

**APPROVALS**

THIS SITE PLAN IS GENERALLY CONSISTENT WITH THE SITE PLAN FOR SUBDIVISION APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON \_\_\_\_\_ AND THE SITE PLAN FOR BUILDING PURPOSES APPROVED ON \_\_\_\_\_ AND CONDITIONS OF APPROVAL HAVE BEEN MET.

PLANNING DIRECTOR \_\_\_\_\_

TRANSPORTATION DEVELOPMENT \_\_\_\_\_

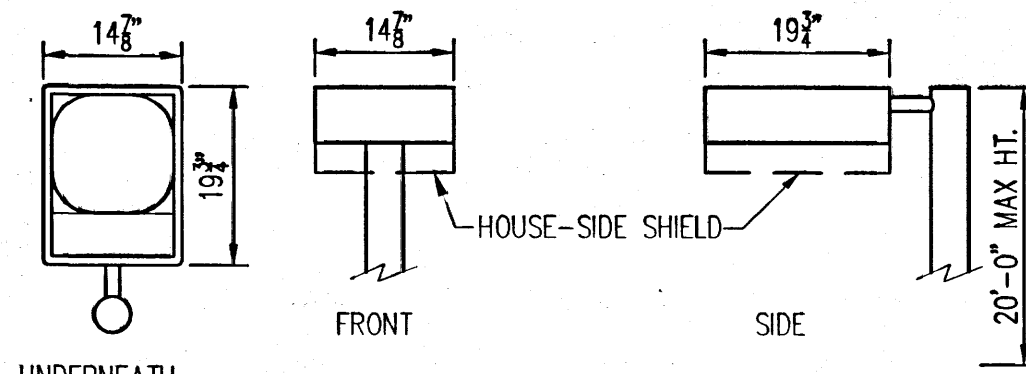
CITY ENGINEER/AMAFCA \_\_\_\_\_

UTILITY DEVELOPMENT \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_

### LIGHTING

ALL LIGHT FIXTURES SHALL BE SHIELDED SOURCE TO MINIMIZE GLARE TO ADJACENT RESIDENTIAL DEVELOPMENT.



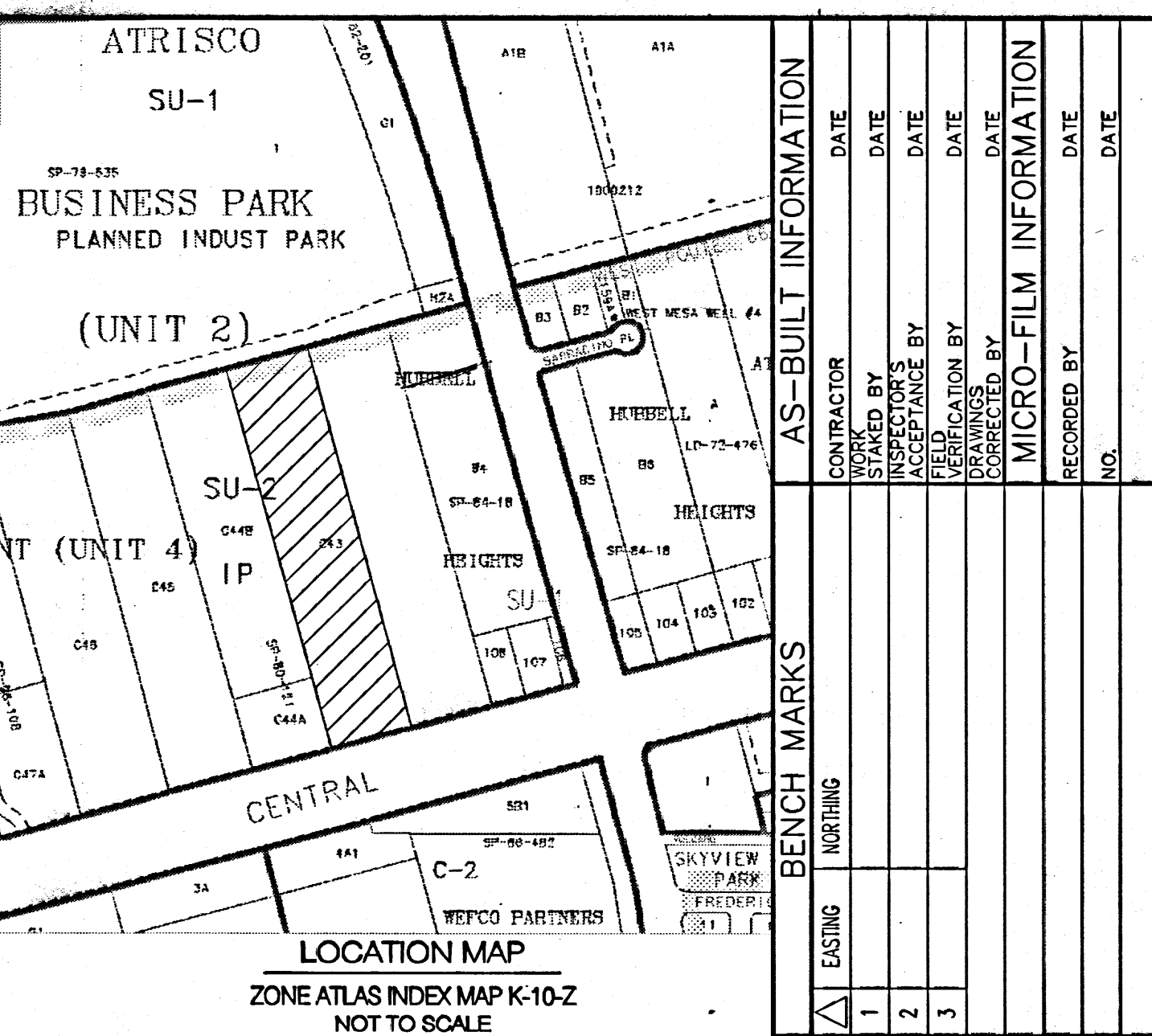
LIGHT DETAIL  
N.T.S.

### CONSTRUCTION NOTES

1. CONCRETE PAD W/MEDIUM BROOM FINISH, 4,000 PSI.
2. CONCRETE FOOTING, 4,000 PSI.
3. BICYCLE RACK.
4. COMPACTED SUBGRADE.
5. 1/2" RADIUS TROWELLED EDGE.
6. SURFACE TREATMENT - SEE LANDSCAPE PLANS.

BICYCLE RACK  
N.T.S.

BICYCLE LID  
N.T.S.



### SHEET INDEX

| SHEET | DATE | BY | REVISIONS |
|-------|------|----|-----------|
| 1     |      |    |           |
| 2     |      |    |           |
| 3     |      |    |           |
| 4     |      |    |           |
| 5     |      |    |           |

### SITE DATA

LEGAL DESCRIPTION: TR C-43 UNIT 4 OF TOWN OF ATRISCO GRANT.

SIZE: 3.1 ACRES

ZONING: IPSU-2

### PARKING CALCULATIONS

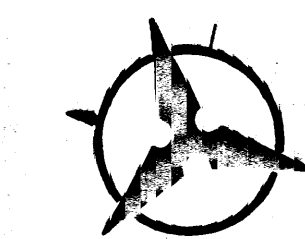
|   |           |
|---|-----------|
| PHASE 1                                   |           |
| STANDARD SPACES (8.5' X 20')              | 168       |
| COMPACT SPACES (8.5' X 15')               | 8         |
| HANDICAP SPACES                           | 8         |
| TOTAL                                     | 184       |
| BICYCLE PARKING (1 PER 20 PARKING SPACES) |           |
| BICYCLE PARKING REQUIRED                  | 10 SPACES |
| BICYCLE PARKING PROVIDED                  | 20 SPACES |
| (BICYCLE LOCKERS-8, BICYCLE RACKS-12)     |           |

### SIGN LEGEND

- SIGN A (BUSES ONLY)
- SIGN B (DO NOT ENTER)
- SIGN C (STOP)

### LEGEND

- PROPERTY LINE
- HANDICAP
- CONCRETE PAVEMENT
- TEXTURED CONCRETE SIDEWALK



SCALE: 1" = 50'

**Bohannon & Huston**

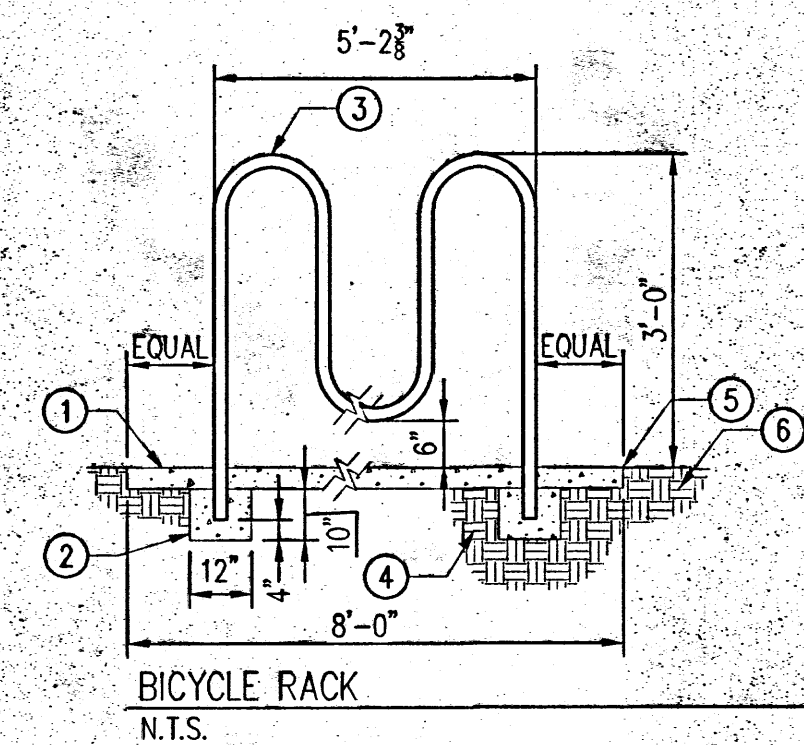
Countywide | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
DEPARTMENT OF  
MUNICIPAL DEVELOPMENT

**SOUTHWEST MESA PARK & RIDE**  
SITE PLAN

| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | MO./DAY/YR.  | MO./DAY/YR. |
|-------------------------|------------------------|--------------|-------------|
| APR 08 2009             |                        |              |             |
| HYDROLOGY               |                        |              |             |
| CITY PROJECT NO.        | 7616.91                | ZONE MAP NO. | K - 10      |
|                         |                        | SHEET        | XX          |

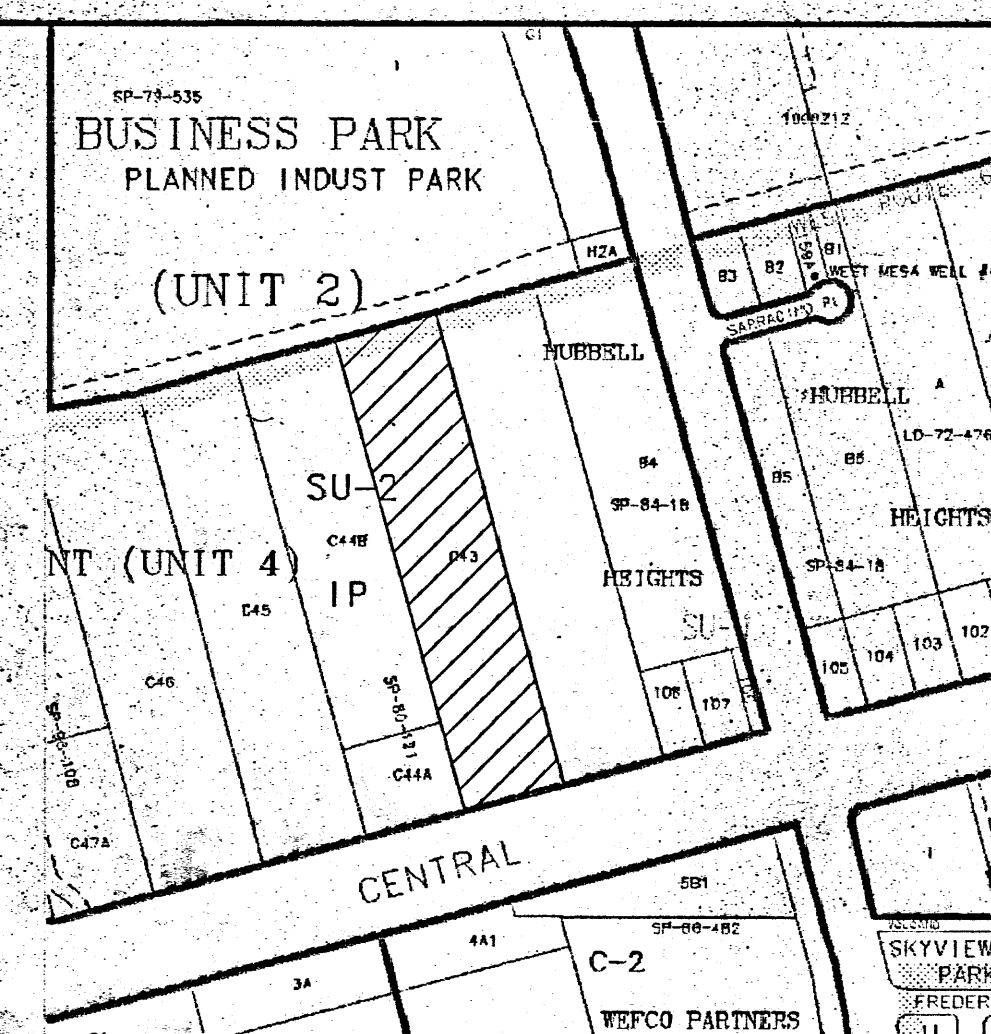
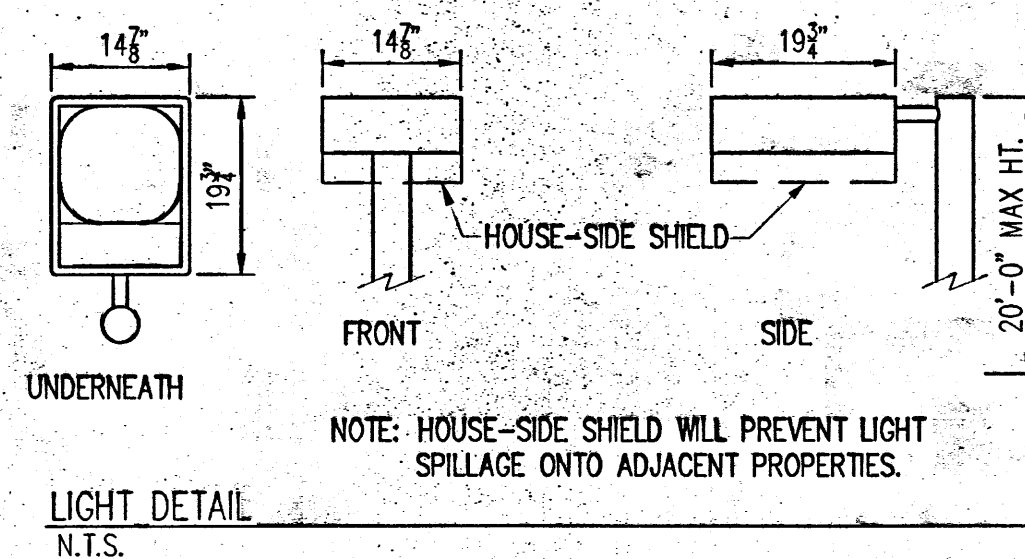




- CONSTRUCTION NOTES
- ① CONCRETE PAD W/MEDIUM BROOM FINISH, 4,000 PSI.
  - ② CONCRETE FOOTING, 4,000 PSI.
  - ③ BICYCLE RACK
  - ④ COMPACTED SUBGRADE.
  - ⑤ 1/2 " RADIUS TROWELLED EDGE.
  - ⑥ SURFACE TREATMENT - SEE LANDSCAPE PLANS.

## LIGHTING

ALL LIGHT FIXTURES SHALL BE SHIELDED SOURCE TO MINIMIZE GLARE TO ADJACENT RESIDENTIAL DEVELOPMENT. SITE LIGHTING SHALL NOT HAVE A TOTAL OFF-SITE LUMINESCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM THE PROPERTY LINE OF ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



### LOCATION MAP

ZONE ATLAS INDEX MAP K-10-  
NOT TO SCALE

## SHEET INDEX

- |         |                          |
|---------|--------------------------|
| SHEET 1 | SITE PLAN                |
| SHEET 2 | LANDSCAPING PLAN         |
| SHEET 3 | DRAINAGE MANAGEMENT PLAN |
| SHEET 4 | BUS SHELTER ELEVATIONS   |
| SHEET 5 | CONCEPTUAL UTILITY PLAN  |

## \* SITE DATA

LEGAL DESCRIPTION: TR C-43 UNIT 4 OF TOWN OF ATRISCO GRANT.

SIZE: 3.1 ACRES

ZONING: IPSU-2

## PARKING CALCULATIONS

STANDARD SPACES (8 5' X 20")

STANDARD SPACE  
COMPACT SPACE

**HANDICAP SPACE**

TOTAL

MOTORCYCLE PARKING REQUIRED

MOTORCYCLE PARKING PROVIDED

BICYCLE PARKING (1 PER 20 PARKING SPACES)

BICYCLE PARKING REQUIRED 10 SPACES

BICYCLE PARKING PROVIDED 20 SPACES  
(BICYCLE LOCKERS-8 BICYCLE RACKS-12)

(BICYCLE LOCKERS-8, BICYCLE RACKS-12)

## SIGN LEGEND

**SIGN A (BUSES ONLY)**

SIGN B (R5-1 DO NOT ENTER)

SIGN C (R1-1 STOP)

SIGN D (D4-2 PARK AND RIDE)

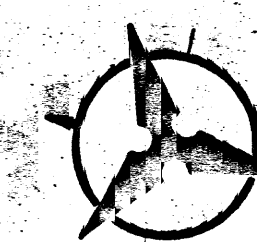
## LEGEND

PROPERTY LINE

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### HANDICAP

☐ CONCRETE PAVEMENT



TEXTURED CONCRETE SIDEWALK

RECEIVED  
MAR 18 2010  
HYDROLOGY  
SECTION

50 25 50

SCALE: 1" = 50'

# Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES



**CITY OF ALBUQUERQUE**  
**DEPARTMENT OF**  
**MUNICIPAL DEVELOPMENT**

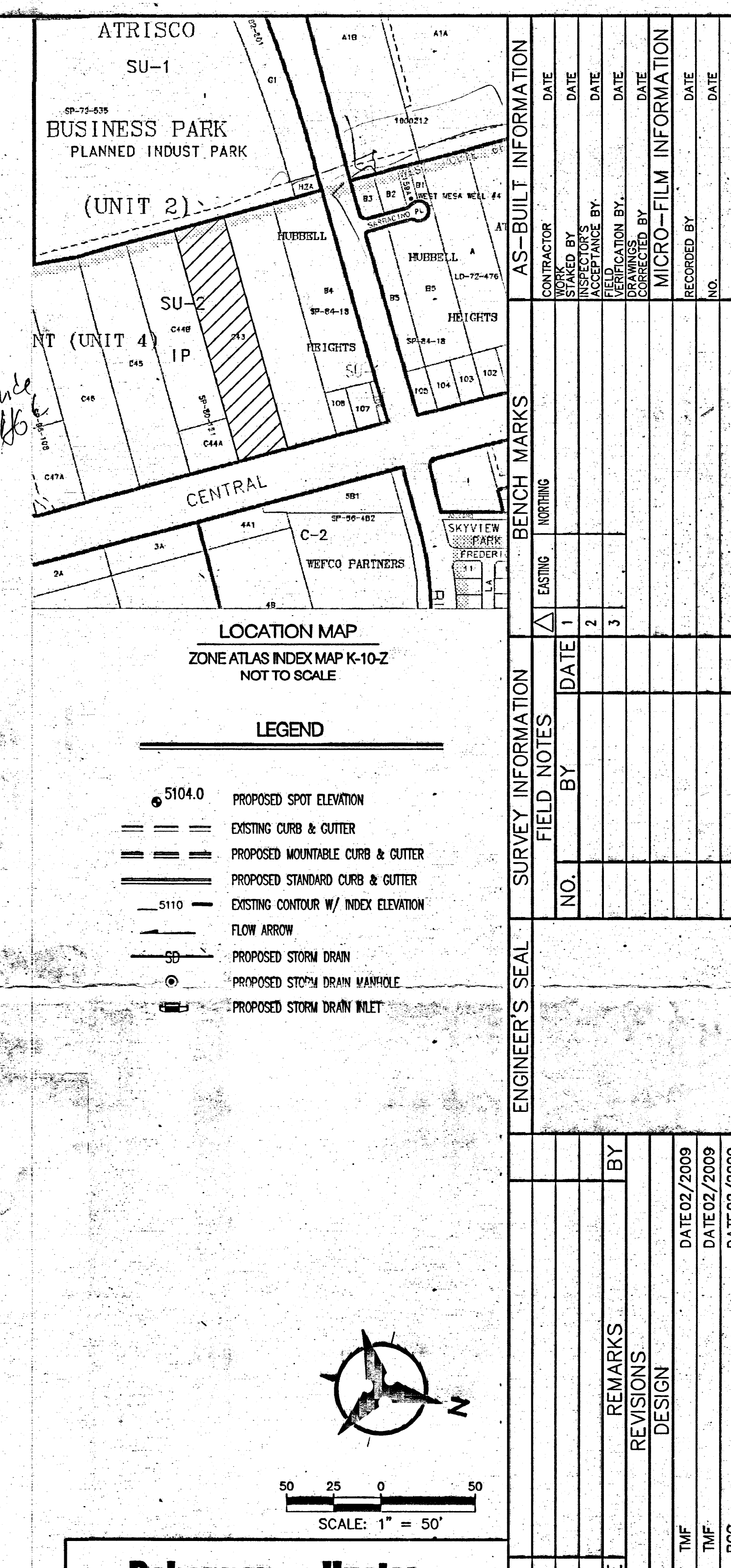
## SOUTHWEST MESA PARK & RIDE SITE PLAN

|                          |                        |                     |              |             |
|--------------------------|------------------------|---------------------|--------------|-------------|
| DESIGN REVIEW COMMITTEE  | CITY ENGINEER APPROVAL | LAST DESIGN UPDATE  | MO./DAY/YR.  | MO./DAY/YR. |
|                          |                        |                     |              |             |
|                          |                        |                     |              |             |
|                          |                        |                     |              |             |
|                          |                        |                     |              |             |
| GITY PROJECT NO. 7616 91 |                        | ZONE MAP NO. K 1 10 | SHEET 1 OF 5 |             |

P:\090422\FPE\Plans\Site Plan.dwg  
Tue, 21-Apr-2009 - 6:00:pm, Plotted by: RIGIBSON

BHI JOB NO. 090422





| This table is based on the DPM Section 22.2, Zone: 1 |                  |               |                            |       |       |       |                     |                 |                                   |                               |                                 |
|--|------------------|---------------|----------------------------|-------|-------|-------|---------------------|-----------------|-----------------------------------|-------------------------------|---------------------------------|
| SUB-BASIN<br>ID                                      | Area<br>(SQ. FT) | Area<br>(AC.) | Land Treatment Percentages |       |       |       | Q(100)<br>(cfs/ac.) | Q(100)<br>(cfs) | WT E <sub>100YR</sub><br>(Inches) | V(100) <sub>360</sub><br>(CF) | V(100) <sub>10day</sub><br>(CF) |
|  |                  |               | A                          | B     | C     | D     |                     |                 |                                   |                               |                                 |
| EXISTING   | 216639           | 4.97          | 100.0%                     | 0.0%  | 0.0%  | 0.0%  | 1.29                | 6.42            | 0.44                              | 7943                          | 7943                            |
| PROPOSED-A   | 130680           | 3.00          | 0.0%                       | 0.0%  | 18.0% | 82.0% | 4.10                | 12.30           | 1.79                              | 19532                         | 33820                           |
| PROPOSED-B   | 85813            | 1.97          | 0.0%                       | 70.0% | 5.0%  | 25.0% | 2.66                | 5.23            | 1.01                              | 7230                          | 10090                           |
|  |                  |               |                            |       |       |       |                     |                 |                                   |                               |                                 |
|  |                  |               |                            |       |       |       |                     | 17.32           |                                   | 18818.63                      | 35986.74                        |

## DRAINAGE MANAGEMENT PLAN

EXISTING 48" STORMDRAIN ON THE NORTH BOUNDARY. NO PONDING WILL BE NECESSARY DURING THIS PHASE OF DEVELOPMENT BASIN A WILL TAKE THE ENTIRE FLOW TO EXISTING STORMDRAIN AND BASIN B WILL BE ALLOWED TO SHEET FLOW TO THE EXISTING CULVERT CROSSING CENTRAL. THE TOTAL FLOW FROM BASIN A WILL BE 12.3CFS AND BASIN B 5.23CFS.

**OFFSITE DRAINAGE**  
CURRENT DRAINAGE FROM THE PROPERTY TO THE WEST WILL BE DIVERTED ALONG THE WESTERN PROPERTY LINE TO THE PROPOSED CULVERT TO CROSS THE PROPOSED ACCESS TO CENTRAL AVENUE FLOW WILL THEN FOLLOW HISTORIC SHEET FLOWS TO THE EXISTING CULVERTS AT THE INTERSECTION OF UNSER AND CENTRAL

FLOODPLAIN  
IN ACCORDANCE WITH FEMA COMMUNITY MAP PANEL #35001C0328 G, THE SITE IS NOT LOCATED WITHIN A  
FLOODPLAIN.

IV. CONCLUSION  
THE 100YR PEAK DISCHARGE FROM THE SITE WILL BE SEPERATED INTO TWO DIRECTIONS BASIN A WILL DISCHARGE 12.3CFS TO THE 48" STORMDRAIN TO THE NORTH, AND BASIN B WILL DIRECT 5.23CFS TO THE CULVERTS IN CENTRAL AVENUE THIS DRAINAGE MANAGEMENT PLAN IS CAPABLE OF SAFELY PASSING THE 10 YEAR STORM EVEN AND MEETS CITY REQUIREMENTS. WITH THIS SUBMITTAL WE ARE SEEKING SITE DEVELOPMENT FOR BUILDING PERMIT APPROVAL.

BH1 JOB NO. 090422

**Bohannon ▲ Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109  
**ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGY**



**CITY OF ALBUQUERQUE**  
**DEPARTMENT OF**  
**MUNICIPAL DEVELOPMENT**

## SOUTHWEST MESA PARK & RIDE DRAINAGE MANAGEMENT PLAN

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL \_\_\_\_\_

|  |             |             |
|--|-------------|-------------|
|  | MO./DAY/YR. | MO./DAY/YR. |
|--|-------------|-------------|

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|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|-----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|-----|

NO. SHEET OF

CITY PROJECT NO.

7616.91

ZONE MAP NO.  
K - 10

OF  
XX