

CITY OF ALBUQUERQUE



September 28, 2016

James H. Littlejohn
Littlejohn Engineering Associates
1935 21st Ave S.
Nashville, TN 37212

Re: DCI Southwest Mesa
8217 Central Ave NW
Traffic Circulation Layout
Engineer's Stamp 09-15-16 (K10D056)

Dear Mr. Littlejohn,

The TCL submittal received 09-15-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

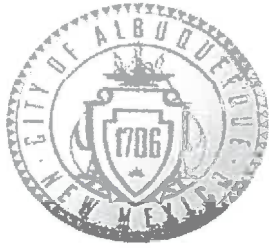
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: DC I Southwest Mesa Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract C-44B, Section 22N, T10N, R2E, NMPM

City Address: 8217 Central Ave NW

Engineering Firm: Littlejohn Engineering Associates Contact: TONY HEATH

Address: 1935 21st Ave S, Nashville, TN 37212

Phone#: 615.385.4144 Fax#: 615.385.4020 E-mail: ttheath@leaing.com

Owner: Dialysis Clinic Inc. Contact: Jack Freeman

Address: 1633 Church St., Suite 500

Phone#: 615.329.2424 Fax#: _____ E-mail: jack@jfreemanassoc.com

Architect: Jack Freeman & Assoc. Contact: Jack Freeman

Address: 311 22nd Ave N, Nashville, TN 37203

Phone#: 615.329.2424 Fax#: _____ E-mail: jack@jfreemanassoc.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 2016/08/05 By: TONY HEATH

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

ACCESS EASEMENT AGREEMENT

This **Access Easement Agreement** ("Agreement") is by and among the **City of Albuquerque**, a New Mexico Municipal Corporation ("City") and **Dialysis Clinic, Inc. ("DCI")**, a Tennessee nonprofit corporation.

RECITALS

1. City is the owner of that certain real property known as "Tracts A and B, West Route 66 Addition Town of Atrisco Grant and as described and depicted on Exhibit A attached hereto and incorporated herein via reference as if set verbatim within this Agreement (the "City Parcel").
2. DCI is the owner of that certain real property known as "Tract C-44B" and as described and depicted on Exhibit A attached hereto and incorporated herein via reference as if set verbatim within this Agreement (the "DCI Parcel").
3. DCI desires to obtain a vehicular and pedestrian access easement allowing DCI and the general public to access DCI's Parcel, and the City wishes to grant said access easement.

AGREEMENT

NOW THEREFORE, for good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, the parties agree:

1. **Grant of Access Easement by the City.** City hereby grants and conveys to DCI a non-exclusive perpetual vehicular and pedestrian easement for ingress and egress to and from DCI's Parcel, for use by DCI's contractors, employees, agents, patients, vendors, visitors, guests, licensees, invitees, and tenants, along the City Parcel as described and depicted on Exhibit A. The "*Legal Description for the Access Easement*" is included within Exhibit A and incorporated herein via reference as if set verbatim within this Agreement (the "Easement"). DCI may divide the DCI Parcel into two (2) separate and platted parcels, and at that time this Agreement will apply to the parcel on which DCI has constructed its outpatient dialysis clinic.
2. **No Barriers.** Except for periods of maintenance, repair or upkeep of the Easement, the City and DCI will not construct or maintain, or permit to be constructed or maintained, any barrier, fence or other temporary or permanent structure that would adversely impact the use of the Easement. Temporary fencing maybe required during construction projects, as well as lane reduction. Both parties will provide 30 days written notice of such construction projects, to include a time line of the project.

3. **Maintenance.** The City will pay all costs and expenses associated with the maintenance, repair and upkeep of the Easement in order to maintain its current usable condition. In consideration of the above, DCI agrees to pay \$3,000 annually towards contributions on any future projects for the maintenance, repair and upkeep of the Easement as deemed necessary by the City.
4. **Payment.** Annual payments shall be due in advance and payable at the Closing date of the land purchase and on the anniversary date thereafter. All payments shall be made payable to the City of Albuquerque Transit Dept., Fiscal Division Manager, 8001 Daytona Rd. SW, Albuquerque, NM 87121.
5. **Binding Effect.** This Agreement will inure to the benefit of and be binding upon the parties hereto and their respective successors (including successors in title to the City Parcel), assigns and/or legal representatives. The Easement is appurtenant to the City Parcel and will run with the land. Only the parties hereto and/or their successors in interest may amend this Agreement and alter the Easement granted herein. For any such amendment to be effective, it will be in writing, executed by the parties and/or their successors, as applicable, and recorded in the official records of Bernalillo County, New Mexico.
6. **Default.** In the event a party breaches or defaults regarding any obligations pursuant to this Agreement, after thirty (30) days written notice from the non-breaching party to the breaching party and at such times the breaching party fails to cure such breach, the non-breaching party will be entitled to all available rights and remedies according to law and in equity, pursuant to this Agreement and otherwise.
7. **Severability.** In the event that a court of competent jurisdiction adjudicates and declares any term, condition or obligation within this Agreement as invalid, illegal or unenforceable, in whole or in part, the remainder of the Agreement will continue in full force and effect.
8. **Counterparts.** The parties may execute this Agreement in one or more counter parts, each of which is a binding agreement, but all of which, when taken together, constitute one binding agreement.
9. **Notices.** Any notice required or permitted pursuant to this Agreement will be in writing and delivered by hand, a recognized overnight courier or mailed via US certified mail/return receipt requested and addressed to the parties as follows:

City of Albuquerque
Attn: Transit Department Director
PO Box 1293
Albuquerque, NM 87103

And

City of Albuquerque
Attention: Real Property Division
PO Box 1293
Albuquerque, NM 87103
Dialysis Clinic, Inc.
Attention: President
1633 Church Street
Suite 500
Nashville, TN 37203

10. **Authority.** Each party represents and warrants to the other party that it has full legal power, authority and right to execute, deliver and perform the obligations pursuant to this Agreement. Each party represents and warrants to the other party that the transactions contemplated by this Agreement are duly authorized, and that all persons executing this Agreement are authorized representatives of the respective party and that no additional action or third-party consent is required to render this Agreement fully binding.
11. **Governing Law.** The laws of the State of New Mexico will govern this Agreement.
12. **Waiver.** A party's failure to enforce any breach or deviation from any provision of this Agreement will not constitute a waiver of any other provision or subsequent breach. Any waiver of matters contemplated by this Agreement will be in writing and executed by all parties.
13. **Effective Date.** This Easement shall not be effective until approved by the City Engineer, and signed by the City's Chief Administrative Officer or his authorized designee as shown in the signature block below.

[SIGNATURE PAGES IMMEDIATELY FOLLOWING]

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date set forth herein.

**DIALYSIS CLINIC, INC., a Tennessee
non-profit corporation**

By: Ed Attrill
Print Name: Ed Attrill
Its: President

ACKNOWLEDGMENTS

COUNTY OF DAVIDSON)

STATE OF TENNESSEE) ss

This instrument was acknowledged before me on this 1st day of December, 2015,
by Ed Attrill, as President of Dialysis Clinic, Inc.



Karen A. Gates
Notary Public
My Commission Expires: July 8, 2019

GRANTOR: CITY OF ALBUQUERQUE,
a New Mexico municipal corporation

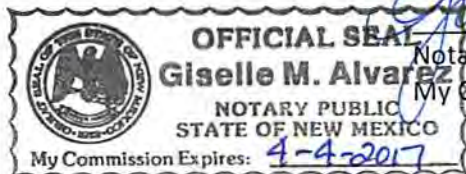
RJP
JWT 
Robert J. Perry, Chief Administrative Officer

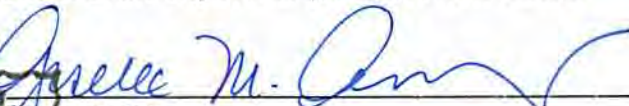
Date: 1/20/16

COUNTY OF BERNALILLO)

STATE OF NEW MEXICO) ss

This instrument was acknowledged before me on this 20 day of January 2015,
by Robert J. Perry, Chief Administrative Officer of the City of Albuquerque, a New Mexico
municipal corporation.





Notary Public
My Commission Expires: 4-4-2017

RECOMMEND BY:


Bruce Rizzieri, Director
Transit Department

Date: 12.31.15

RECOMMEND BY:


Michael J. Riordan, P.E.
Chief Operations Officer

Date: 1/14/16

APPROVED BY:


Shahab Biazar
City Engineer

Date: 1/7/16

EXHIBIT A
EASEMENT EXHIBIT
AND
LEGAL DESCRIPTION

TRACT A AND B, WEST ROUTE 66 ADDITION
TOWN OF ATRISCO GRANT
BERNALILLO COUNTY, NEW MEXICO
MAY 2015

LEGAL DESCRIPTION FOR ACCESS EASMENT

A CERTAIN TRACT OF LAND BEING A PUBLIC ACCESS EASEMENT LOCATED WITHIN TRACTS A AND B, WEST ROUTE 68 ADDITION, BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 12, 2013 SAID PUBLIC ACCESS EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED ACCESS
EASEMENT, BEING COMMON WITH THE SOUTHWEST CORNER OF SAID TRACT A,
RUNNING THENCE AS AN EASEMENT;

N 14°56'15" W, A DISTANCE OF 207.20 FEET TO AN ANGLE POINT; THENCE

N 14°54'48" W, A DISTANCE OF 623.35 FEET CONTINUING THE WESTERLY LINE OF TRACT A TO AN ANGLE POINT; BEING THE NORTHWEST CORNER OF SAID ACCESS EASEMENT.

N 75°02'22" E, A DISTANCE OF 833.70 FEET ALONG THE NORTHERLY LINE OF TRACTS A AND D TO THE WESTERLY RIGHT OF WAY OF UNSCH BOULEVARD NW TO THE NORTHEAST CORNER OF SAID ACCESS EASEMENT.

S 14°52'27" E, A DISTANCE OF 45.00 FEET ALONG THE WESTERLY RIGHT OF WAY LINE OF UNSER BOULEVARD NW TO AN ANGLE POINT; THENCE

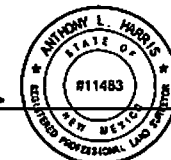
S 75°05'23" W, A DISTANCE OF 373.70 FEET TO AN ANGLE POINT; THENCE

S 14 54'45" E, A DISTANCE OF 783.80 FEET TO THE SOUTHEAST CORNER OF SAID ACCESS EASEMENT BEING A POINT ON THE NORTHERLY LINE OF CENTRAL AVENUE; THENCE

S 75°09'18" W, A DISTANCE OF 60.00 FEET ALONG THE NORTHERLY LINE OF CENTRAL AVENUE TO THE SOUTHWEST CORNER OF SAID TRACT AND POINT OF BEGINNING

NOTES

1. Bearings are Grid and Distances are Ground.
2. Documents used in preparation of Survey
A. Plat and Vacation Request for Tracts A and B, West Route 66 Addition,
Filed: August 12, 2013. In Book 2013C, Page 91.
3. Date of Field Work: May 5, 2015

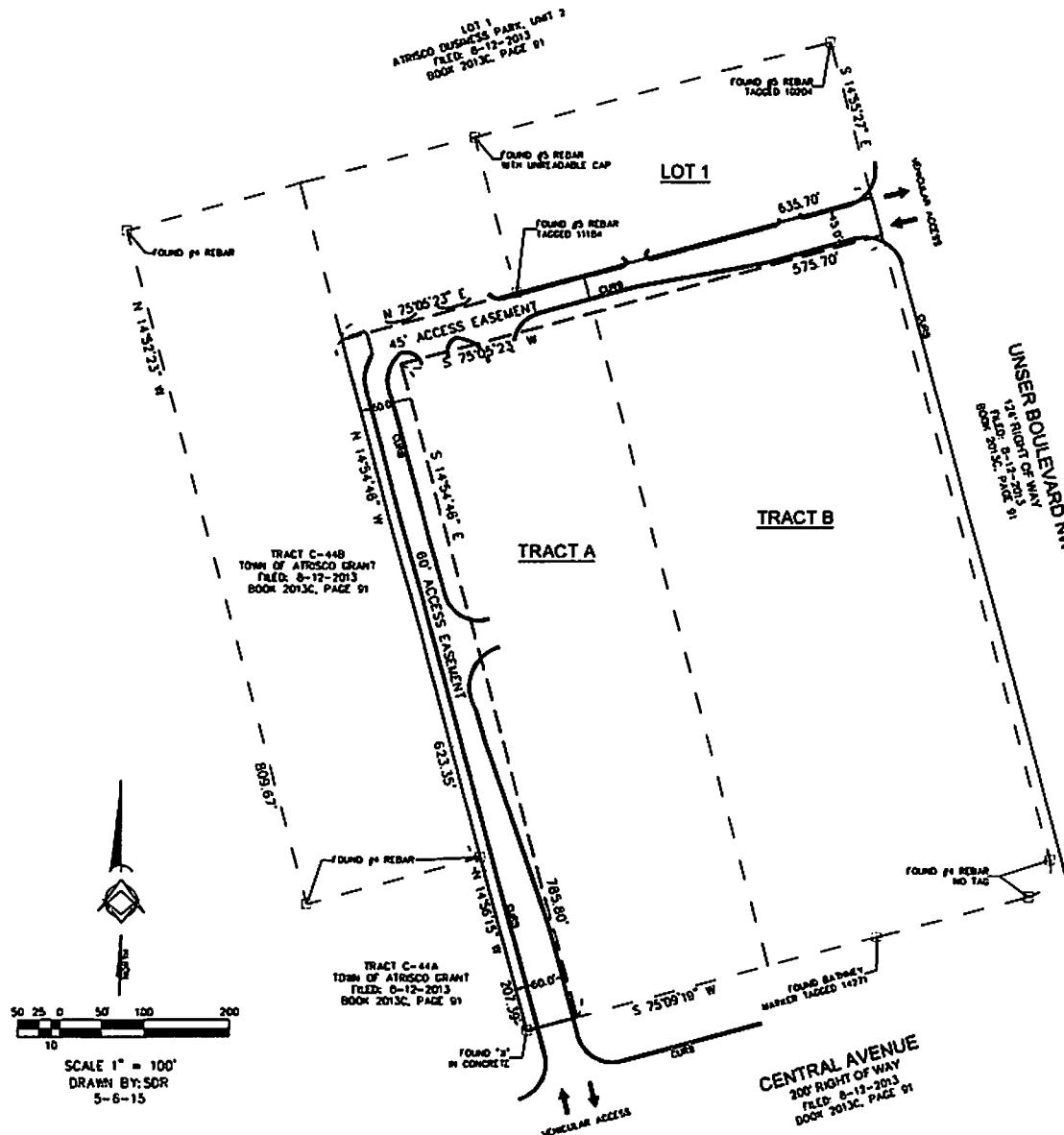


5-18-15
Date

THE SURVEY OFFICE, LLC

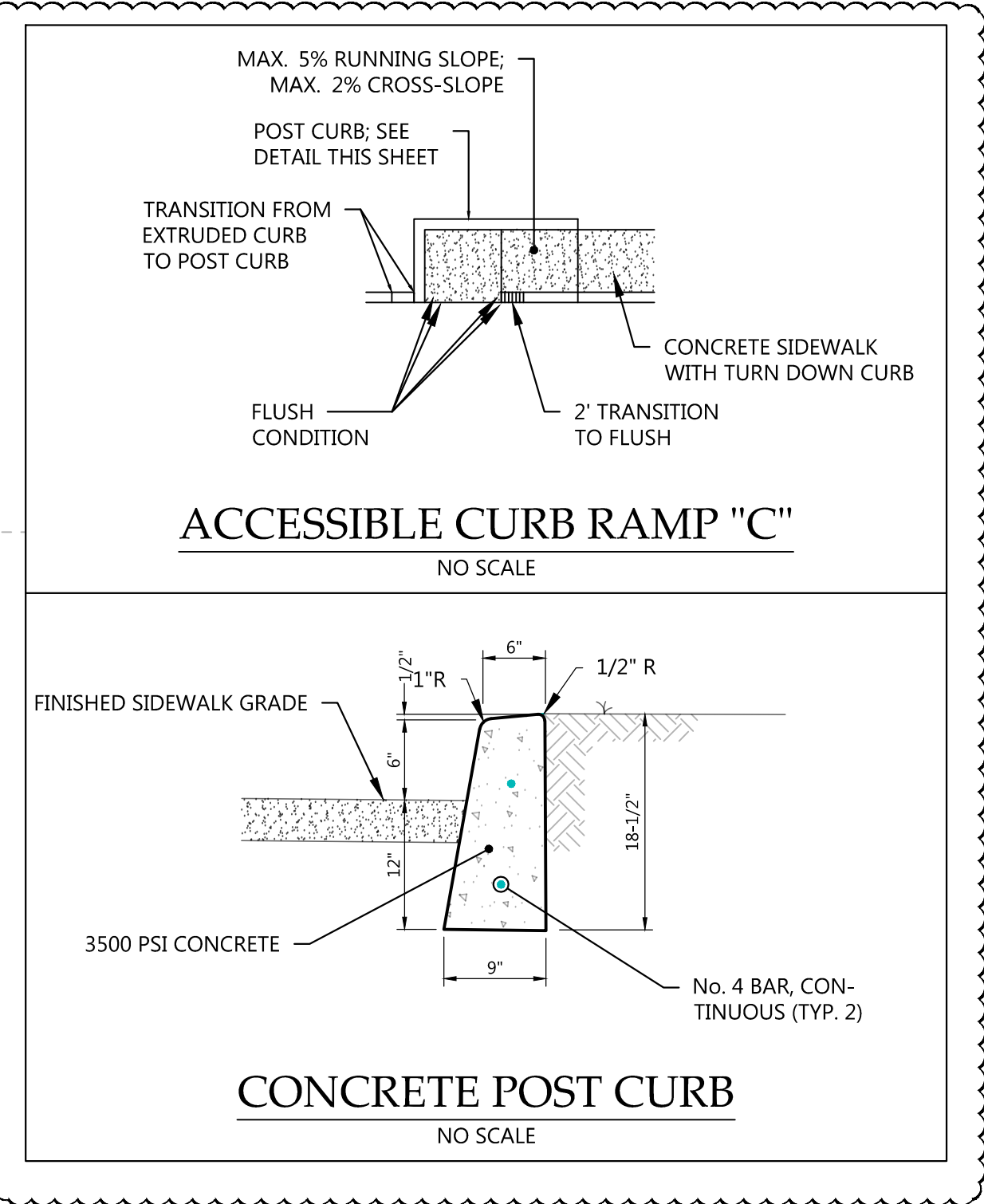
333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO 87102

PHONE: (505) 998-0303
FAX: (505) 998-0306



MONUMENT LEGEND

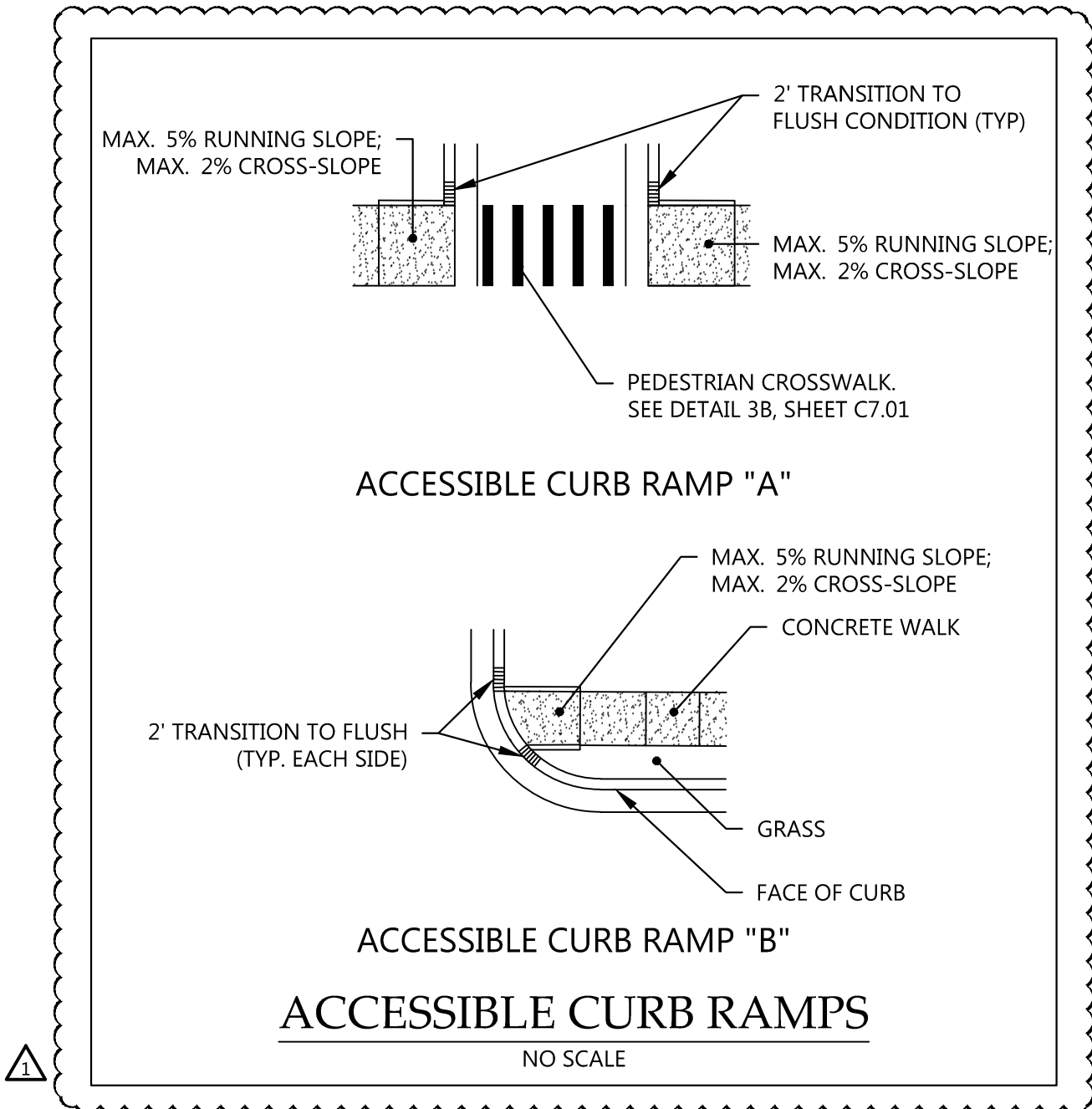
- - FOUND MONUMENT AS NOTED
- ◎ - SET 1/2" REBAR W/PLASTIC CAP STAMPED "PLS 11483" UNLESS OTHERWISE NOTED





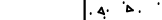





SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
<u>S1a</u>	ASPHALT PAVEMENT - LIGHT DUTY	1 / C7.00
<u>S1b</u>	ASPHALT PAVEMENT - HEAVY DUTY	1 / C7.00
<u>S2</u>	CONCRETE PAVEMENT	2 / C7.00
<u>S3c</u>	CONCRETE EXTRUDED CURB	1 / C7.00
<u>S3d</u>	CONCRETE RIBBON CURB	<u>3k / C7.00</u>
<u>S4a</u>	CONCRETE SIDEWALK	4 / C7.00
<u>S4b</u>	CONCRETE SIDEWALK WITH TURN DOWN CURB	5 / C7.00
<u>S5</u>	SIDEWALK JOINTS	6 / C7.00
<u>S6</u>	ACCESSIBLE SYMBOL	8 / C7.00
<u>S7</u>	ACCESSIBLE PARKING SPACE	9 / C7.00
<u>S10</u>	CONCRETE WHEELSTOP	11 / C7.00
<u>S14</u>	BOLLARD	12 / C7.00
<u>S15</u>	UTILITY PAD	7 / C7.00
<u>S16</u>	CONCRETE DUMPSTER PAD	13 / C7.00
<u>S18</u>	DIRECTIONAL ARROWS	1 / C7.01
<u>S19</u>	BIKE RACK	14 / C7.01
<u>S20</u>	PEDESTRIAN CROSSWALK	38 / C7.01
SITE SIGNAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
<u>S61a</u>	ACCESSIBLE PARKING SIGN	10 / C7.00
<u>S6a</u>	'DO NOT ENTER' SIGN	<u>38 / C7.00</u>
<u>S6b</u>	MOTORCYCLE SIGNAGE	13 / C7.01

SITE DATA

SITE ADDRESS:	8217 CENTRAL AVENUE NW ALBUQUEQUE, NM
SITE ACREAGE:	2.03 AC. (88,547 FT ²)
EXISTING ZONING:	SU-2: SPECIAL NEIGHBORHOOD
PROPOSED USE:	DIALYSIS CLINIC
PROPOSED BUILDING SQUARE FT:	9,625 S.F.
PROPOSED MAX. BUILDING HEIGHT:	1 STORY
IMPERVIOUS SURFACE AREA	
BUILDINGS:	0.22 AC. (9,625 FT ²)
DRIVES/SIDEWALKS:	0.74 AC. (32,367 FT ²)
TOTAL PROPOSED IMPERVIOUS AREA:	0.96 AC. (41,992 FT ²)
PROPOSED ISR:	0.47
PARKING SUMMARY	
PARKING REQUIREMENTS:	FIVE SPACES * DOCTOR 1 BICYCLE SPACE / 20 PARKING SPACES 2 MOTORCYCLE SPACES (26-50 SPACES) (5*2) = 10 REGULAR SPACES (34 / 20) = 2 BICYCLE SPACES
PARKING REQUIRED:	10 SPACES
PARKING PROVIDED:	34 SPACES (2 ACCESSIBLE/2 MOTORCYCLE/2 BIKES)
OWNER:	
ADDRESS:	DIALYSIS CLINIC, INC. 1633 CHURCH STREET, STE 500 NASHVILLE, TN 37203
PHONE NO:	615-327-3061
CONTACT NAME:	ED ATTIROHN
PROJECT REPRESENTATIVE:	
ADDRESS:	LITTLEJOHN ENGINEERING 1935 21ST AVENUE SOUTH NASHVILLE, TN 37212
PHONE NO:	615.385.4144
CONTACT NAME:	PHILLIP PIERCY
CONTACT E-MAIL ADDRESS:	PPIERCY@LEAINC.COM



PROPOSED FEATURES LEGEND

- | | |
|---------------------|---------------------------------------------------------------------------------------|
| BUILDING |  |
| CONCRETE PAVEMENT |  |
| CONCRETE SIDEWALK |  |
| HEAVY DUTY PAVEMENT |  |
| LIGHT DUTY PAVEMENT |  |
| PAINTED STRIPE |  |
| CONCRETE CURB |  |
| CENTERLINE |  |



revisions:	
1	9/8/16 CITY COMMENTS
2	
3	
4	

JACK FREEMAN AND ASSOCIATES P.C.

■ ARCHITECTS AND PLANNERS

(615)329-2424

NASHVILLE, TN. 37203

311 22nd AVENUE NORTH

DIALYSIS CLINIC, INC.
SOUTHWEST MESA
8217 CENTRAL AVENUE, N.W.
ALBUQUERQUE
NEW MEXICO

DCI
Dialysis Clinic, Inc.
A Non-Profit Corporation

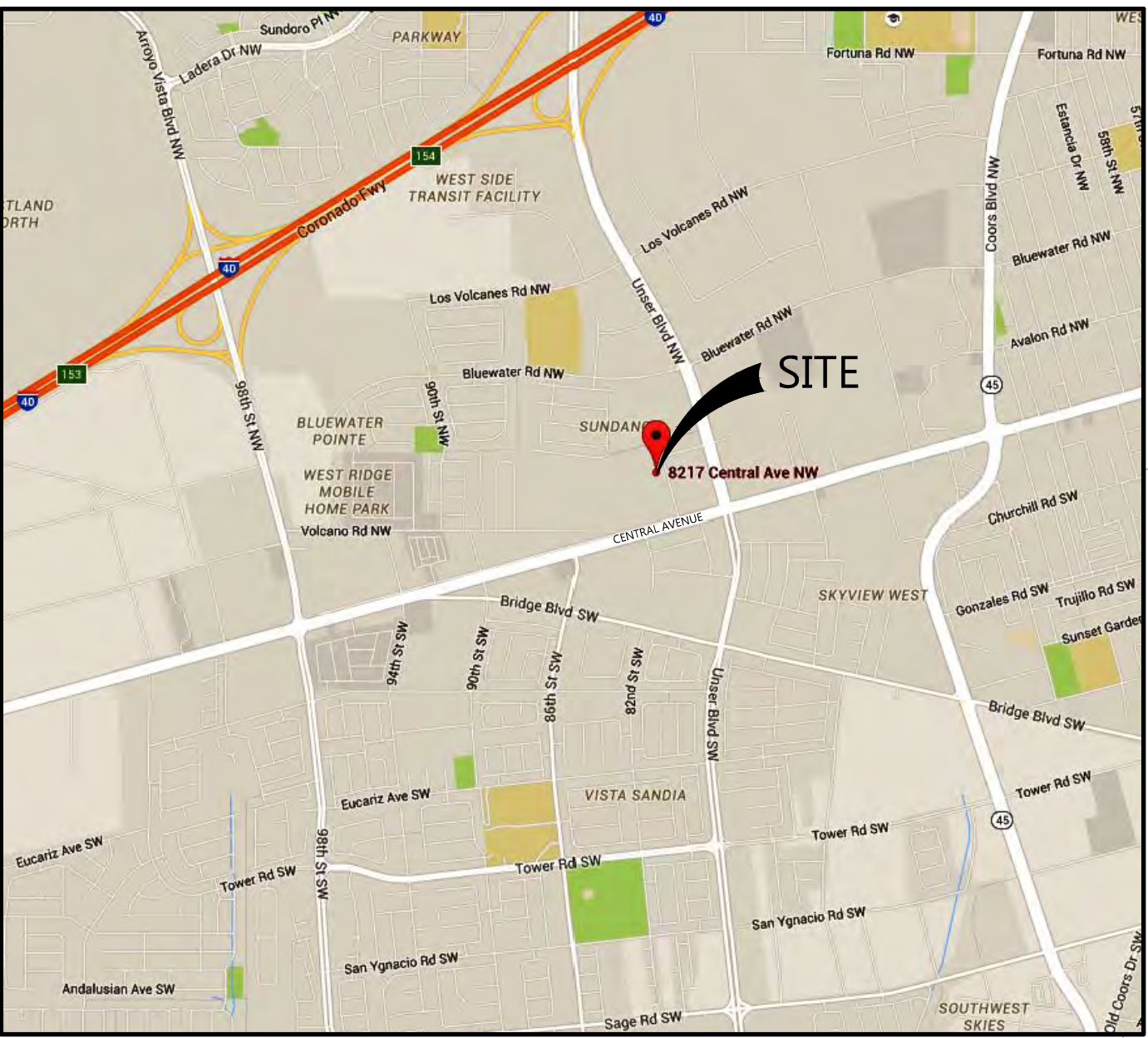


date
August 3, 2016



















project no.
35-122

sheet no.
C4.00

LAYOUT PLAN



VICINITY MAP
N.T.S.

SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET # /SHT #
 S1a	ASPHALT PAVEMENT - LIGHT DUTY	1 / C7.00
 S1b	ASPHALT PAVEMENT - HEAVY DUTY	1 / C7.00
 S2	CONCRETE PAVEMENT	2 / C7.00
 S3c	CONCRETE EXTRUDED CURB	1 / C7.00
 S3d	CONCRETE RIBBON CURB	3 / C7.00
 S4a	CONCRETE SIDEWALK	4 / C7.00
 S4b	CONCRETE SIDEWALK WITH TURN DOWN CURB	5 / C7.00
 S5	SIDEWALK JOINTS	6 / C7.00
 S6	ACCESSIBLE SYMBOL	8 / C7.00
 S7	ACCESSIBLE PARKING SPACE	9 / C7.00
 S10	CONCRETE WHEELSTOP	11 / C7.00
 S14	BOLLARD	12 / C7.00
 S15	UTILITY PAD	7 / C7.00
 S16	CONCRETE DUMPSHIP PAD	13 / C7.00
 S18	DIRECTIONAL ARROWS	1 / C7.01
 S19	BIKE RACK	14 / C7.01
SITE SIGNAGE KEYNOTES		
CODE	DESCRIPTION	DET # /SHT #
 G1a	ACCESSIBLE PARKING SIGN	10 / C7.00
 G8	MOTORCYCLE SIGNAGE	13 / C7.01









SITE DATA

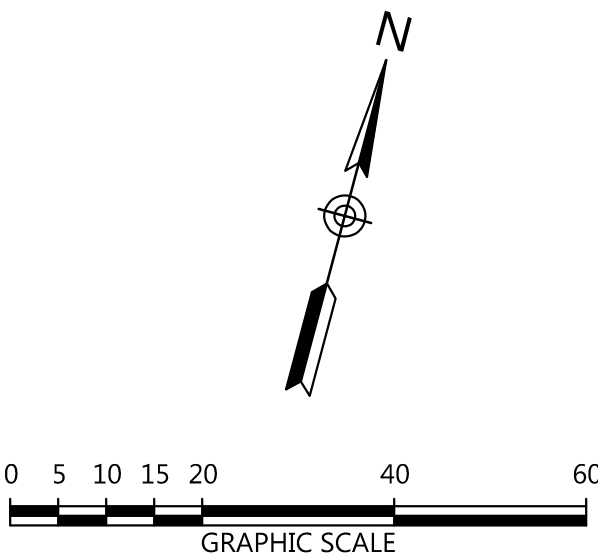
ZONE MAP NO.	8217 CENTRAL AVENUE NW
SITE ACREAGE:	ALBUQUEQUE, NM
EXISTING ZONING:	K-10-2
PROPOSED USE:	2.03 AC (88,547 FT ²)
PROPOSED BUILDING SQUARE FT:	SU-2: SPECIAL NEIGHBORHOOD
PROPOSED MAX. BUILDING HEIGHT:	DIALYSIS CLINIC
	9.625 S.F.
	1 STORY
IMPERVIOUS SURFACE AREA	
BUILDINGS:	0.22 AC (9,625 FT ²)
DRIVES/SIDEWALKS:	0.74 AC (32,367 FT ²)
TOTAL PROPOSED IMPERVIOUS AREA:	0.96 AC (41,992 FT ²)
PROPOSED ISIR:	0.47
PARKING SUMMARY	
PARKING REQUIREMENTS:	FIVE SPACES * DOCTOR
	1 BICYCLE SPACE / 20 PARKING SPACES
	2 MOTORCYCLE SPACES (26-50 SPACES)
	(5'2") = 10 REGULAR SPACES;
	(34 / 20) = 2 BICYCLE SPACES
PARKING REQUIRED:	10 SPACES
PARKING PROVIDED:	34 SPACES (2 ACCESSIBLE/2 MOTORCYCLE/2 BIKE)
OWNER:	DIALYSIS CLINIC, INC.
ADDRESS:	1633 CHURCH STREET, STE 500
	NASHVILLE, TN 37203
PHONE NO:	615-327-3061
CONTACT NAME:	ED ATTHORN
PROJECT REPRESENTATIVE:	LITTLEJOHN ENGINEERING
ADDRESS:	1935 21ST AVENUE SOUTH
	NASHVILLE, TN 37212
PHONE NO:	615.385.4144
CONTACT NAME:	PHILLIP PIERCY
CONTACT E-MAIL ADDRESS:	PPIERCY@LEAINC.COM

TRAFFIC CIRCULATION

THIS PROJECT IS LOCATED AT 8217 CENTRAL AVE. NW, ALBUQUERQUE, NM. THE PROPOSED PROJECT IS THE CONSTRUCTION OF 9,625 SQ. FT. FALSIACUS CLINIC WITH ASSOCIATED DRIVES AND PARKING. THERE WILL BE A SINGLE ENTRANCE AND EXIT DRIVE FOR ALL TRAFFIC AT THIS SITE. THERE WILL BE MULTI-DIRECTIONAL CIRCULATION AROUND THE BUILDING. THIS SITE HAS BEEN DESIGNED FOR A WB-62 DELIVERY VEHICLE. THERE ARE 34 PARKING SPACES, 2 OF WHICH ARE VAN ACCESSIBLE. THERE WILL BE MINIMAL IMPACT ON ADJOINING SITES. THIS PROJECT WILL GENERATE FEWER THAN 90 TRIPS IN A TYPICAL DAY. THE TRIPS WILL BE PRIMARILY DURING NON-PEAK HOURS, NO VARIANCES OR SPECIAL ACCOMMODATIONS WERE OBTAINED FOR THIS SITE.

PROPOSED FEATURES LEGEND

BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
PAINTED STRIPE	
CONCRETE CURB	
CENTERLINE	



revisions:	
1	9/8/16 CITY COMMENTS
2	
3	
4	

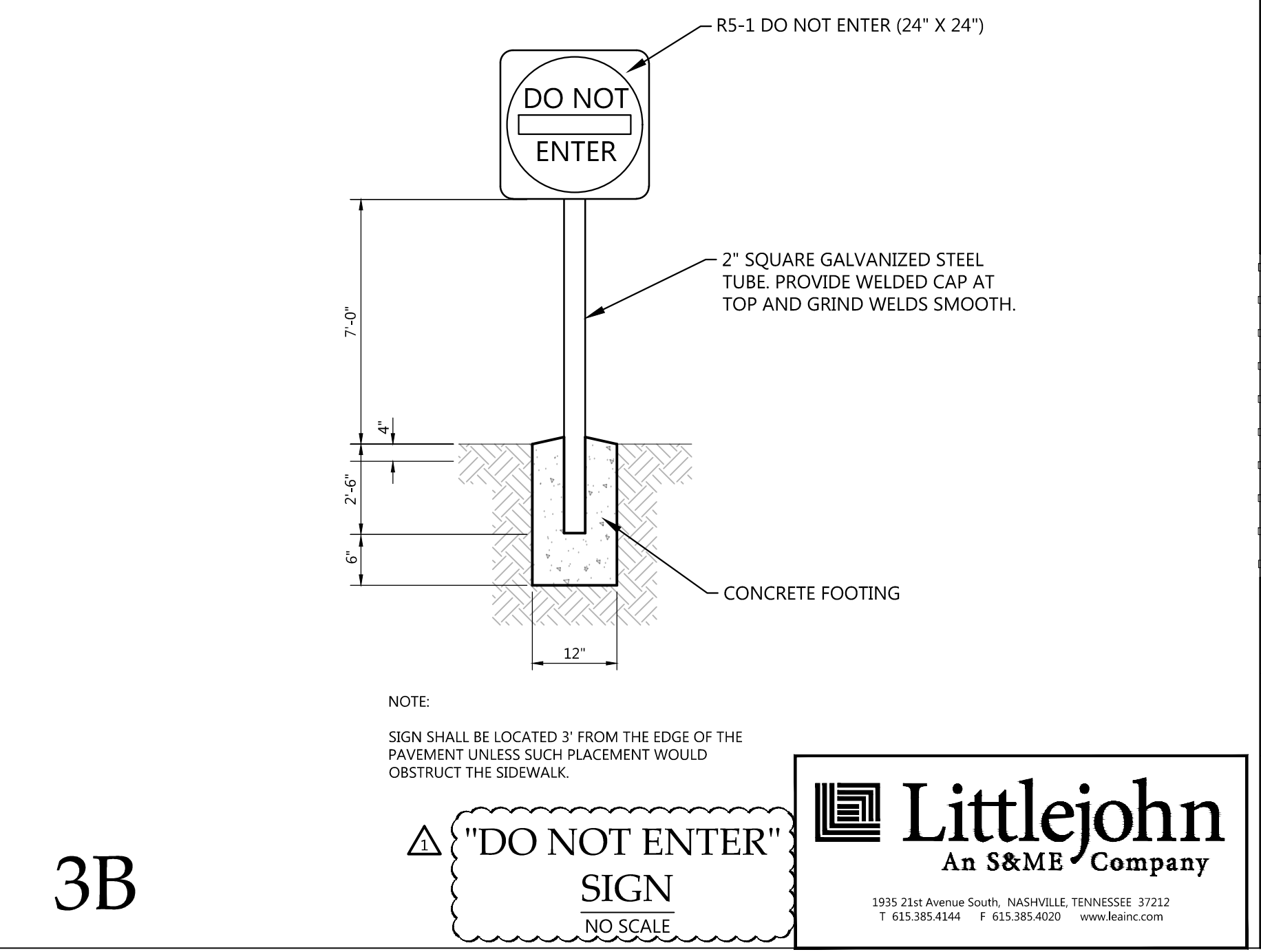
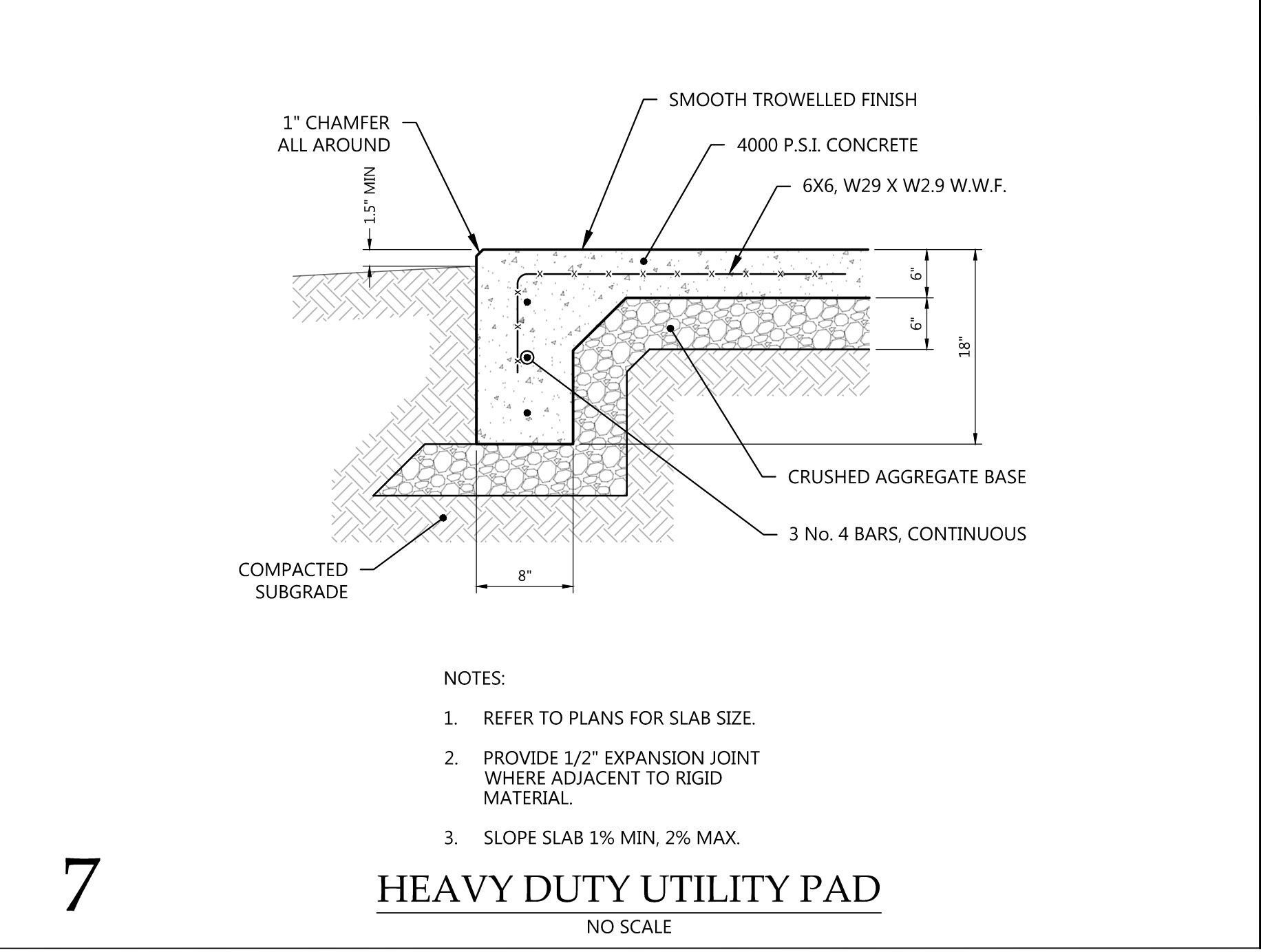
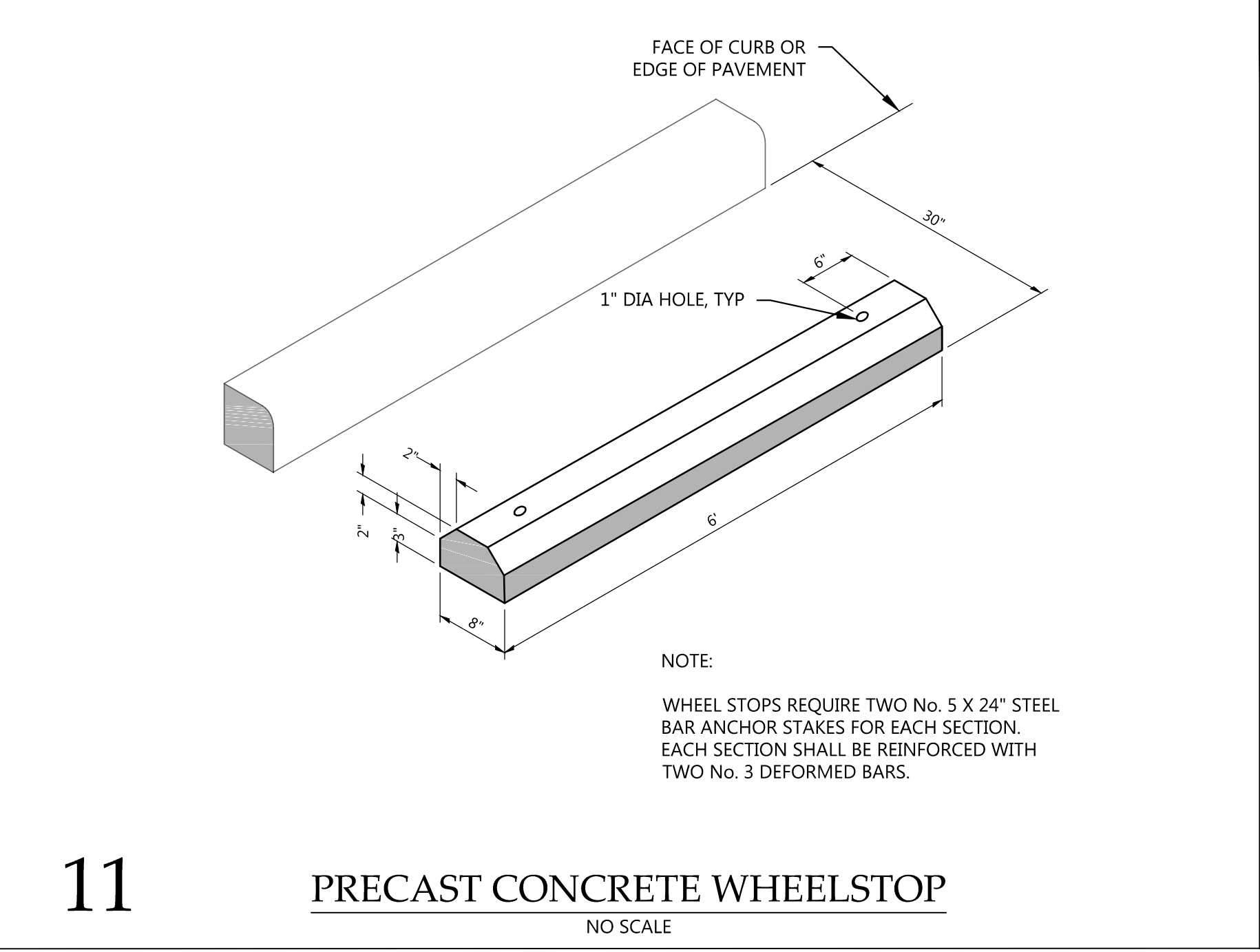
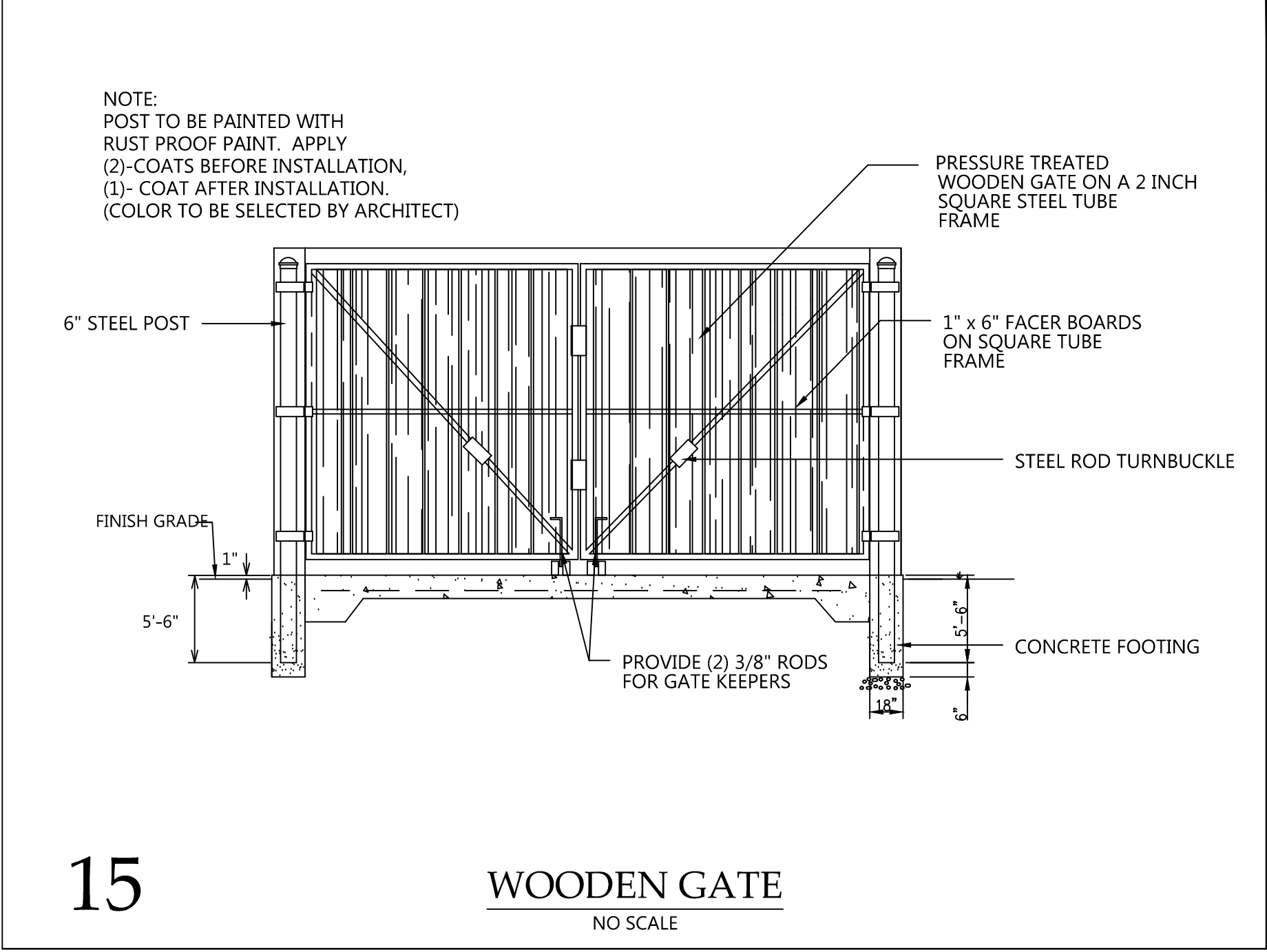
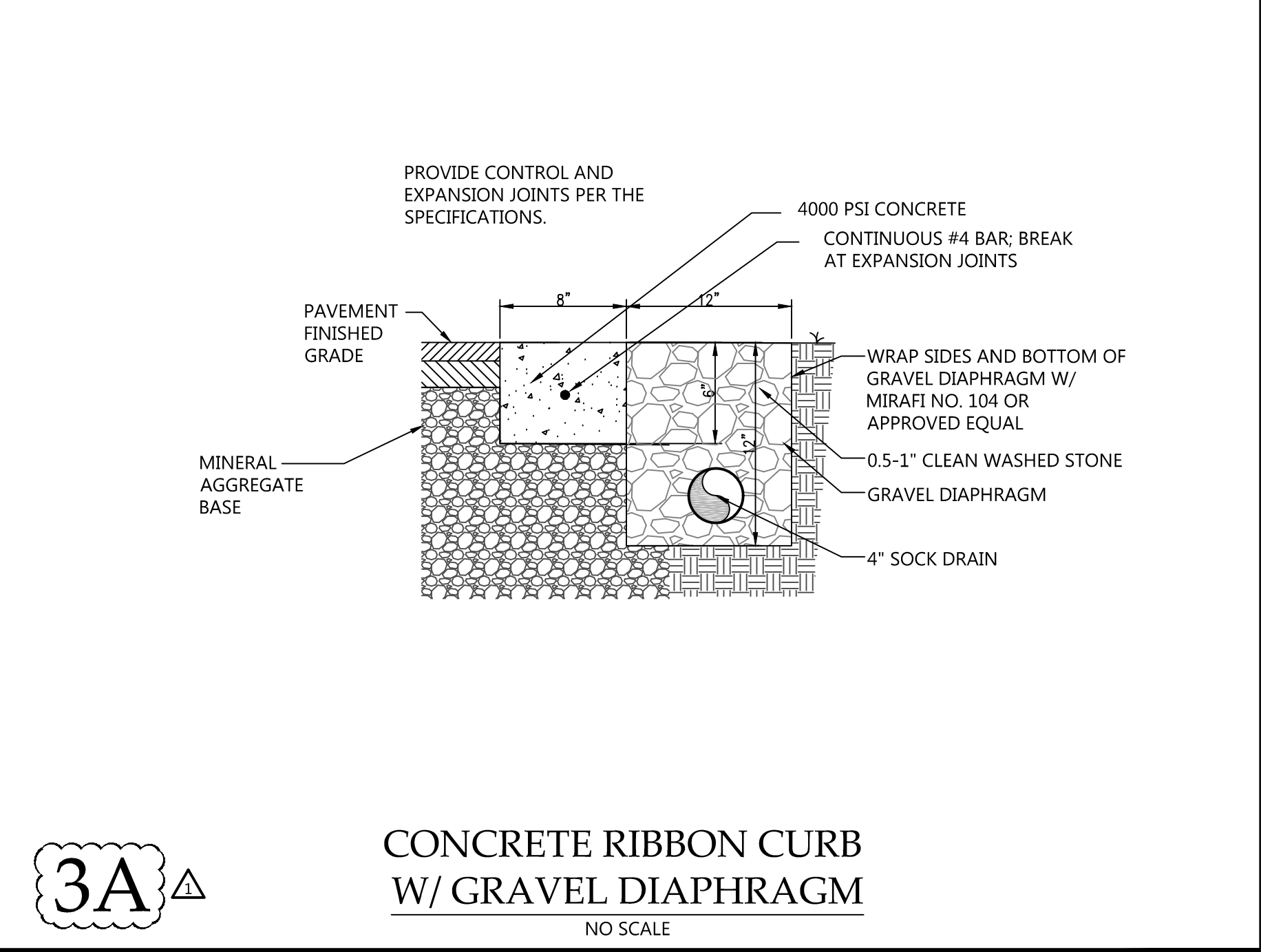
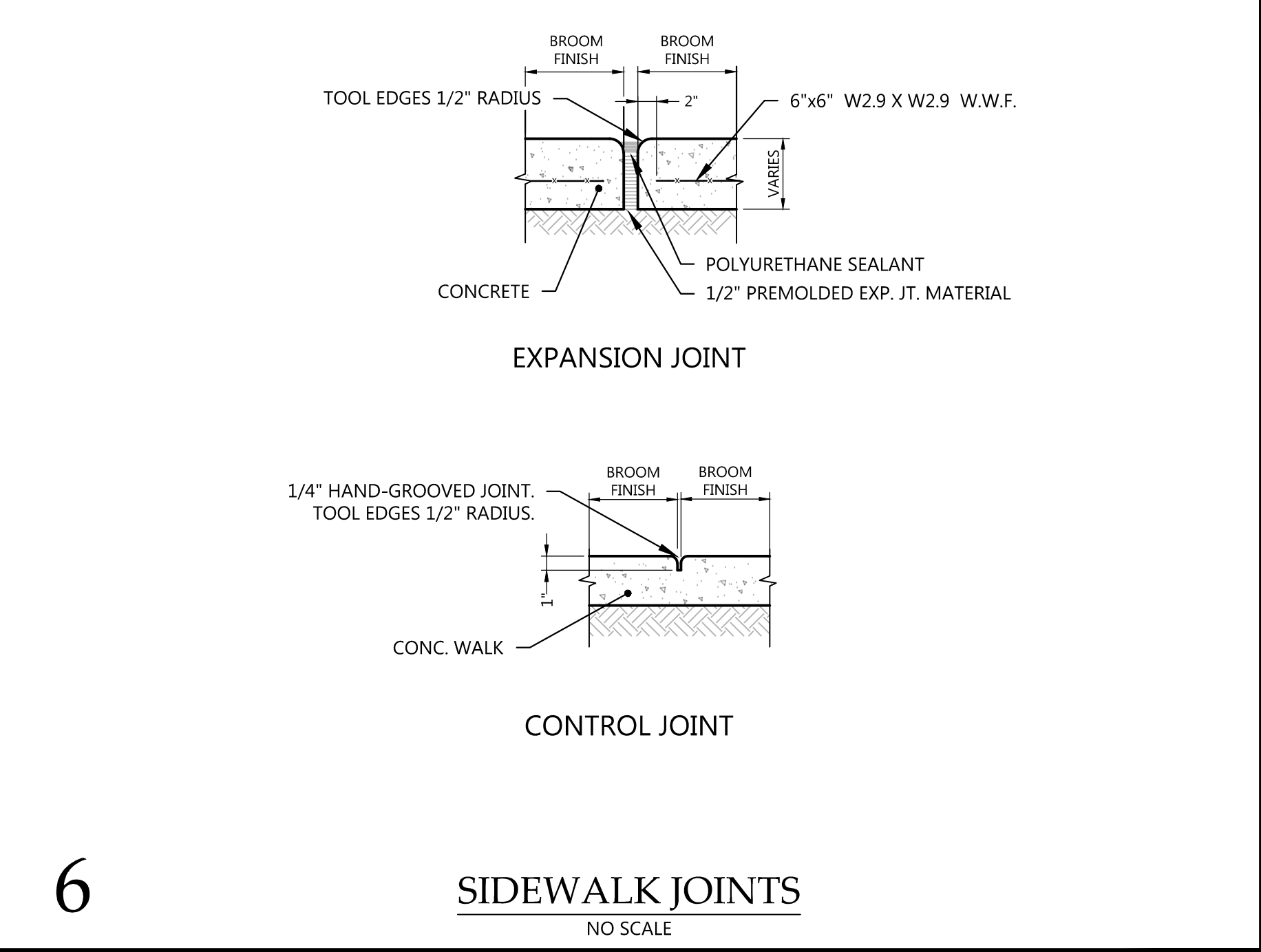
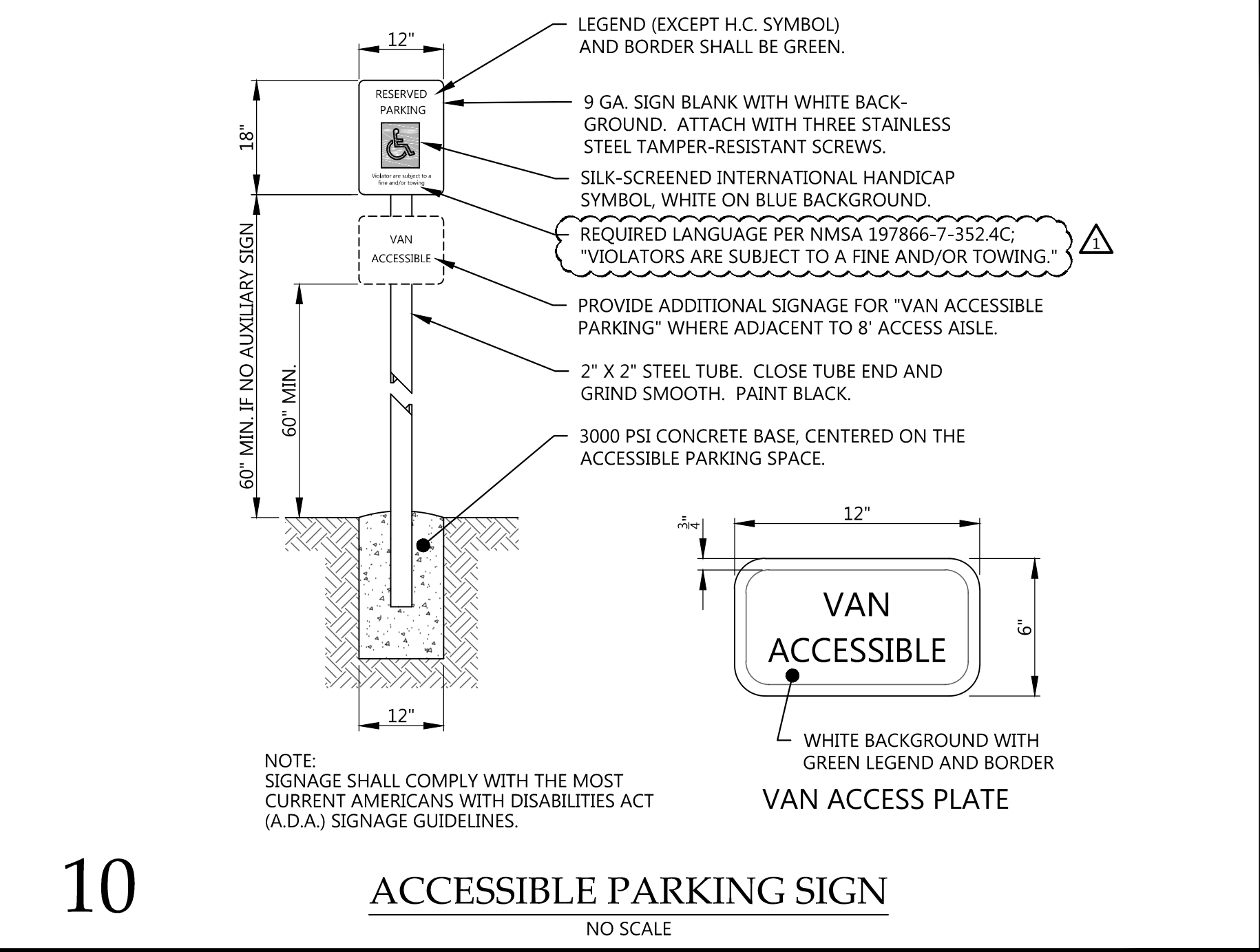
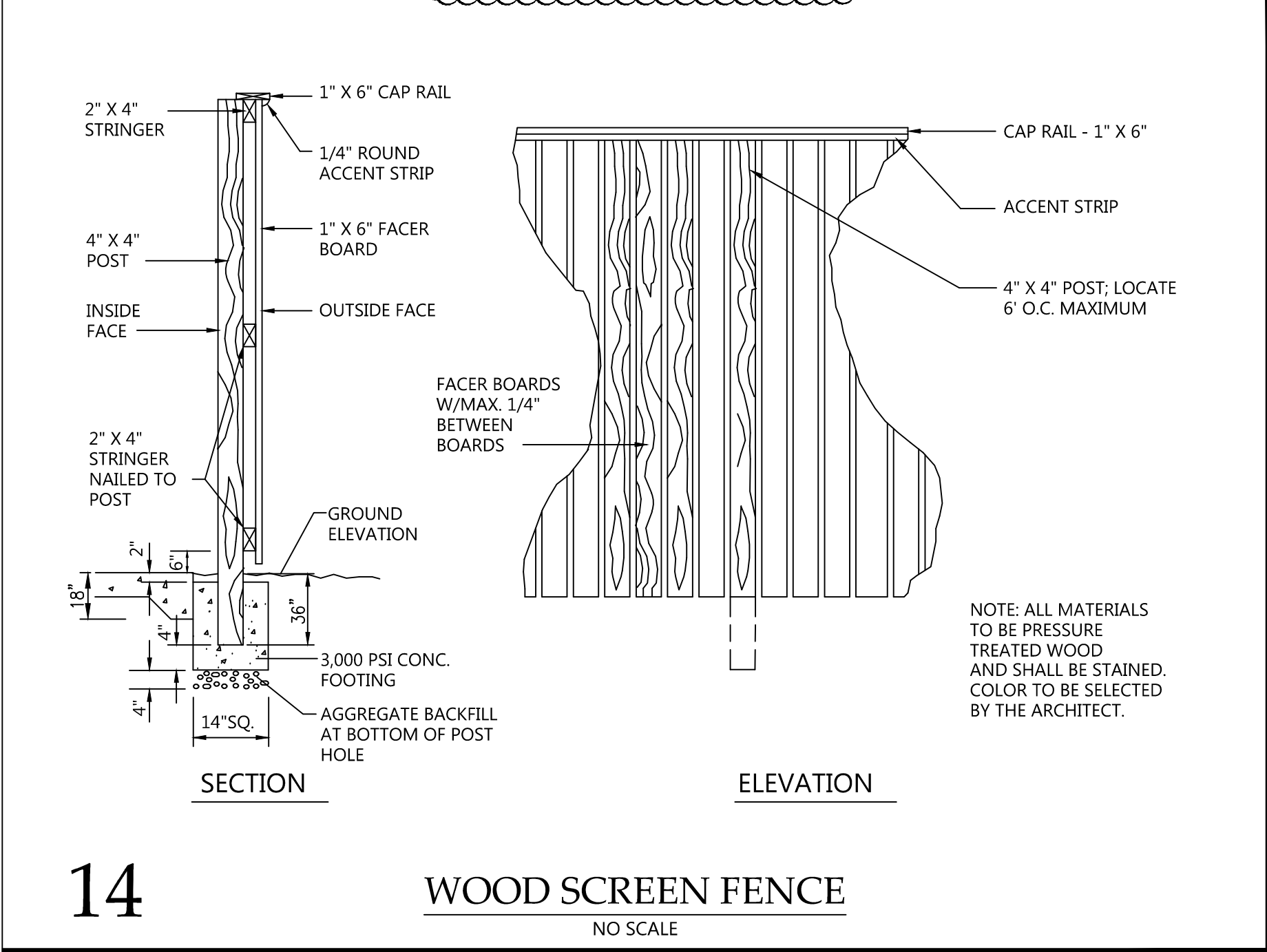
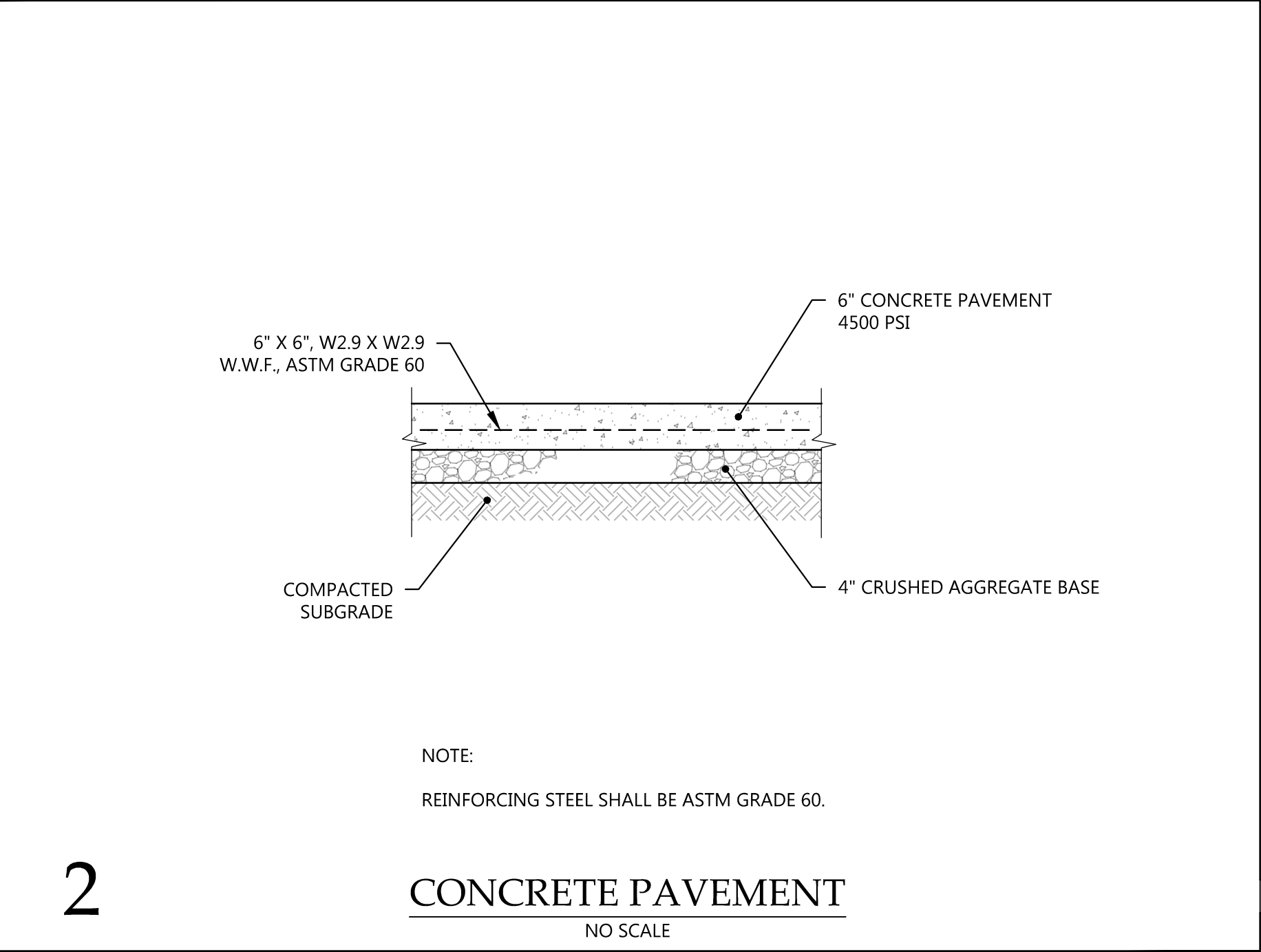
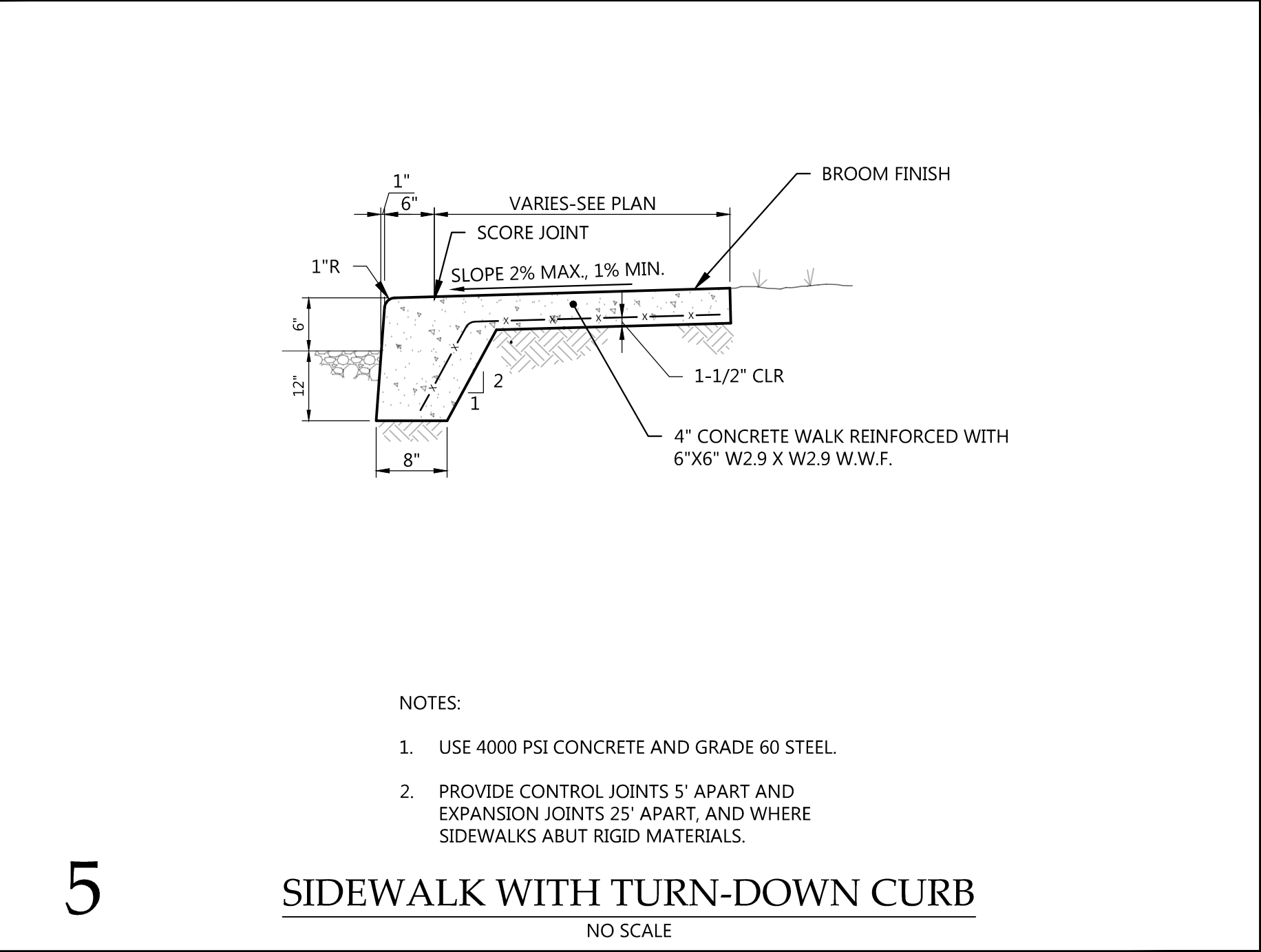
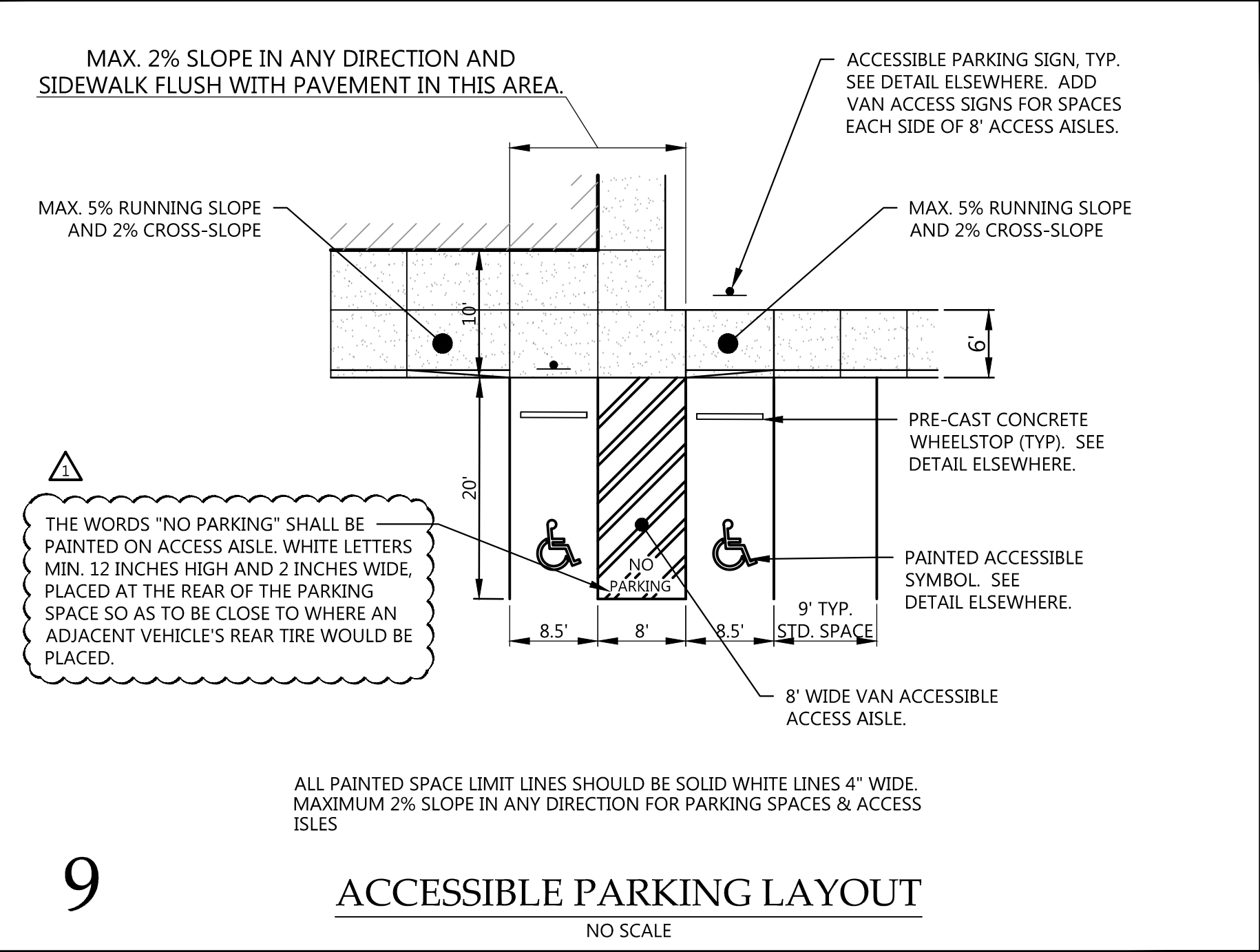
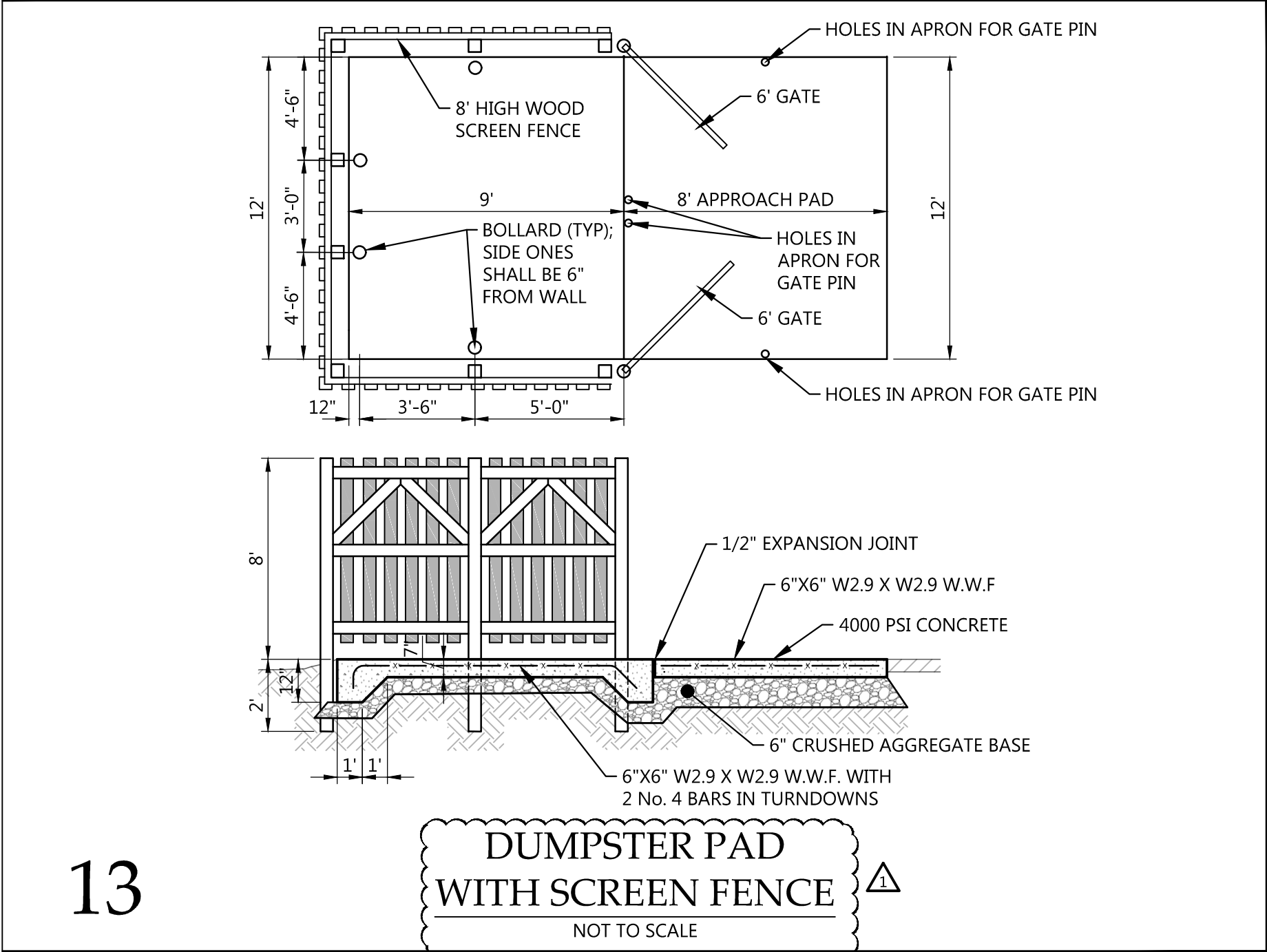
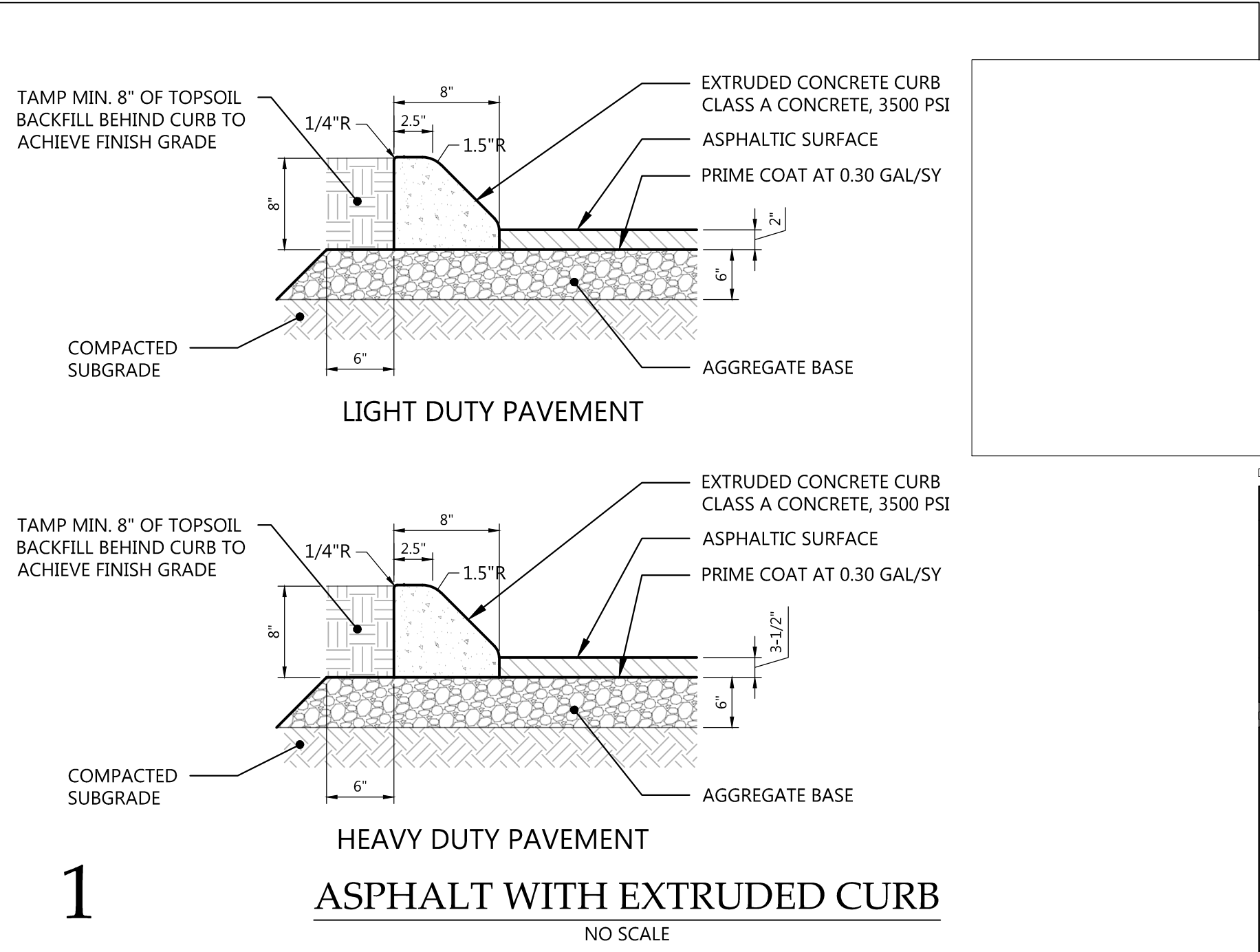
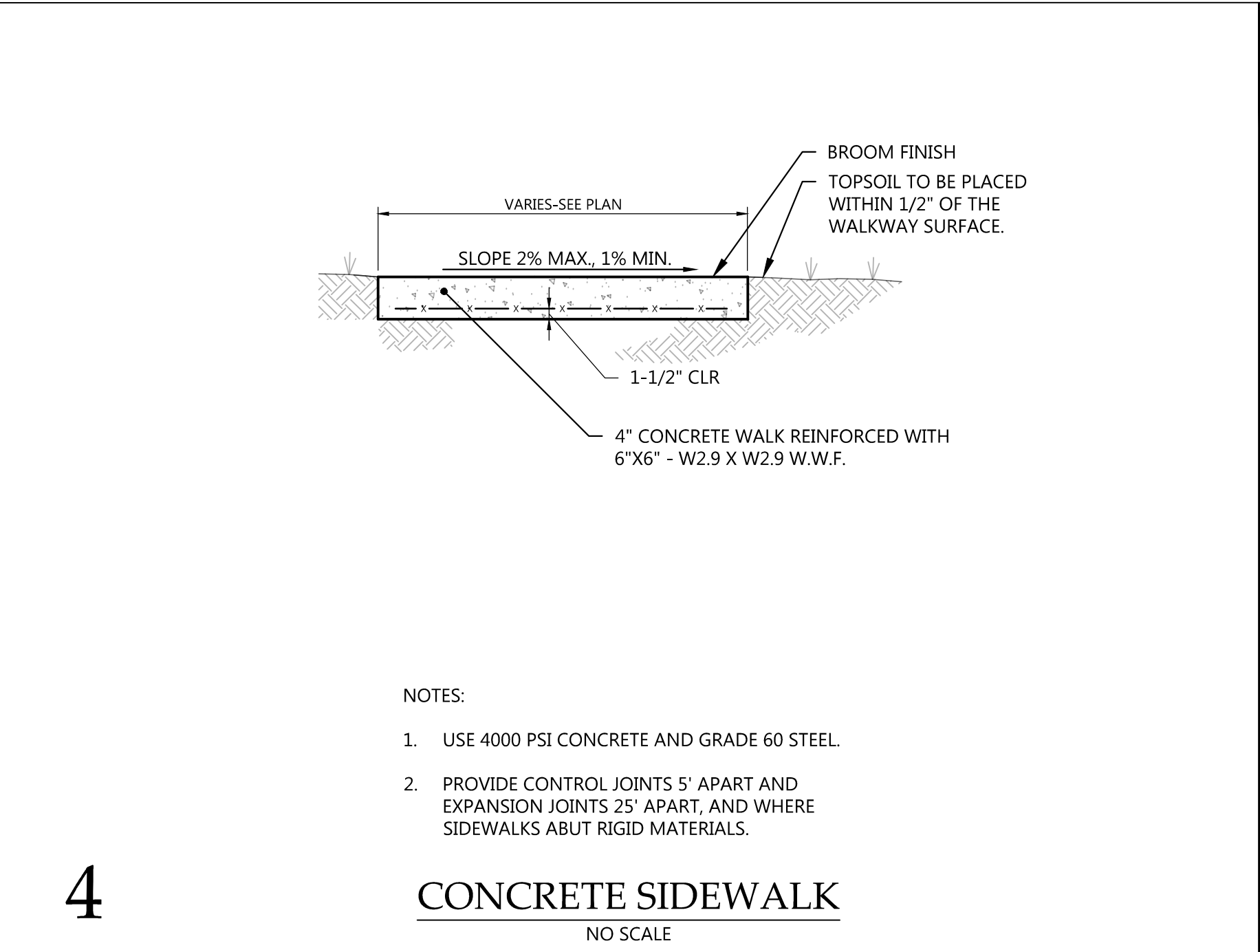
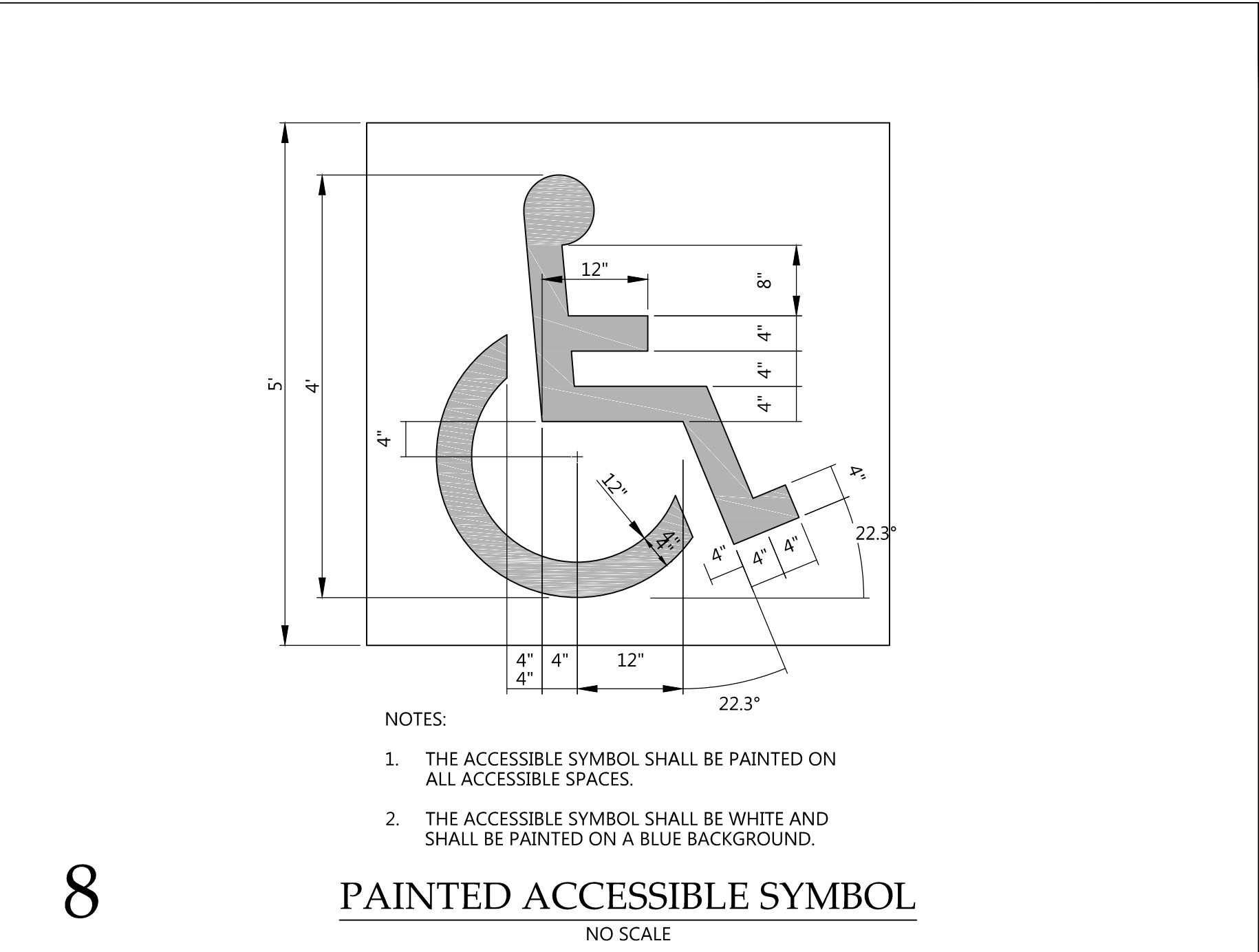
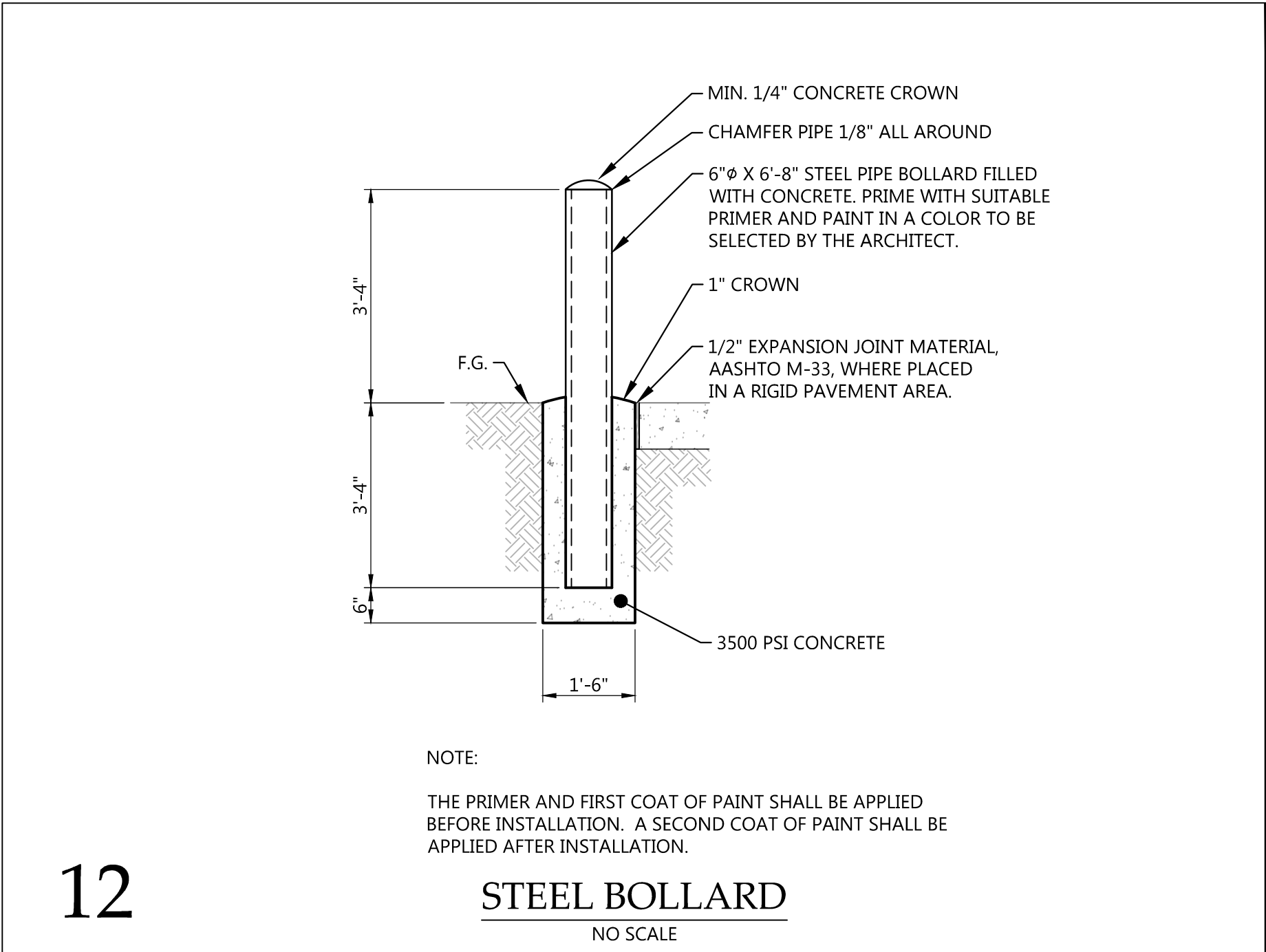
JACK FREEMAN AND ASSOCIATES P.C.
ARCHITECTS AND PLANNERS
 311 22nd AVENUE NORTH NASHVILLE, TN. 37203 (615)329-2424

DCI
Dialysis Clinic, Inc.
A Non-Profit Corporation

DIALYSIS CLINIC, INC.
SOUTHWEST MESA
8217 CENTRAL AVENUE, N.W.
ALBUQUERQUE, NEW MEXICO



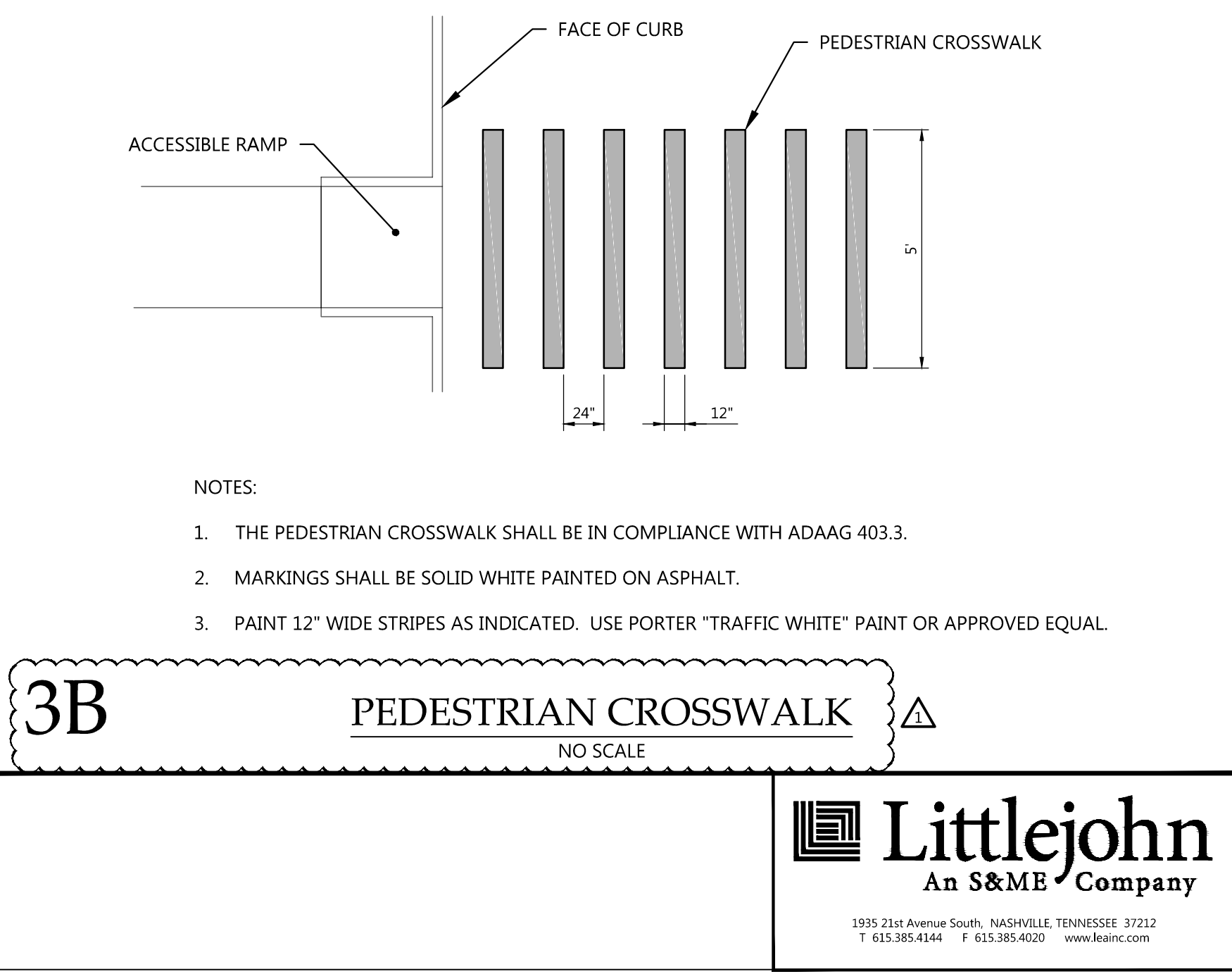
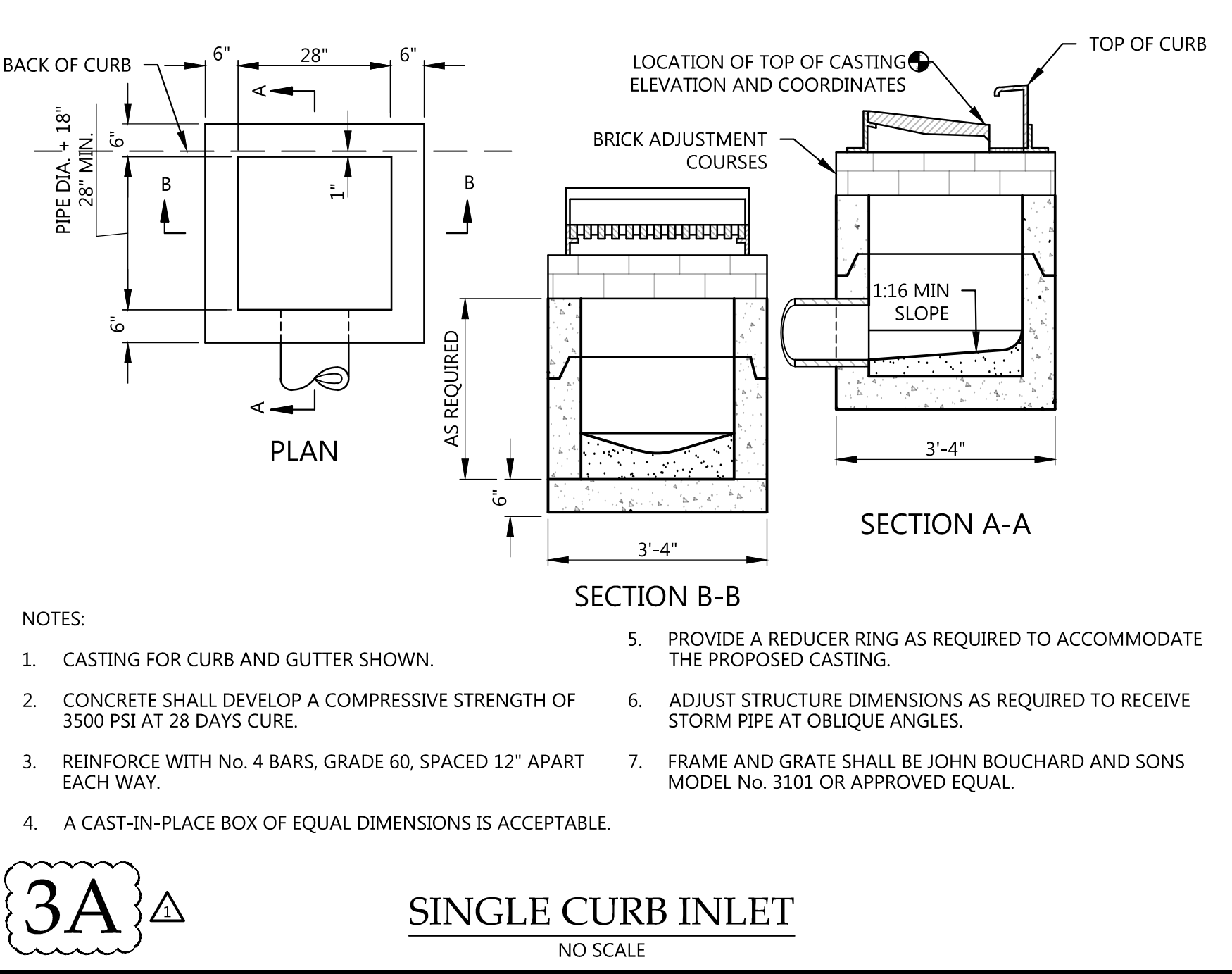
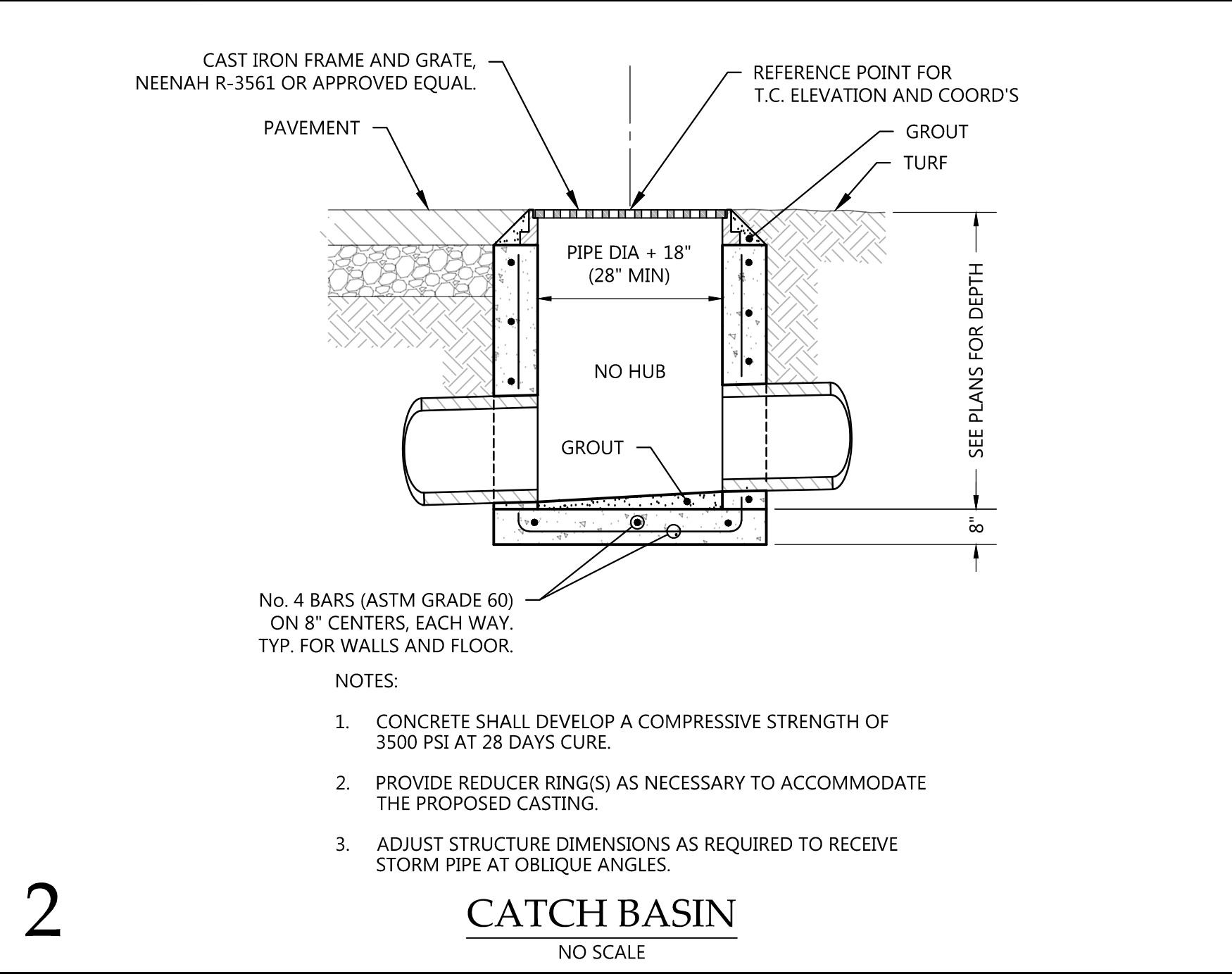
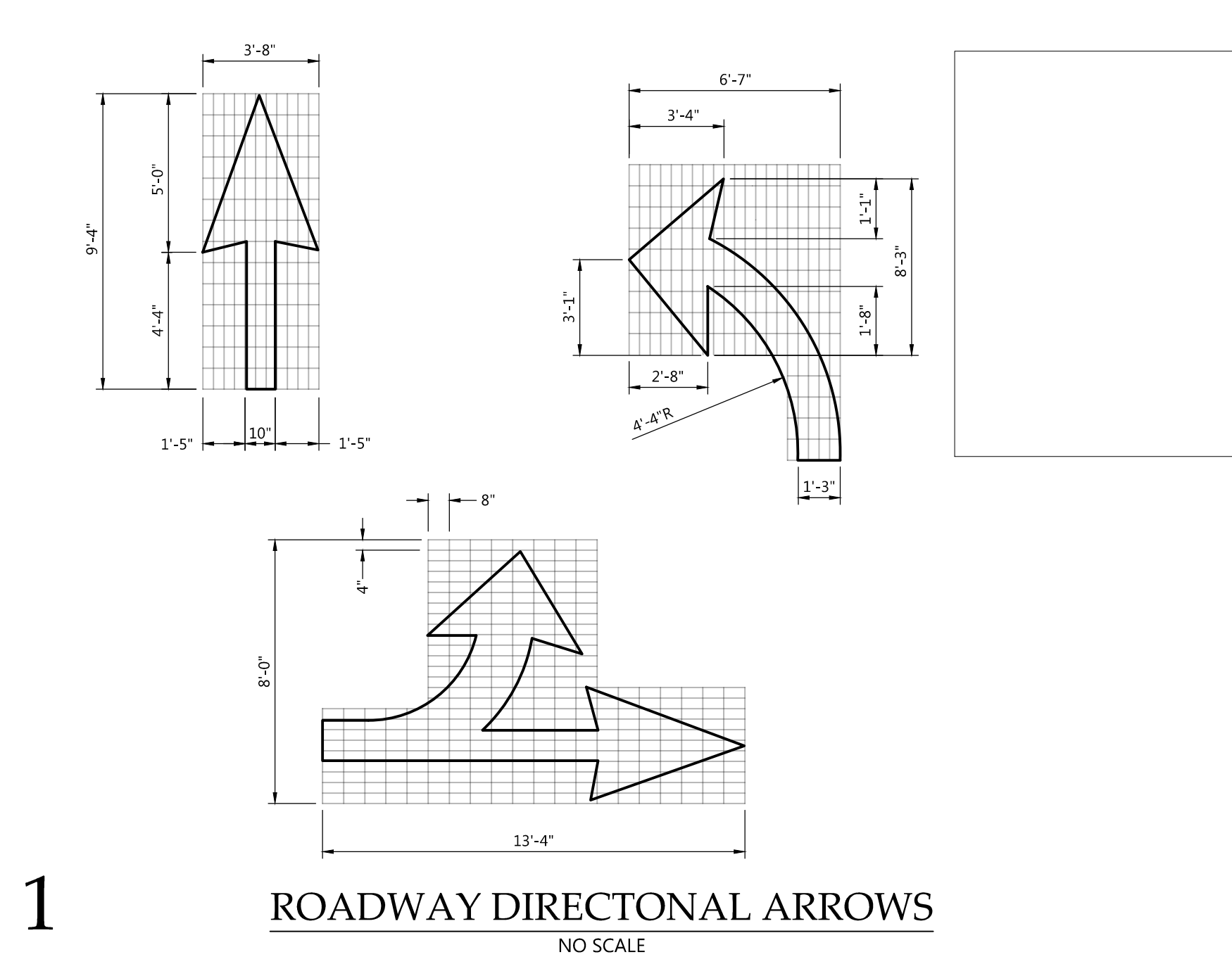
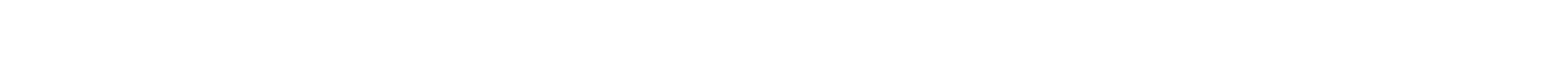
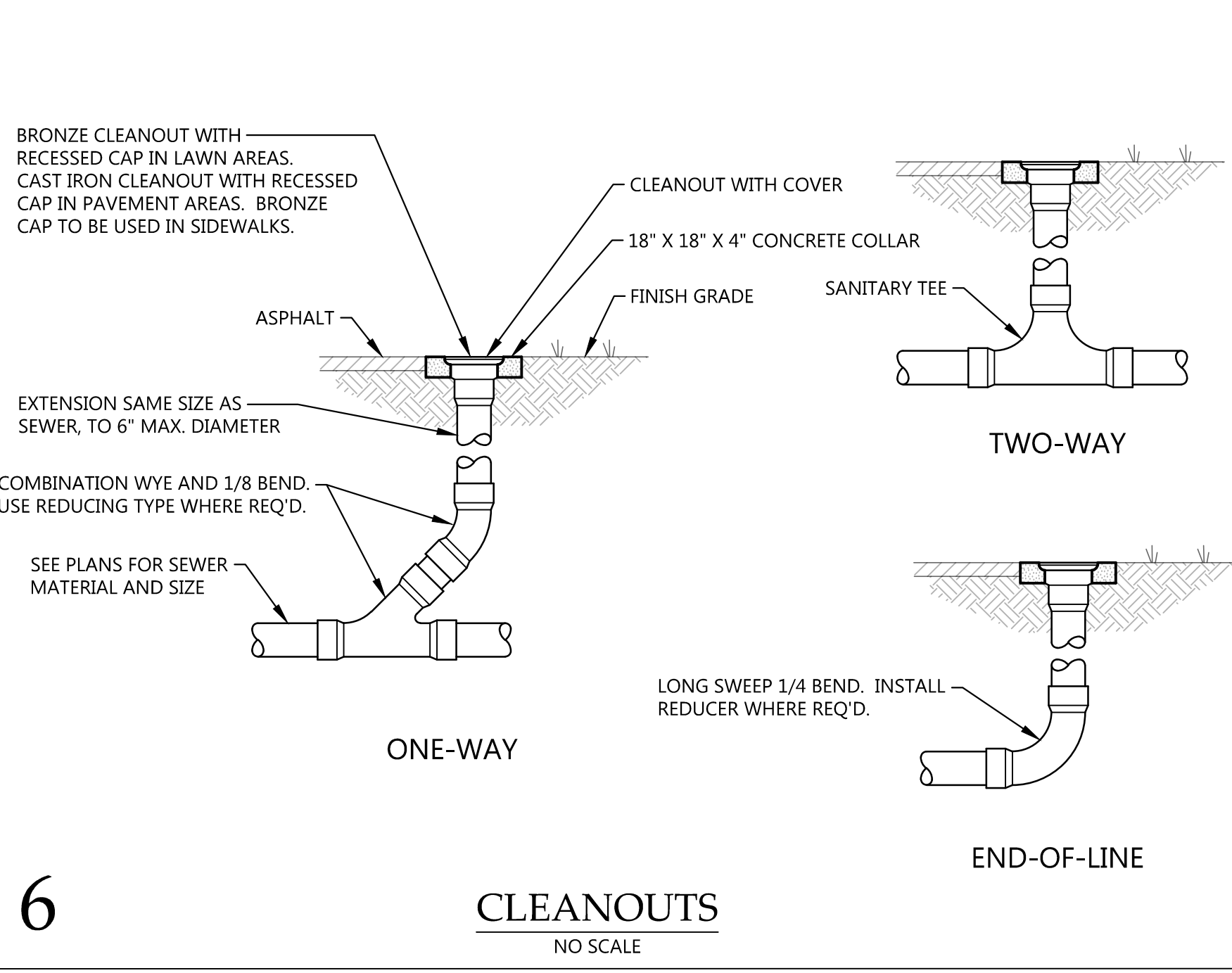
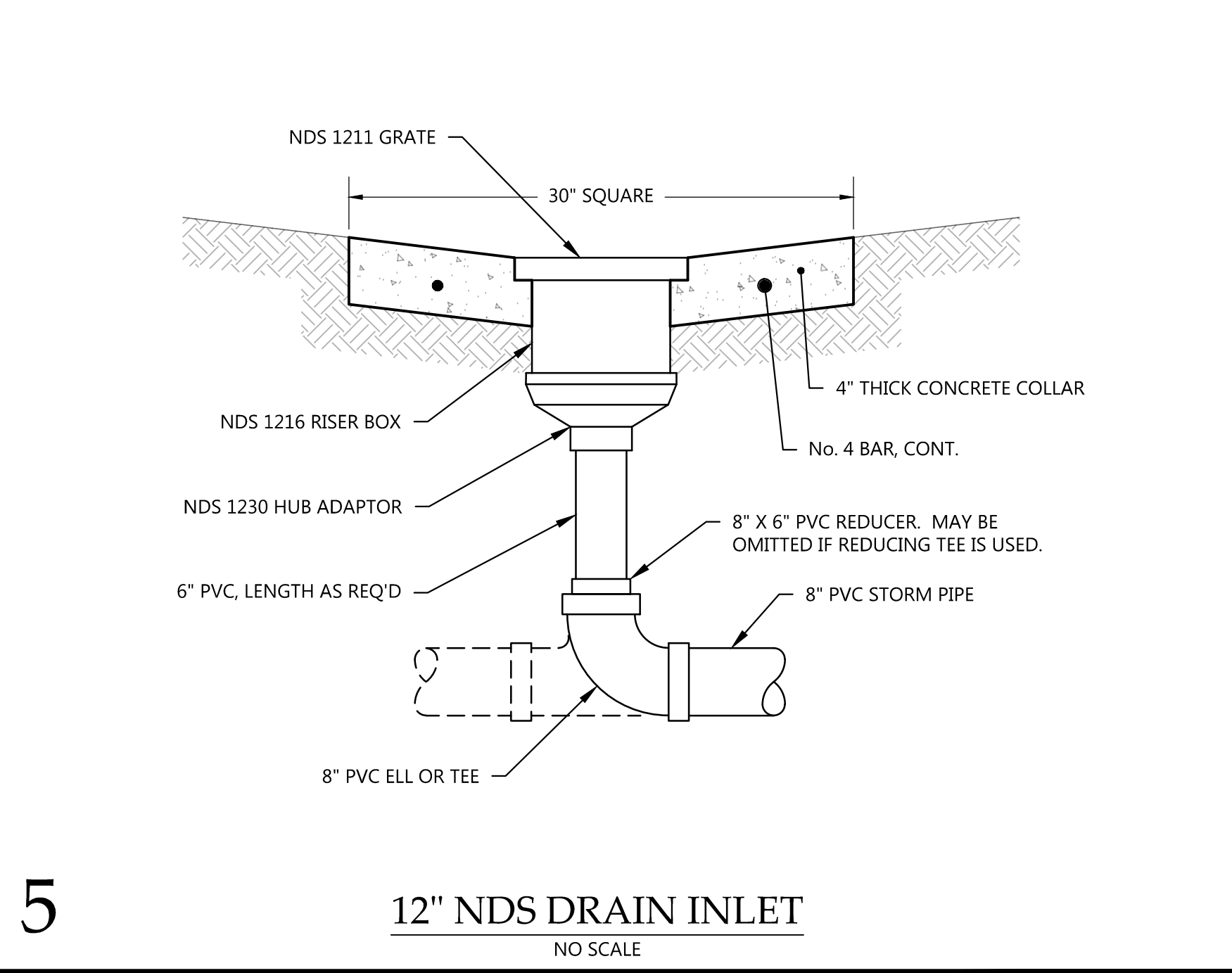
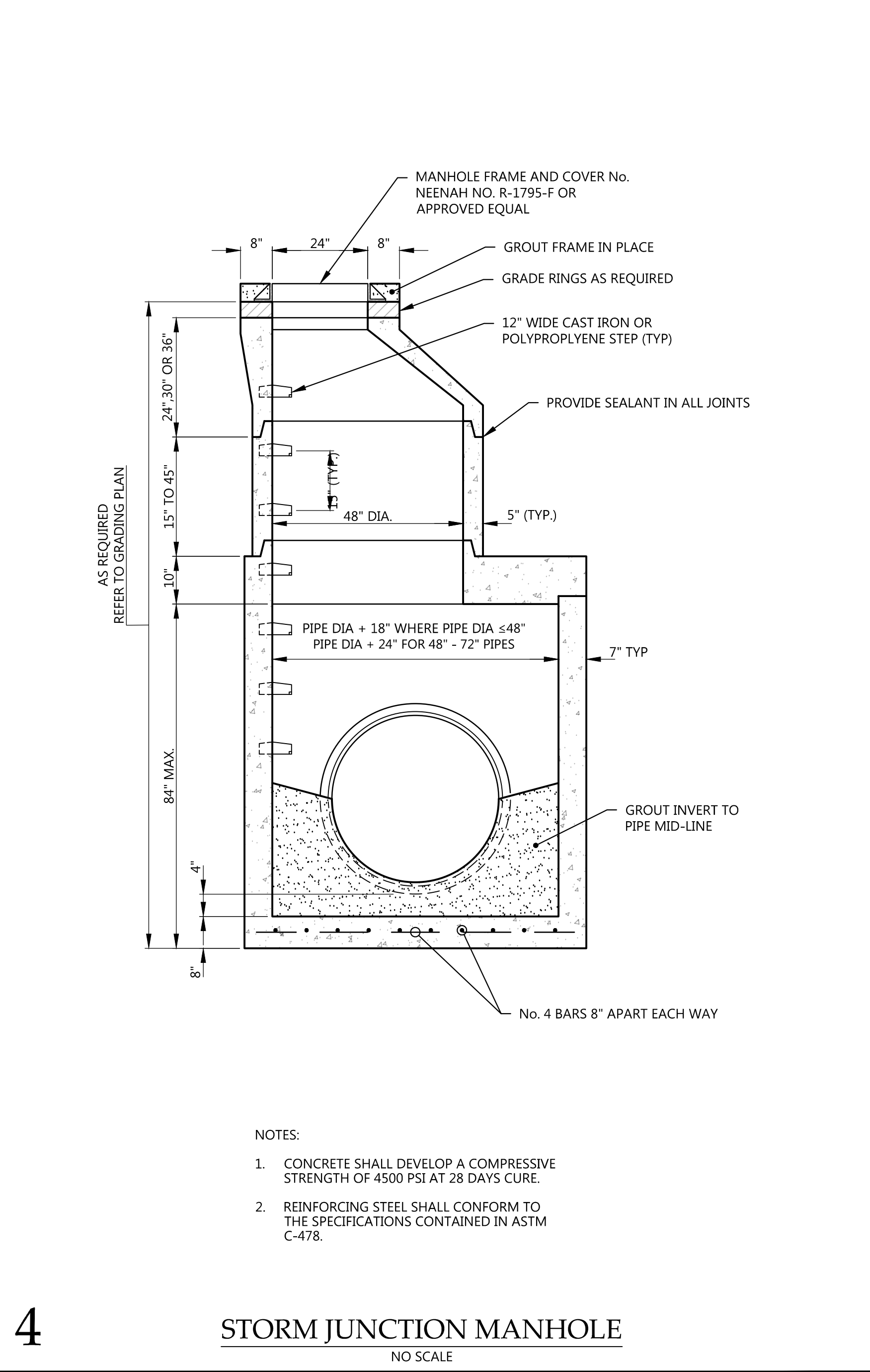
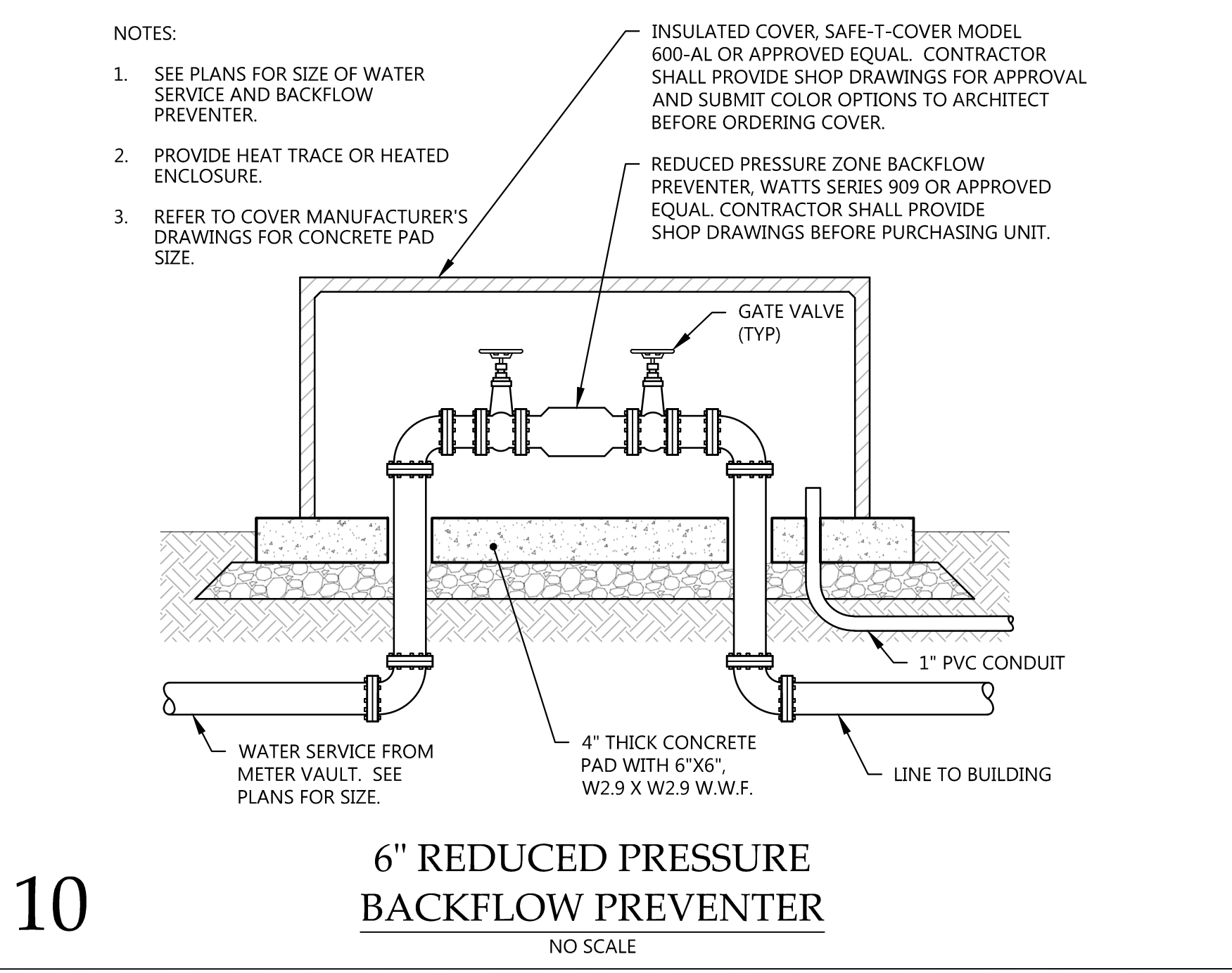
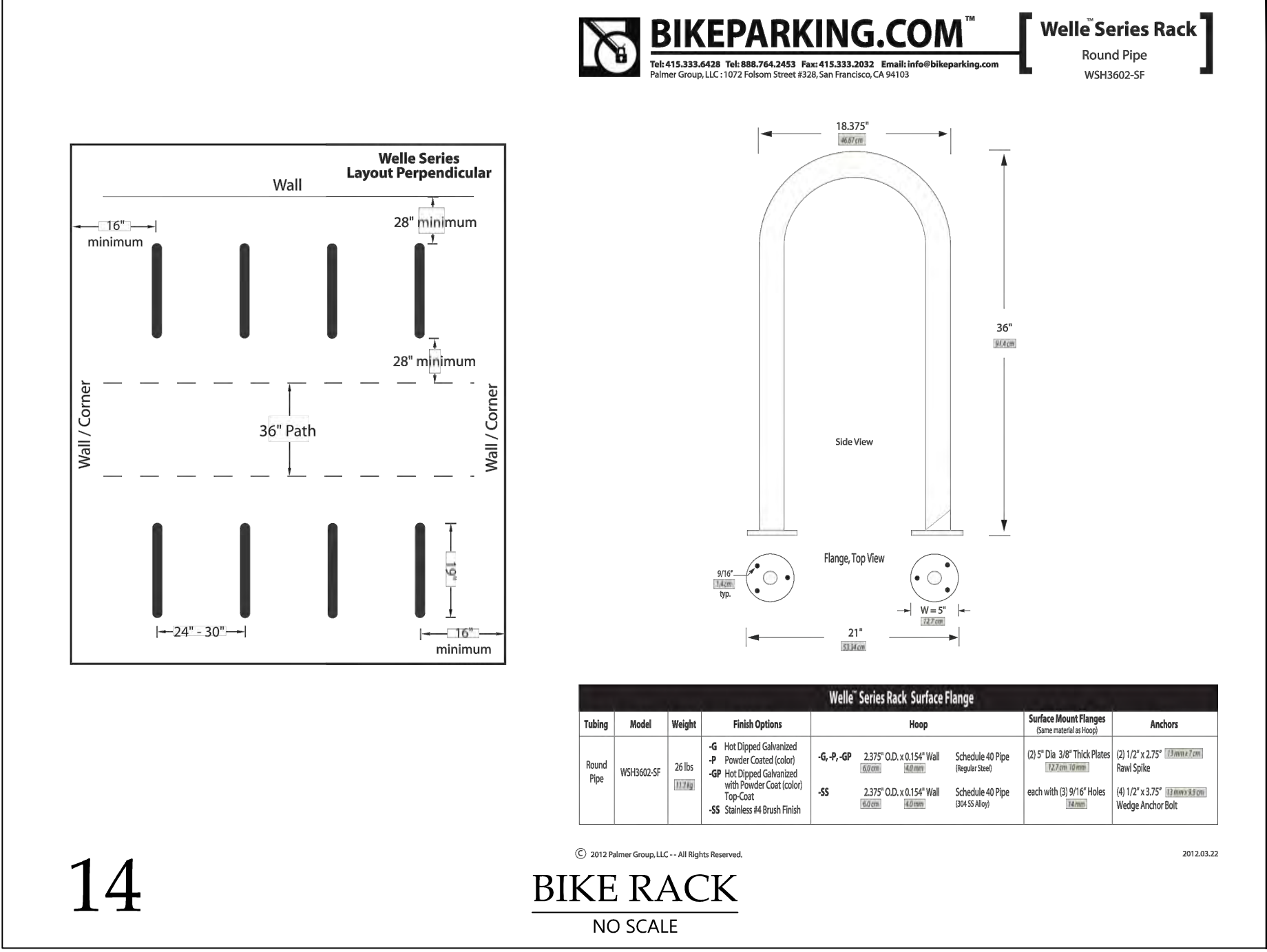
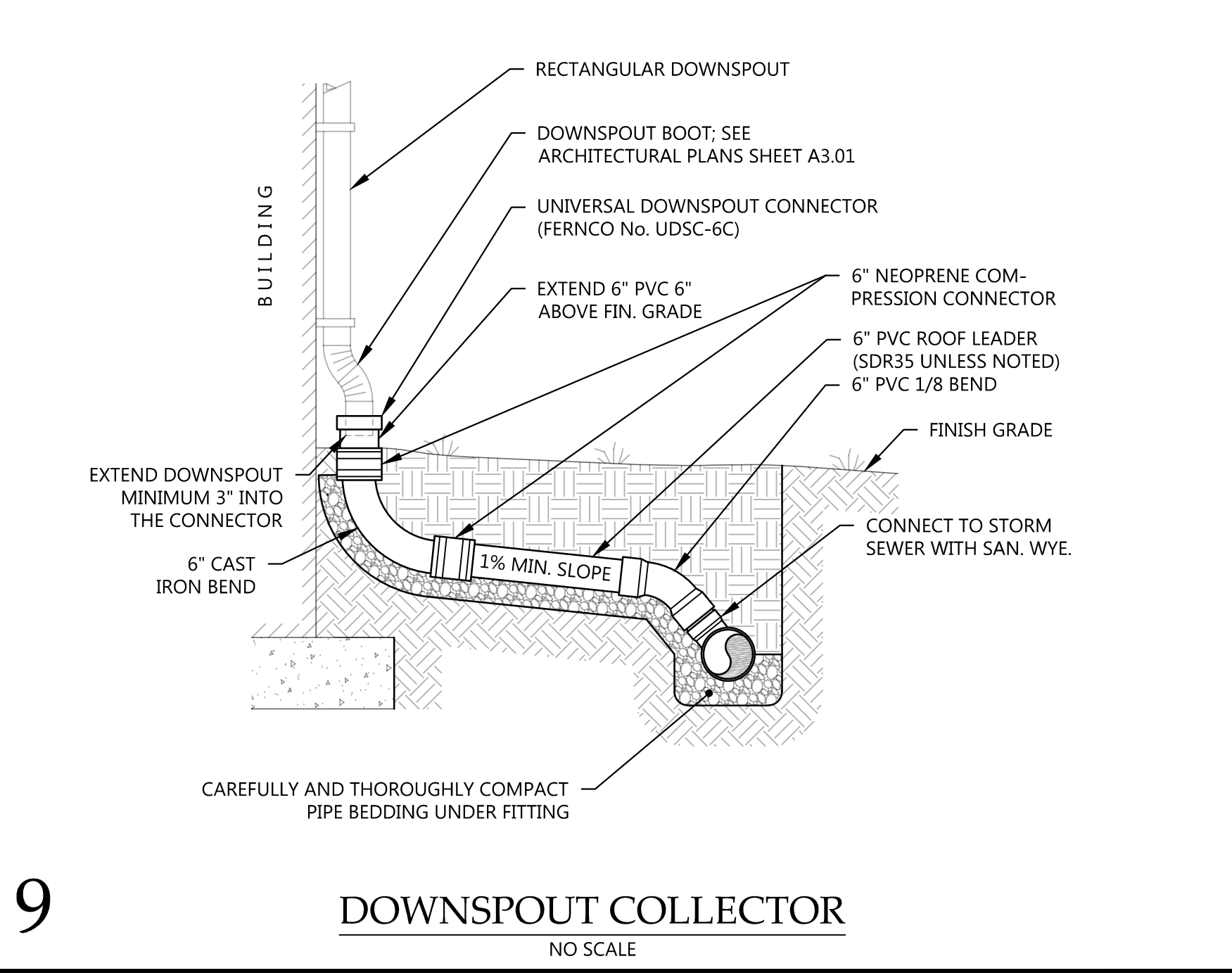
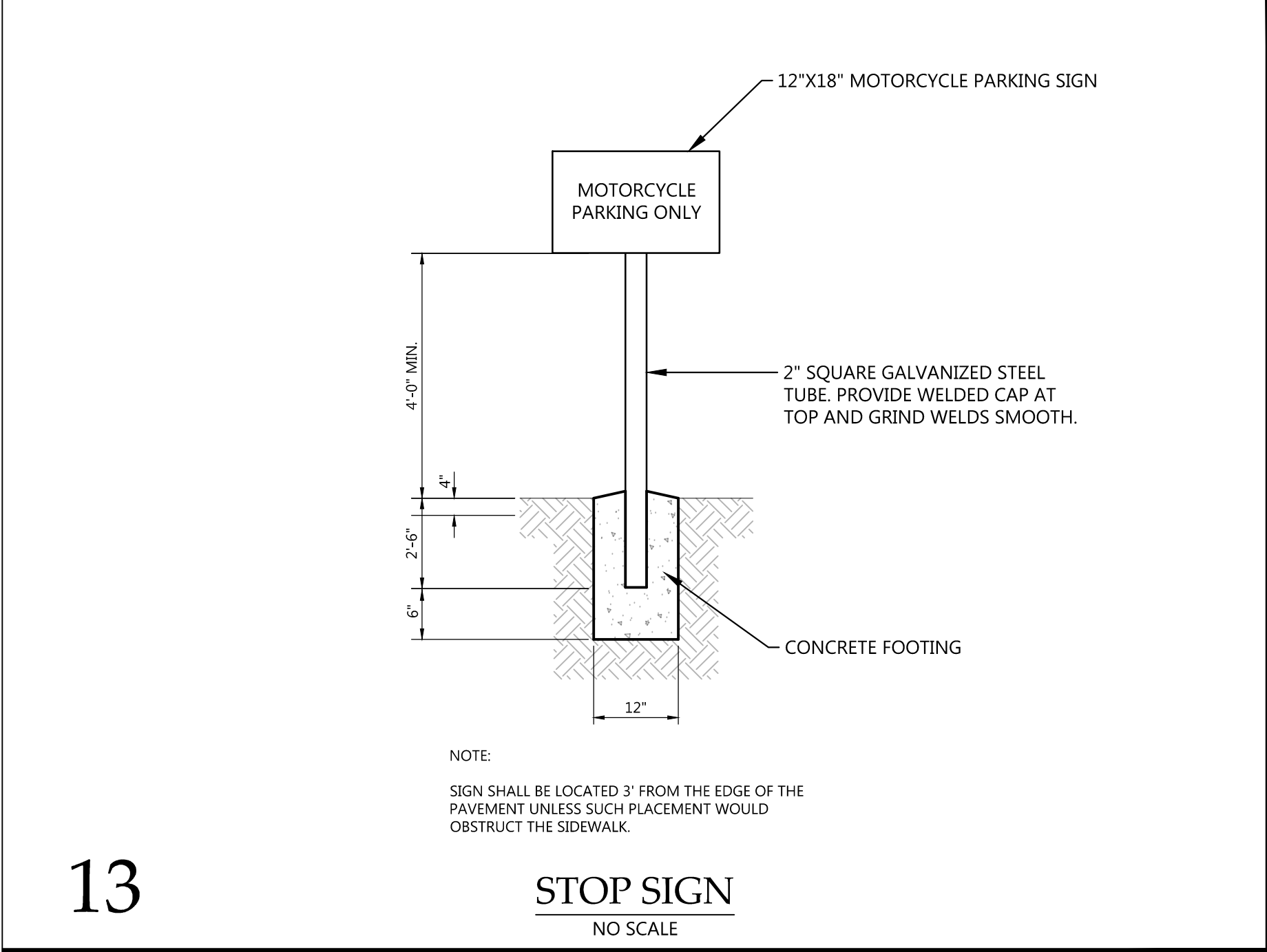
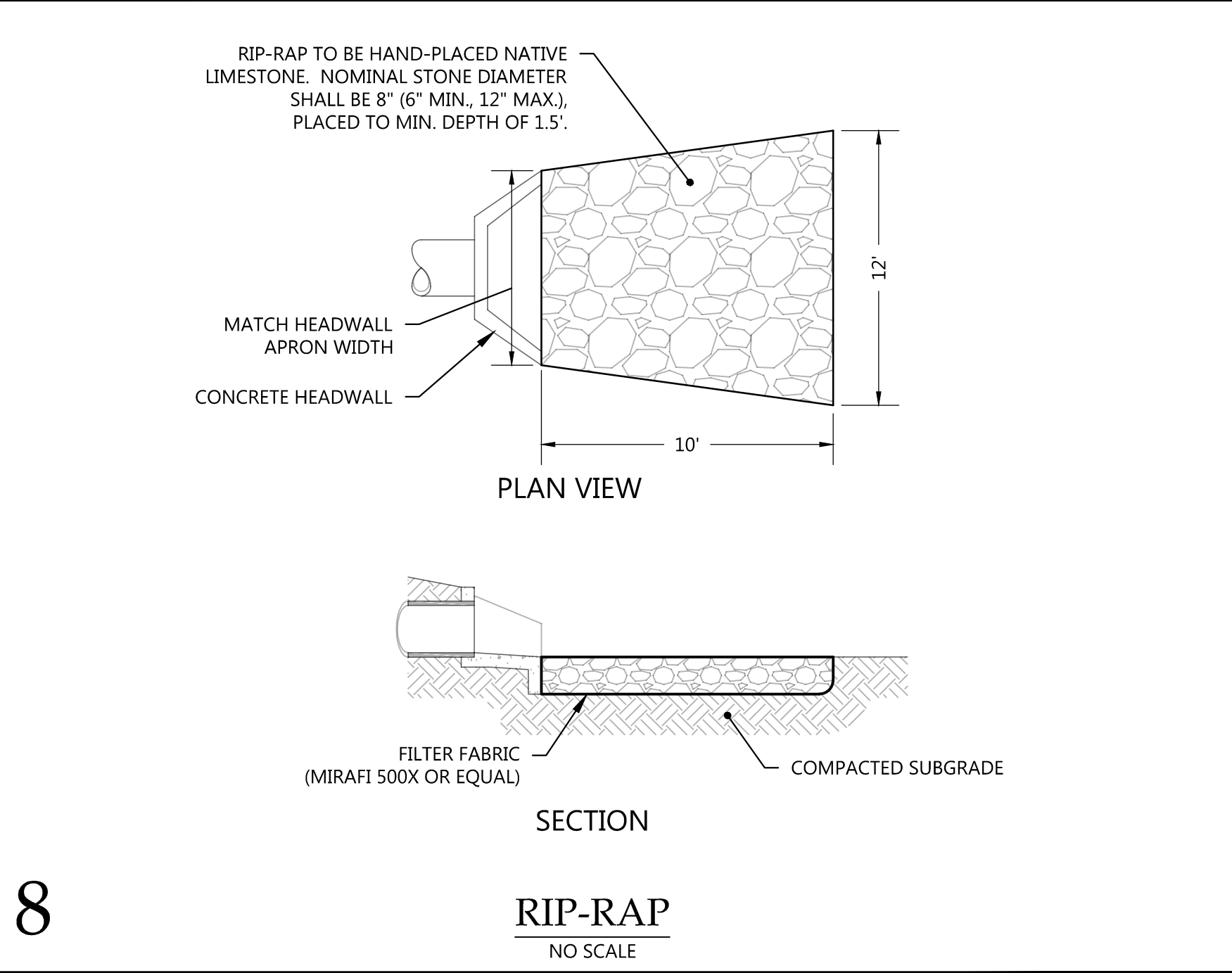
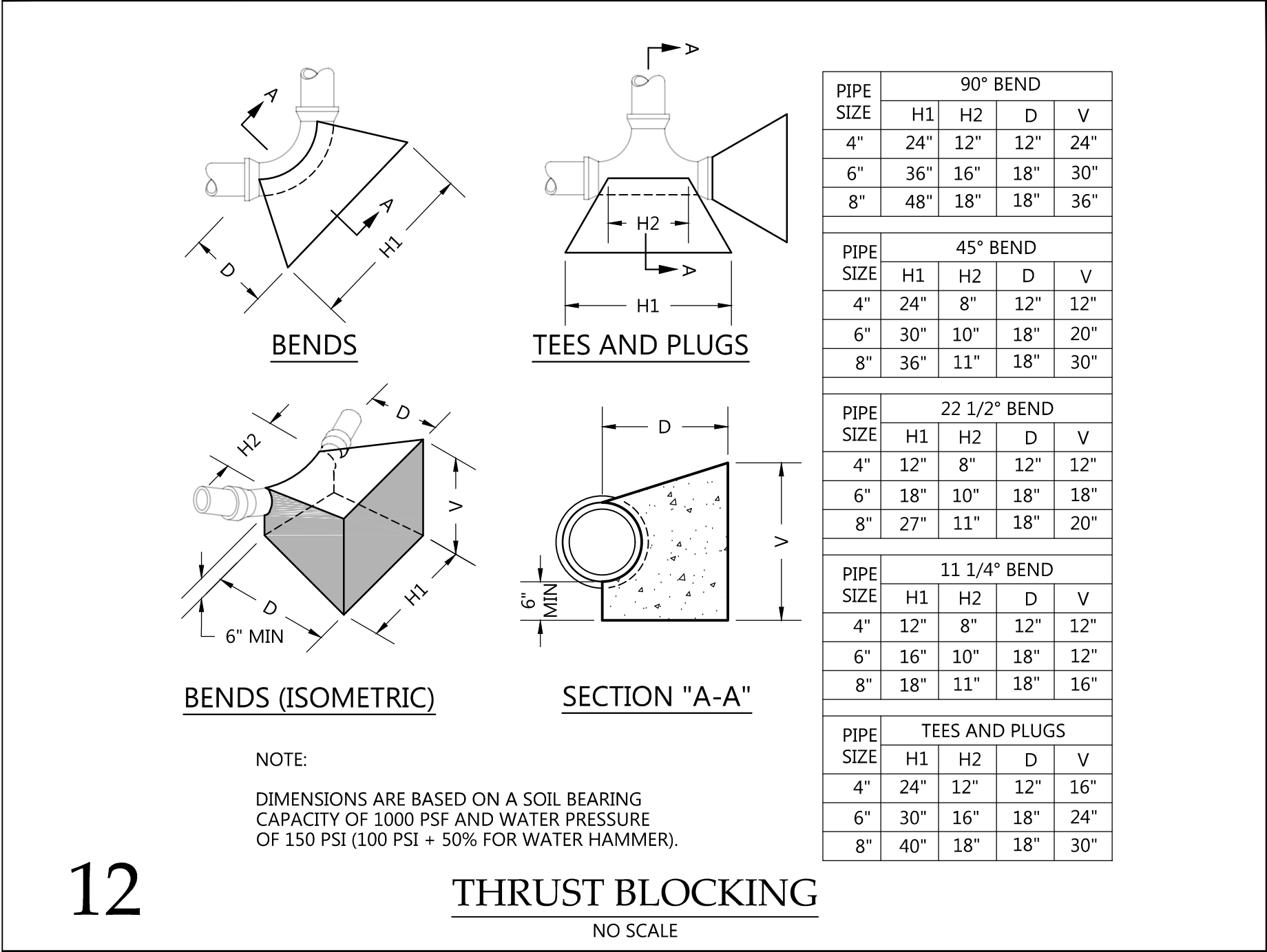
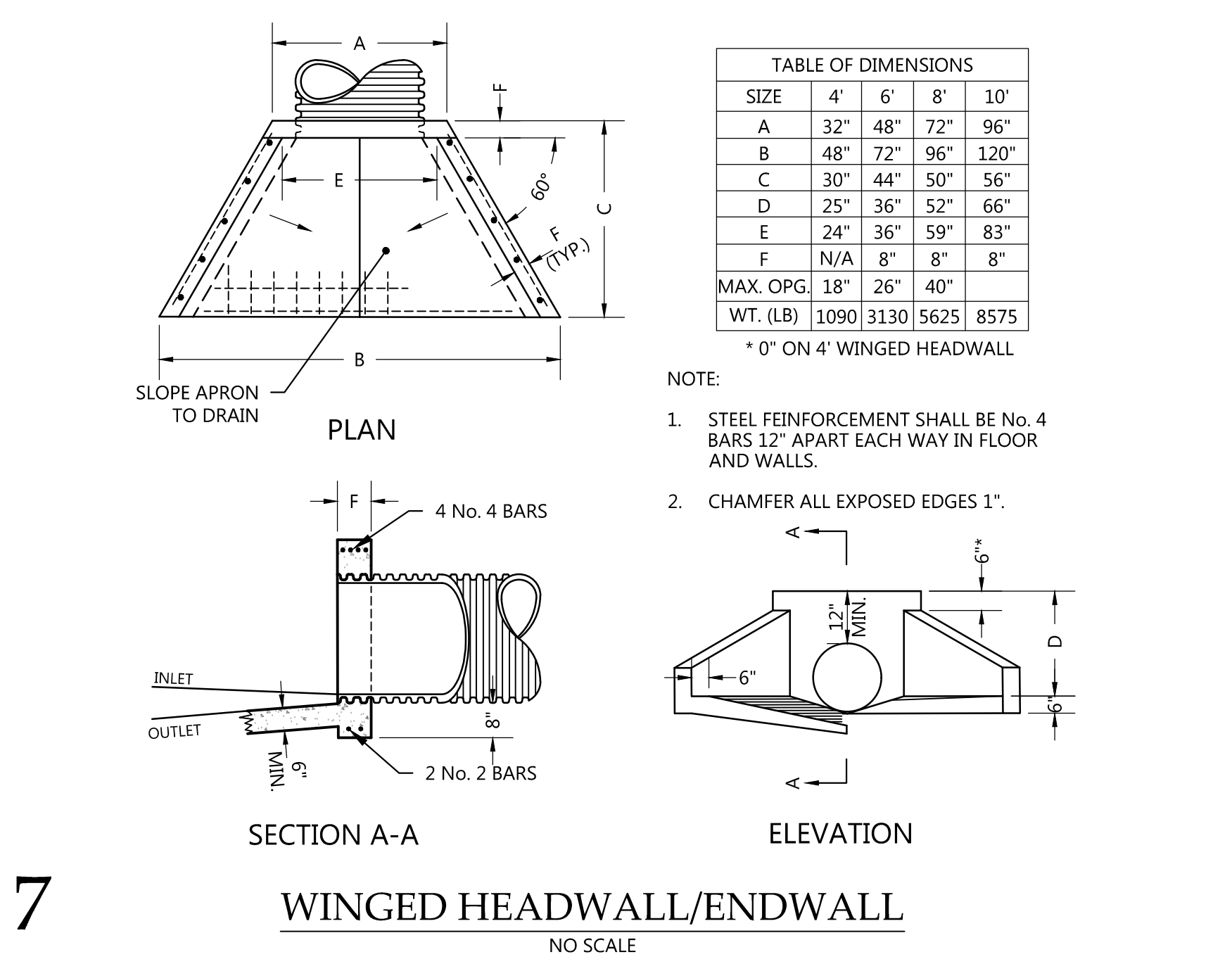
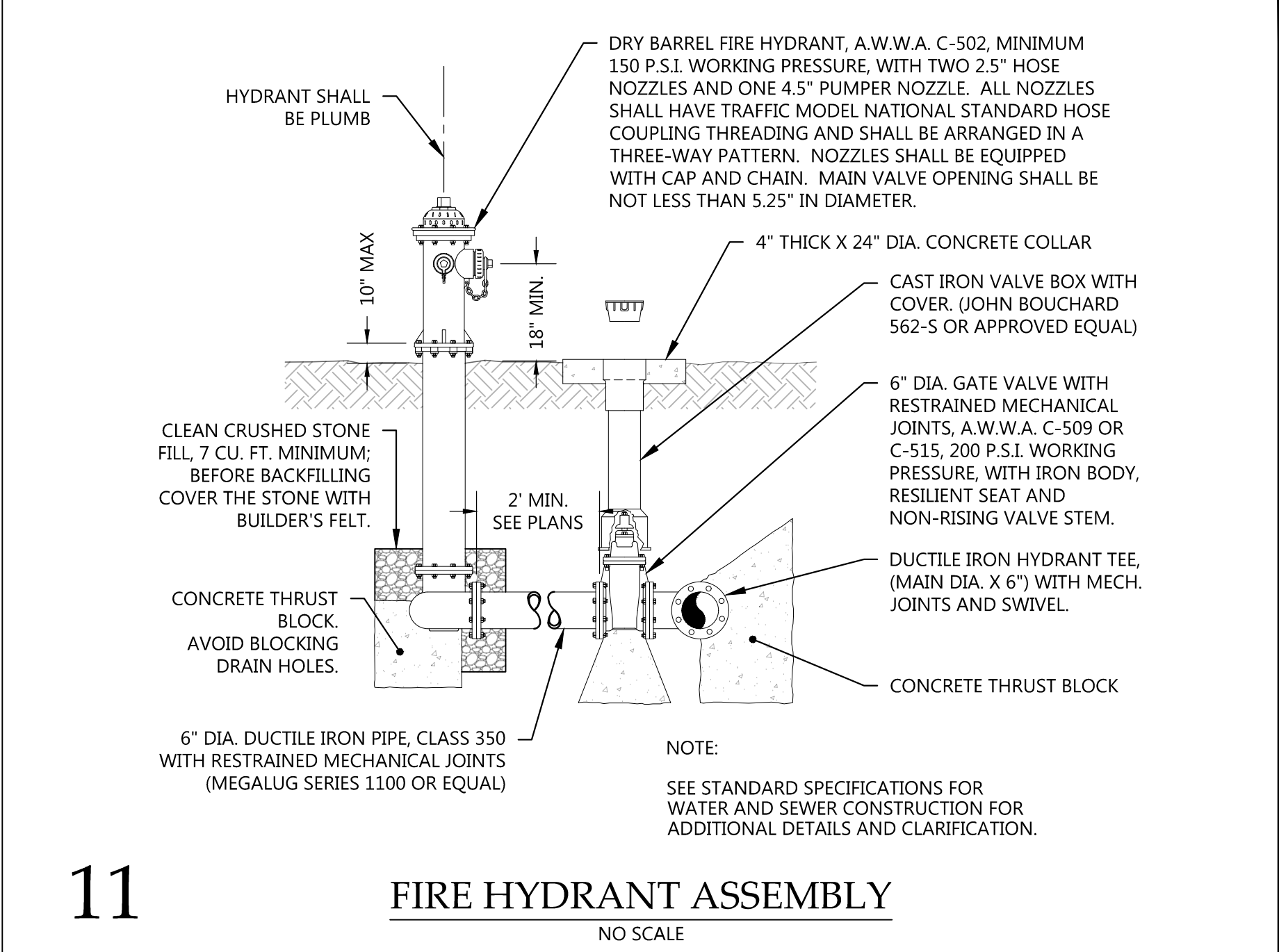
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project no. 35-122
sheet no. C4.01 TRAFFIC CIRCULATION LAYOUT



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DIALYSIS CLINIC, INC.
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sheet no.
C7.01

DETAILS