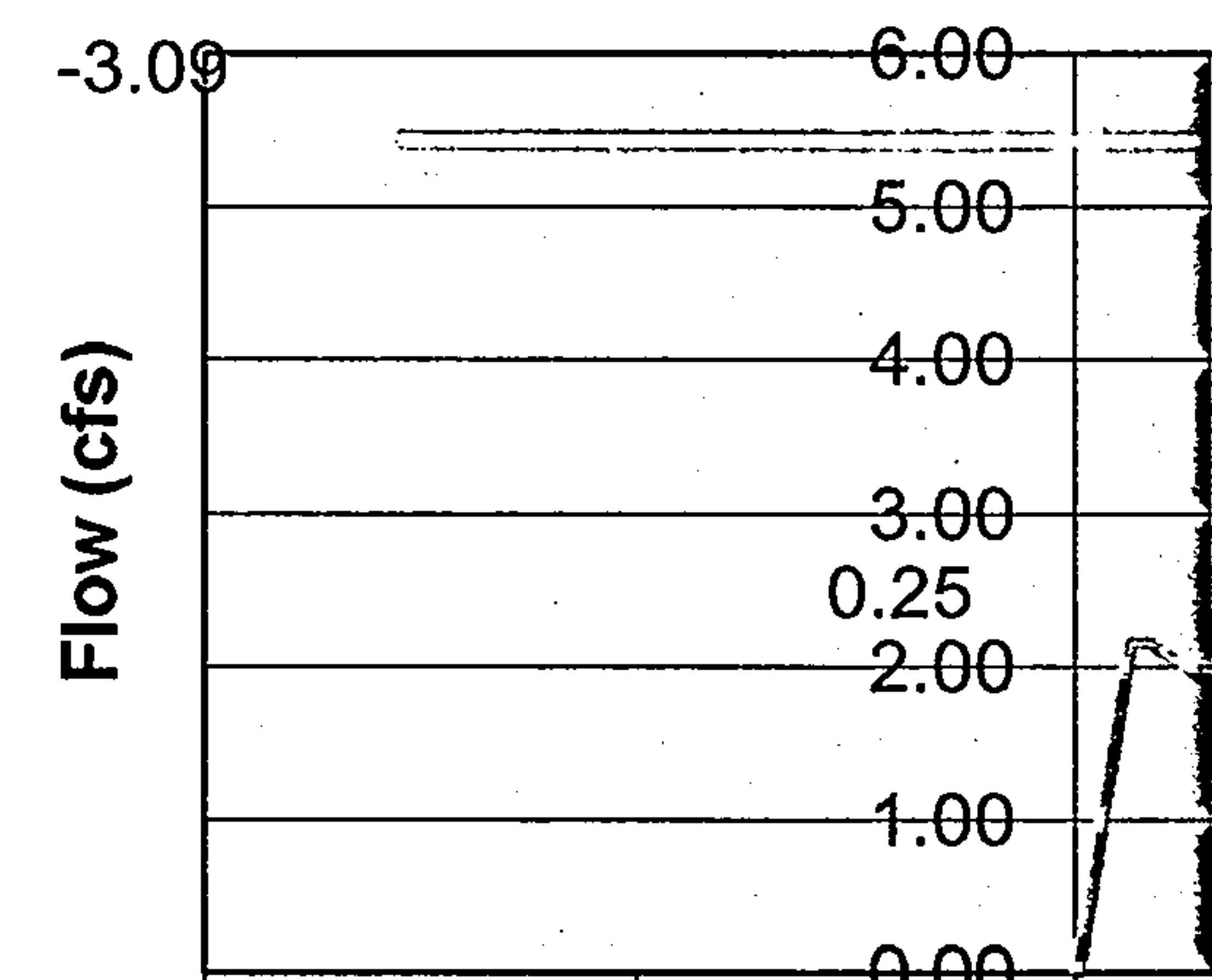
Excess Precipitation (in.) 100-year	1.83 ✓
Excess Precipitation (in.) 10-year	1.13 ✓
Excess Precipitation (in.) 2-year	0.64 ✓

100-year 6-hr Runoff Volume (acre-feet, ft ³)	0.08 ✓	3,496 ✓
10-year 6-hr Runoff Volume (acre-feet, ft ³)	0.05 ✓	2,159 ✓
2-year 6-hr Runoff Volume (acre-feet, ft ³)	0.03 ✓	1,229

P _{1-hr} (in.)	1.87
P _{6-hr} (in.)	2.20
P _{24-hr} (in.)	2.66
P _{4-day} (in.)	3.12
P _{10-day} (in.)	3.67

100-year 10-day Runoff Volume (acre-feet, ft ³)	0.14 ✓	6,002
100-year 4-day Runoff Volume (acre-feet, ft ³)	0.12 ✓	5,064
100-year 24-hr Runoff Volume (acre-feet, ft ³)	0.10 ✓	4,280

Hydrograph (1



100yr, 6hr 2159 ft³

10yr, 6hr 3496 ft³

2yr, 6hr 1229

$$(2.20)(.434) = \frac{0.95}{12} \times$$

$$\frac{.07}{12} \times 43,500$$

EXISTING

REVISED 11-20-07

TOTAL AREA (acre)	1.50	Allowable Discharge (cfs)	5.43
Precipitation Zone	1	Allowable Discharge Vol. (ft ³)	-23747
TOTAL AREA (ft ³)	22920	Required Pond Volume (ft ³)	26747

Treatment Type	Acreage	Square Footage	Treatment %
A	0.00	0	0.0%
B	0.09	4,126	18.0%
C	0.09	3,851	16.8%
D	0.34	14,935	65.2%

6-hour Storm	Peak Method	Rational Method
100-year Peak Discharge (cfs)	1.94 ✓	1.94
10-year Peak Discharge (cfs)	1.19 ✓	1.19
2-year Peak Discharge (cfs)	0.62	0.63

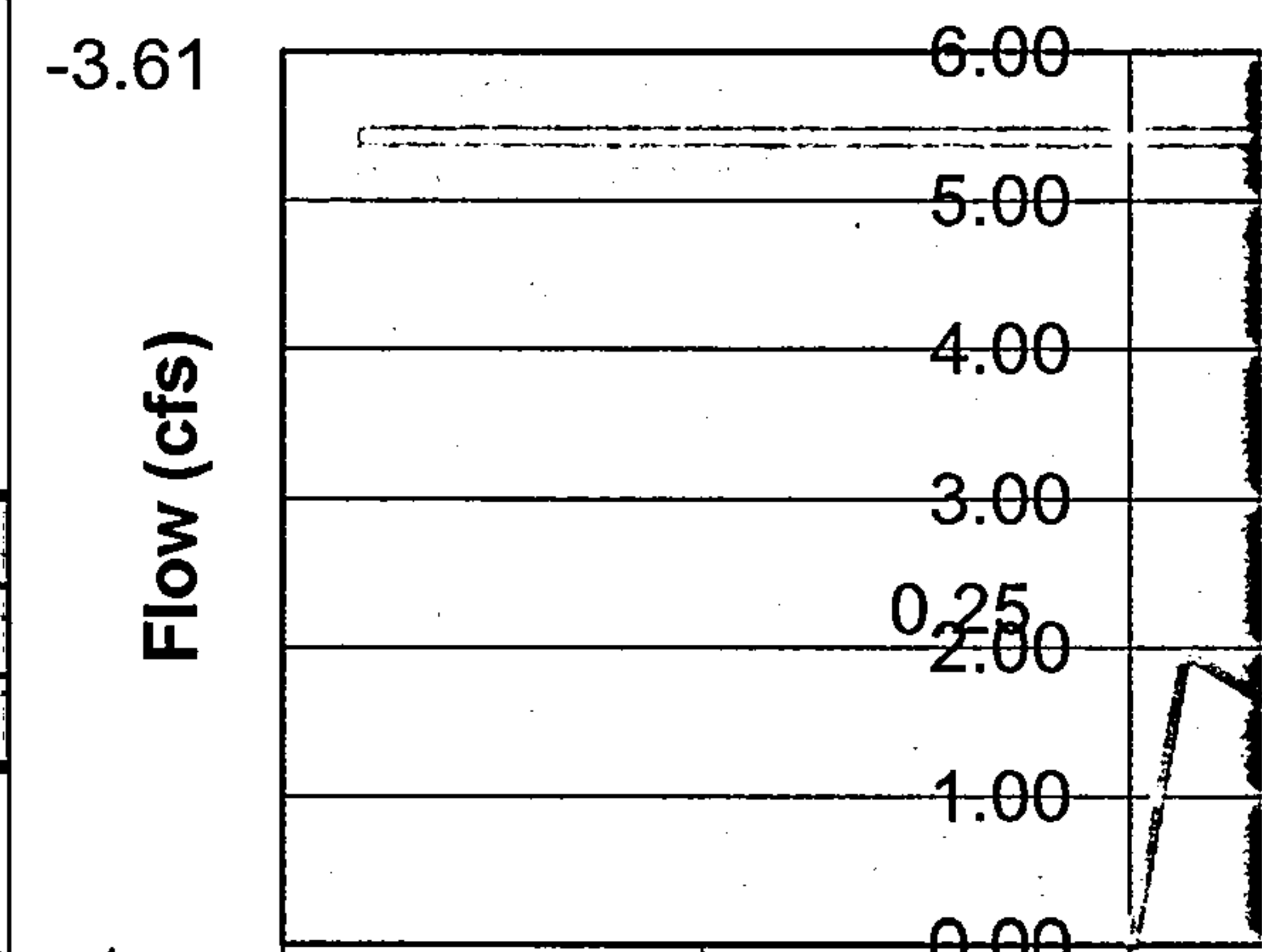
Excess Precipitation (in.) 100-year	1.57
Excess Precipitation (in.) 10-year	0.92
Excess Precipitation (in.) 2-year	0.49

100-year 6-hr Runoff Volume (acre-feet, ft ³)	0.07	3,000 ✓
10-year 6-hr Runoff Volume (acre-feet, ft ³)	0.04	1,760 ✓
2-year 6-hr Runoff Volume (acre-feet, ft ³)	0.02	938

P _{1-hr} (in.)	1.87 ✓
P _{6-hr} (in.)	2.20 ✓
P _{24-hr} (in.)	2.66 ✓
P _{4-day} (in.)	3.12 ✓
P _{10-day} (in.)	3.67 ✓

100-year 10-day Runoff Volume (acre-feet, ft ³)	0.11	4,829
100-year 4-day Runoff Volume (acre-feet, ft ³)	0.10	4,145
100-year 24-hr Runoff Volume (acre-feet, ft ³)	0.08	3,572

Hydrograph (1



100yr, 6hr vol. 1760

100yr, 6hr vol. 3000

0.07 AC-FT, FT³ (43,560) SF
AC

2 yr, 6 hr =

CITY OF ALBUQUERQUE



May 16, 2008

J. Bordenave, P.E.
Bordenave Designs
PO Box 91194
Albuquerque, NM 87109

**Re: Peerless Tire, 7408 Central Ave. SW, Grading and Drainage Plan
Engineer's Stamp dated 04-25-08 (K-10/D052)**

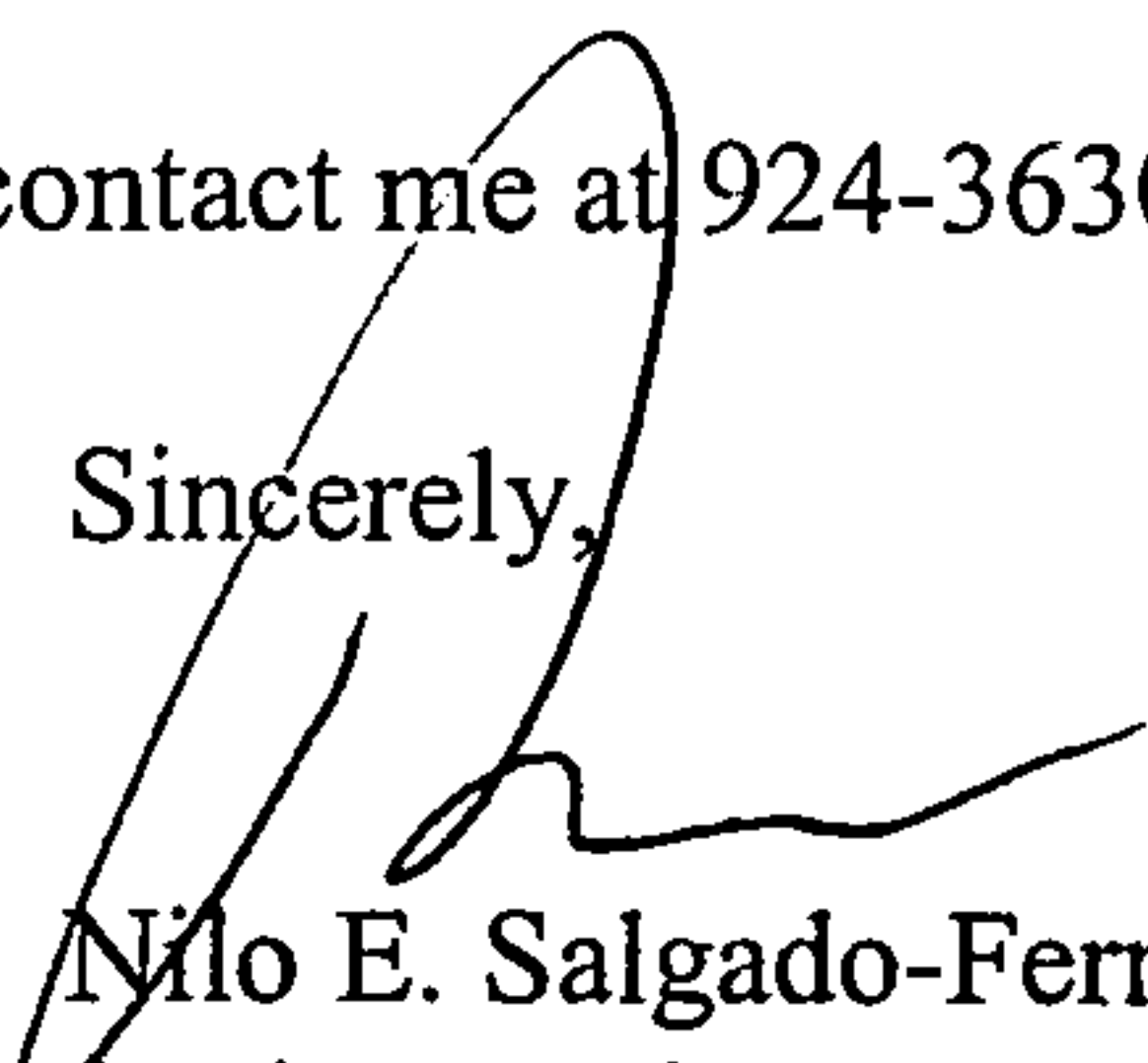
Dear Mr. Bordenave,

Based upon the information provided in your submittal received 04-28-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please quantify all offsite flows entering site from the south, west and east.
2. Provide spot elevations around the perimeter of site for proposed landscaping; for the 4' modified valley; and around the perimeter of the header curb at the entrances.
3. Explain why you are proposing a valley gutter on the south side of parking lot without showing any type of symbols defining it? Please clarify.
4. Provide direction of roof drain.
5. Provide the Zone that you are using for your Drainage Data.

If you have any questions, you can contact me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 – KDM)

PROJECT TITLE: Peerless Tire ZONE MAP: K10/D52
DRB#: --- EPC#: --- WORK ORDER#: ---

LEGAL DESCRIPTION: Portion of Tract 53, Unit 6, Town of Atrisco Grant
CITY ADDRESS: 7408 Central Ave. SW

ENGINEERING FIRM: Bordenave Designs CONTACT: J. Bordenave
ADDRESS: PO Box 91194 PHONE: 823-1344
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Peerless Tyre CONTACT: S. Forbes
ADDRESS: 5000 Kingston St. PHONE: (303) 371-4300
CITY, STATE: Denver, CO ZIP CODE: 80239-2522

ARCHITECT: G. Donald Dudley CONTACT: D. Dudley
ADDRESS: 400 Gold Ave. SW PHONE: 243-8100
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYING FIRM: Harris Surveying, Inc. LICENSED SURVEYOR: T. Harris
ADDRESS: 2412-D Monroe NE PHONE: 889-8056
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE
--	-------------	------

CONTRACTOR: Unknown CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

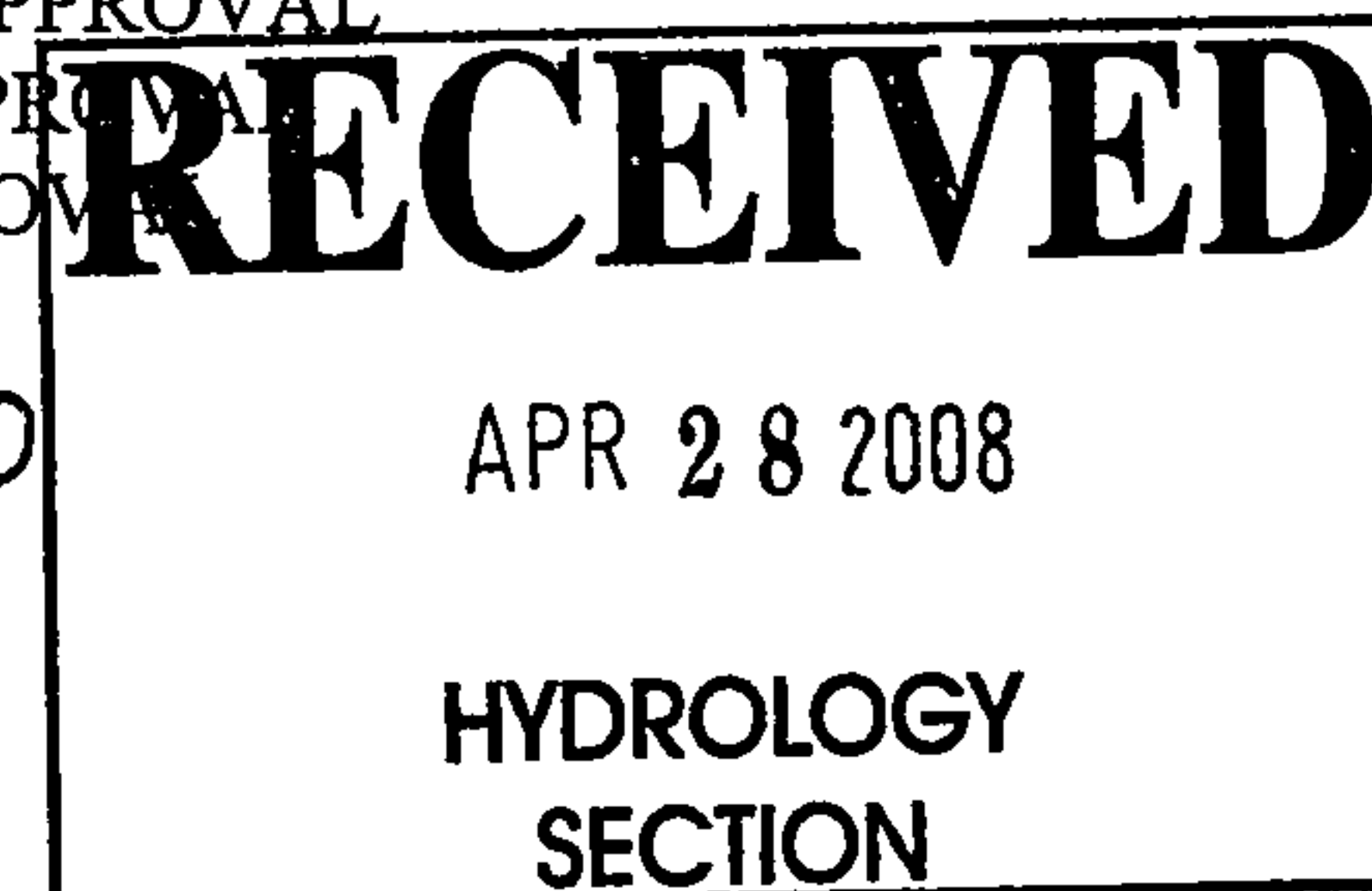
CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

\$50.00



DATE SUBMITTED: April 28, 2008 BY: Jake Bordenave

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



