

CITY OF ALBUQUERQUE



August 19, 2016

James H. Littlejohn
Littlejohn Engineering Associates
1935 21st Ave S.
Nashville, TN 37212

Re: DCI Southwest Mesa
8217 Central Ave NW
Traffic Circulation Layout
Engineer's Stamp 08-03-16 (K10D056)

Dear Mr. Littlejohn,

Based upon the information provided in your submittal received 08-10-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify and provide a copy of all existing access easements and rights of way width dimensions. It is difficult to locate the project. Provide information such as main cross streets and existing developments.
2. Clarify existing property lines and proposed property lines.
3. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
4. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
5. Per the Zoning code a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
6. Provide a detail of the curbing surrounding the property. A minimum 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles.
7. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.
8. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
9. Please specify the City Standard Drawing Number when applicable.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



10. Please include a copy of your shared access agreement with the adjacent property owner.
11. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

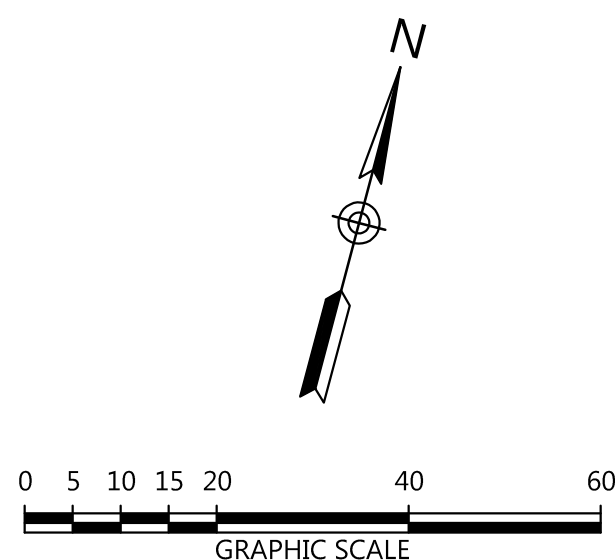
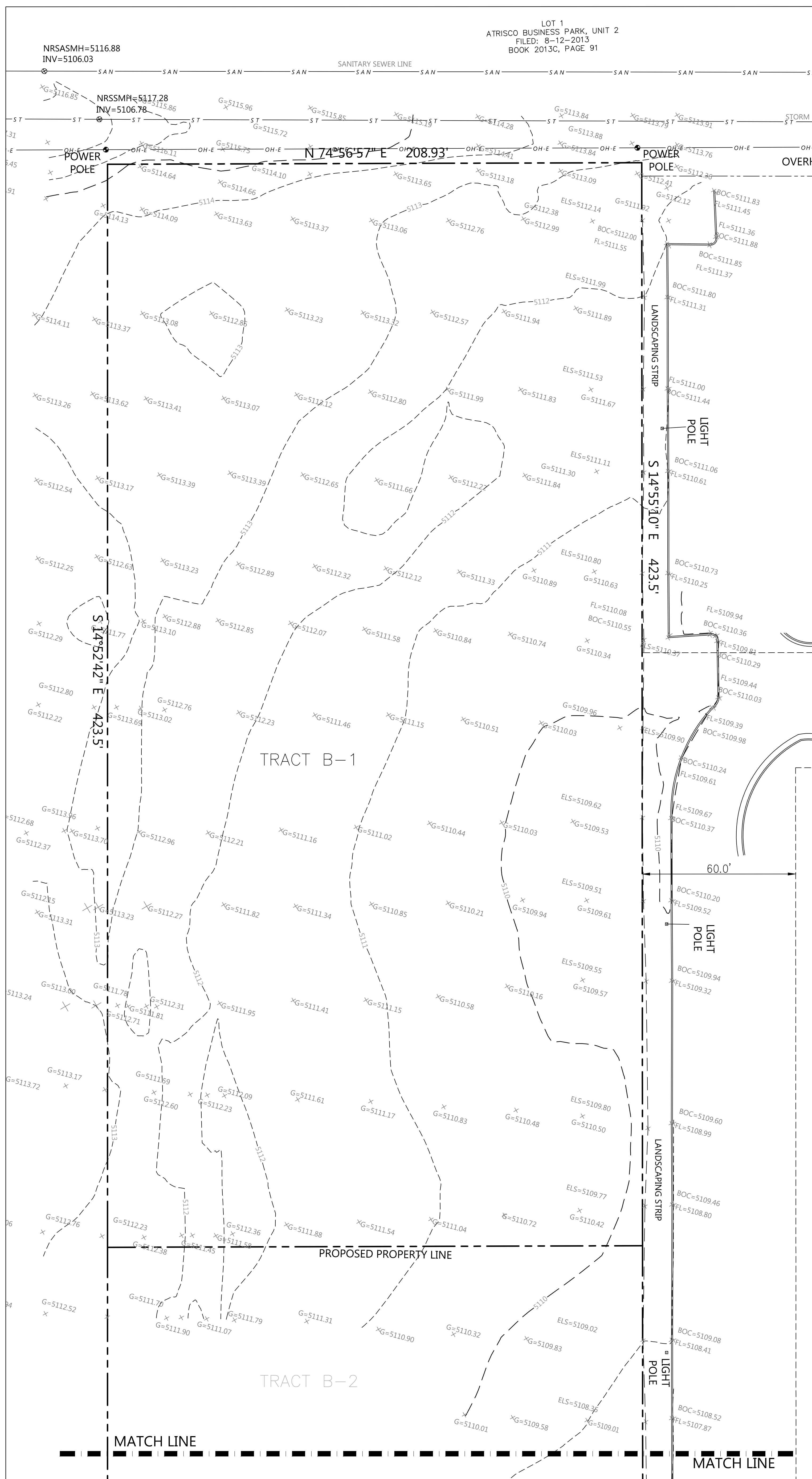
PO Box 1293

mao via: email
C: CO Clerk, File

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 **Littlejohn**
An S&ME Company

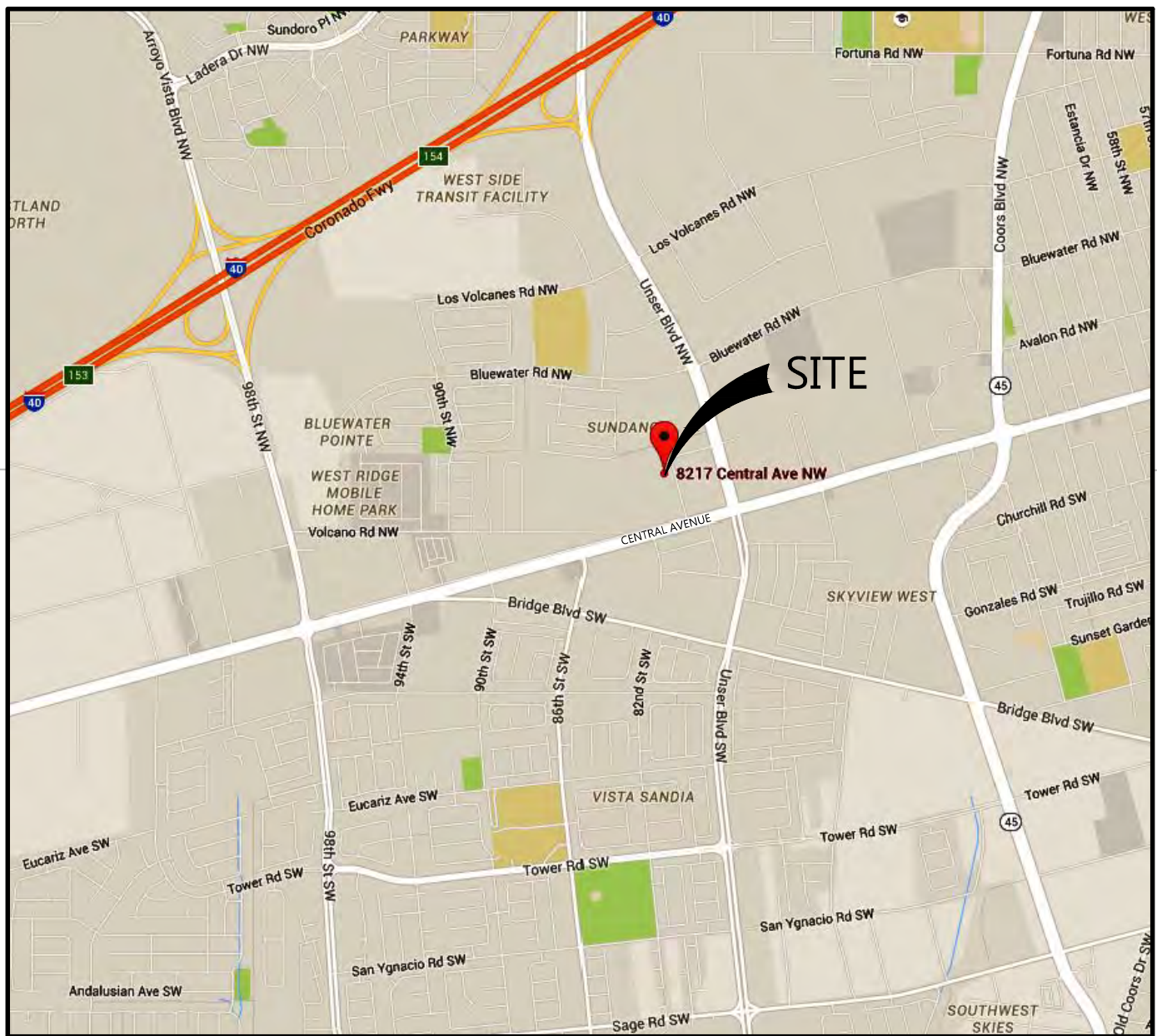
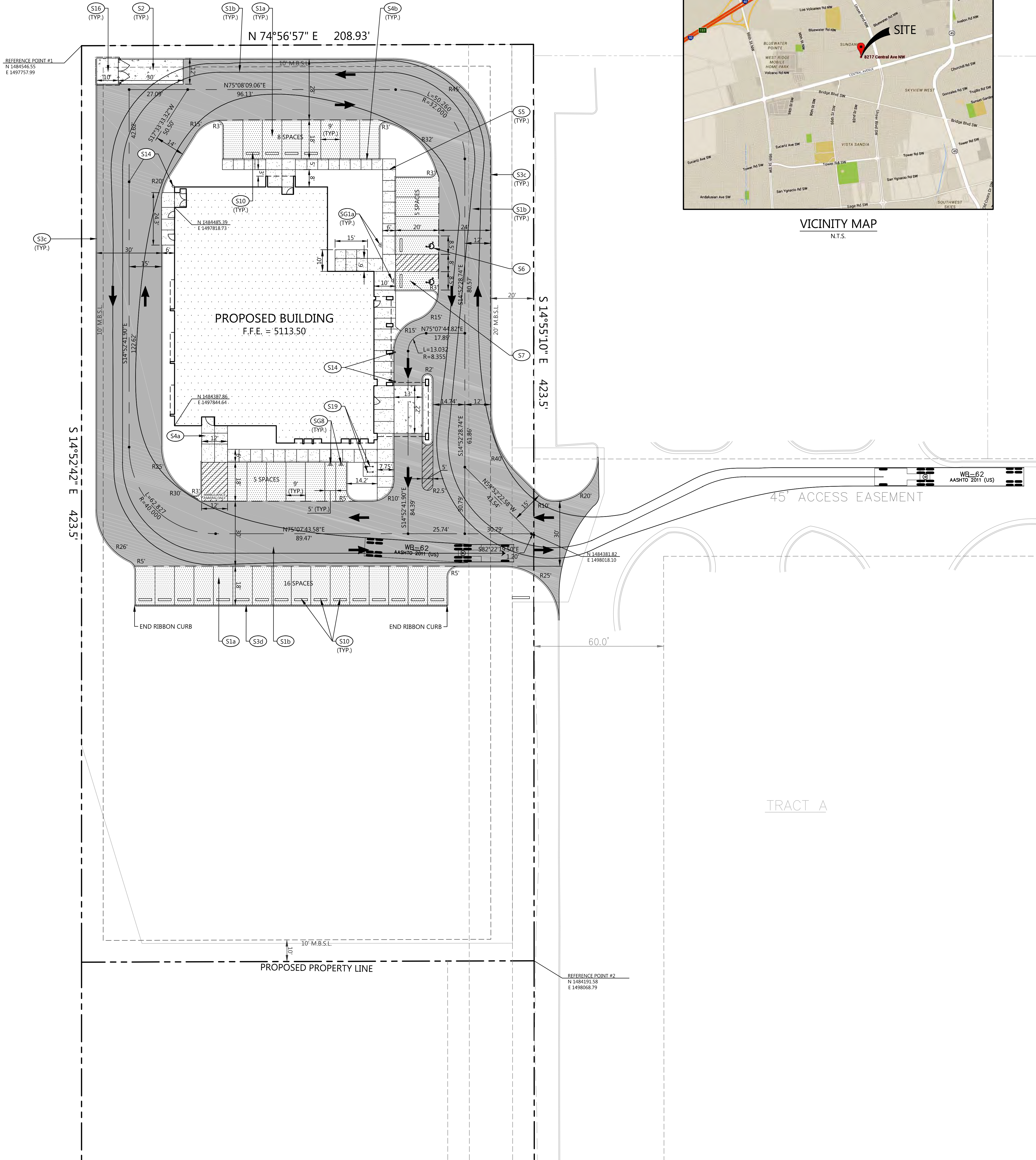
1995 21st Avenue South, NASHVILLE, TENNESSEE 37212
T. 615.385.4184, F. 615.385.4020, www.littlejohn.com

date
August 3, 2016

project no.
35-122

sheet no.
C1.00

EXISTING CONDITIONS



VICINITY MAP
N.T.S.

SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
S1a	ASPHALT PAVEMENT - LIGHT DUTY	1 / C7.00
S1b	ASPHALT PAVEMENT - HEAVY DUTY	1 / C7.00
S2	CONCRETE PAVEMENT	2 / C7.00
S3c	CONCRETE EXTRUDED CURB	1 / C7.00
S3d	CONCRETE RIBBON CURB	3 / C7.00
S4a	CONCRETE SIDEWALK	4 / C7.00
S4b	CONCRETE SIDEWALK WITH TURN DOWN CURB	5 / C7.00
S5	SIDEWALK JOINTS	6 / C7.00
S6	ACCESSIBLE SYMBOL	8 / C7.00
S7	ACCESSIBLE PARKING SPACE	9 / C7.00
S10	CONCRETE WHEELSTOP	11 / C7.00
S14	BOLLARD	12 / C7.00
S15	UTILITY PAD	7 / C7.00
S16	CONCRETE DUMPSTER PAD	13 / C7.00
S18	DIRECTIONAL ARROWS	1 / C7.01
S19	BIKE RACK	14 / C7.01
SITE SIGNAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
SG1a	ACCESSIBLE PARKING SIGN	10 / C7.00
SG8	MOTORCYCLE SIGNAGE	13 / C7.01

SITE DATA

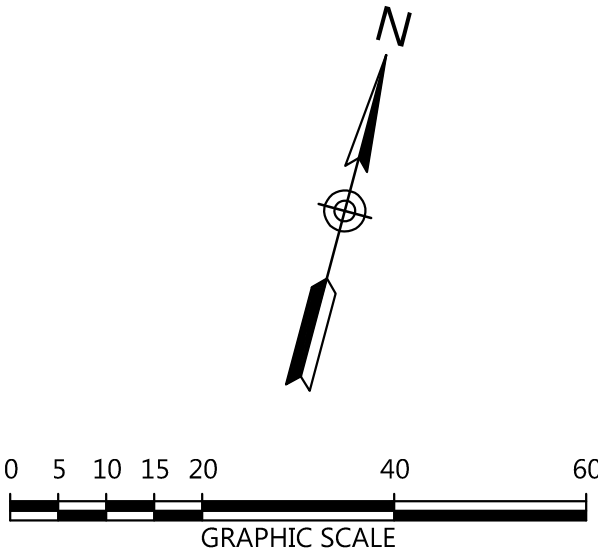
SITE ADDRESS:	8217 CENTRAL AVENUE NW
ZONE MAP NO.	ALBUQUERQUE, NM
SITE ACREAGE:	K-10-Z
EXISTING ZONING:	2.03 AC. (88,547 FT ²)
PROPOSED USE:	SU-2: SPECIAL NEIGHBORHOOD
PROPOSED BUILDING SQUARE FT:	DIALYSIS CLINIC
PROPOSED MAX. BUILDING HEIGHT:	9,625 S.F.
	1 STORY
IMPERVIOUS SURFACE AREA	0.22 AC. (9,625 FT ²)
BUILDINGS:	0.74 AC. (32,367 FT ²)
DRIVES/SIDEWALKS:	0.96 AC. (41,922 FT ²)
TOTAL PROPOSED IMPERVIOUS AREA:	0.47
PROPOSED ISR:	
PARKING SUMMARY	
PARKING REQUIREMENTS:	FIVE SPACES * DOCTOR 1 BICYCLE SPACE / 20 PARKING SPACES 2 MOTORCYCLE SPACES (26-50 SPACES) (5'2") = 10 REGULAR SPACES; (34 / 20) = 2 BICYCLE SPACES
PARKING REQUIRED:	10 SPACES
PARKING PROVIDED:	34 SPACES (2 ACCESSIBLE/2 MOTORCYCLE/2 BIKE)
OWNER:	DIALYSIS CLINIC, INC.
ADDRESS:	1633 CHURCH STREET, STE 500
PHONE NO.:	NASHVILLE, TN 37203
CONTACT NAME:	615-327-3061
	ED ATTRILL
PROJECT REPRESENTATIVE:	LITTLEJOHN ENGINEERING
ADDRESS:	1935 21st AVENUE SOUTH
PHONE NO.:	NASHVILLE, TN 37212
CONTACT NAME:	615.385.4144
CONTACT E-MAIL ADDRESS:	PHILLIP.PIERCY@LEAINC.COM

TRAFFIC CIRCULATION

THIS PROJECT IS LOCATED AT 8217 CENTRAL AVE. NW, ALBUQUERQUE, NM. THE PROPOSED PROJECT IS THE CONSTRUCTION OF 9,625 SQ. FT. DIALYSIS CLINIC WITH ASSOCIATED DRIVES AND PARKING. THERE WILL BE A SINGLE ENTRANCE AND EXIT DRIVE FOR ALL TRAFFIC AT THIS SITE. THERE WILL BE MULTI-DIRECTIONAL CIRCULATION AROUND THE BUILDING. THIS SITE HAS BEEN DESIGNED FOR A WB-62 DELIVERY VEHICLE. THERE ARE 34 PARKING SPACES, 2 OF WHICH ARE VAN ACCESSIBLE. THERE WILL BE MINIMAL IMPACT ON ADJOINING SITES. THIS PROJECT WILL GENERATE FEWER THAN 90 TRIPS IN A TYPICAL DAY. THE TRIPS WILL BE PRIMARILY DURING NON-PEAK HOURS. NO VARIANCES OR SPECIAL ACCOMMODATIONS WERE OBTAINED FOR THIS SITE.

PROPOSED FEATURES LEGEND

BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
PAINTED STRIPE	
CONCRETE CURB	
CENTERLINE	



JACK FREEMAN AND ASSOCIATES P.C.

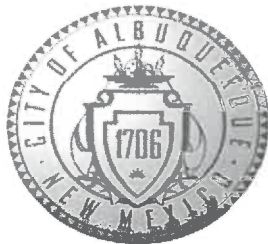
ARCHITECTS AND PLANNERS

311 22nd AVENUE NORTH NASHVILLE, TN. 37203 (615)229-2424

DIALYSIS CLINIC, INC.
SOUTHWEST MESA
8217 CENTRAL AVENUE, N.W.
ALBUQUERQUE, NEW MEXICO



date
August 3, 2016
project no.
35-122
sheet no.
C4.01
TRAFFIC CIRCULATION
LAYOUT



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: DC I Southwest Mesa Building Permit #: _____ City Drainage #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract C-44B, Section 22N, T10N, R2E, NMPM
City Address: 8217 Central Ave NW
Engineering Firm: Littlejohn Engineering Associates Contact: TONY HEATH
Address: 1935 21st Ave S, Nashville, TN 37212
Phone#: 615.385.4144 Fax#: 615.385.4020 E-mail: tneath@leainc.com
Owner: Dialysis Clinic Inc. Contact: Jack Freeman
Address: 1633 Church St., Suite 500
Phone#: 615.329.2424 Fax#: _____ E-mail: jack@jfreemanassoc.com
Architect: Jack Freeman & Assoc. Contact: Jack Freeman
Address: 311 22nd Ave N, Nashville, TN 37203
Phone#: 615.329.2424 Fax#: _____ E-mail: jack@jfreemanassoc.com
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

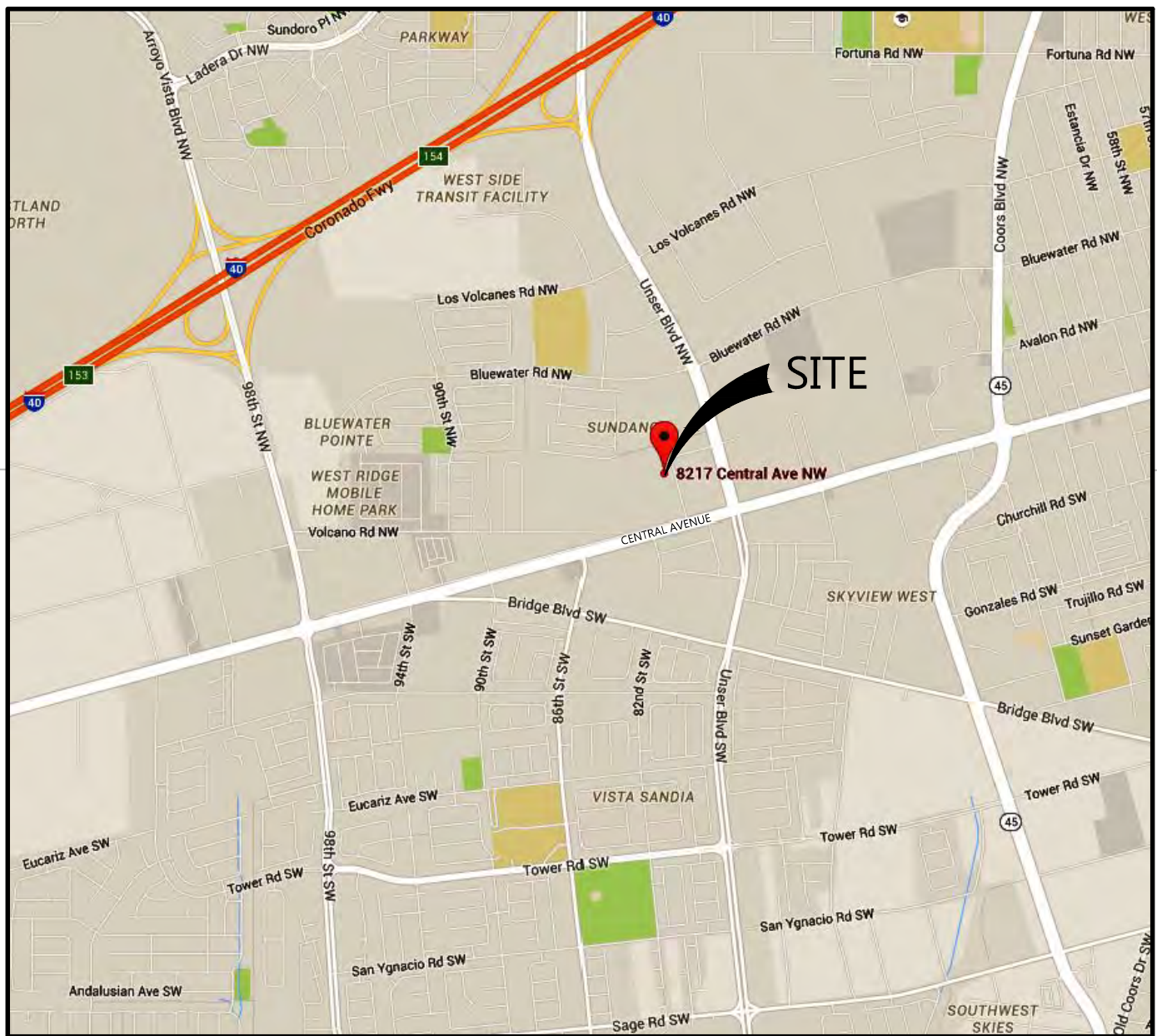
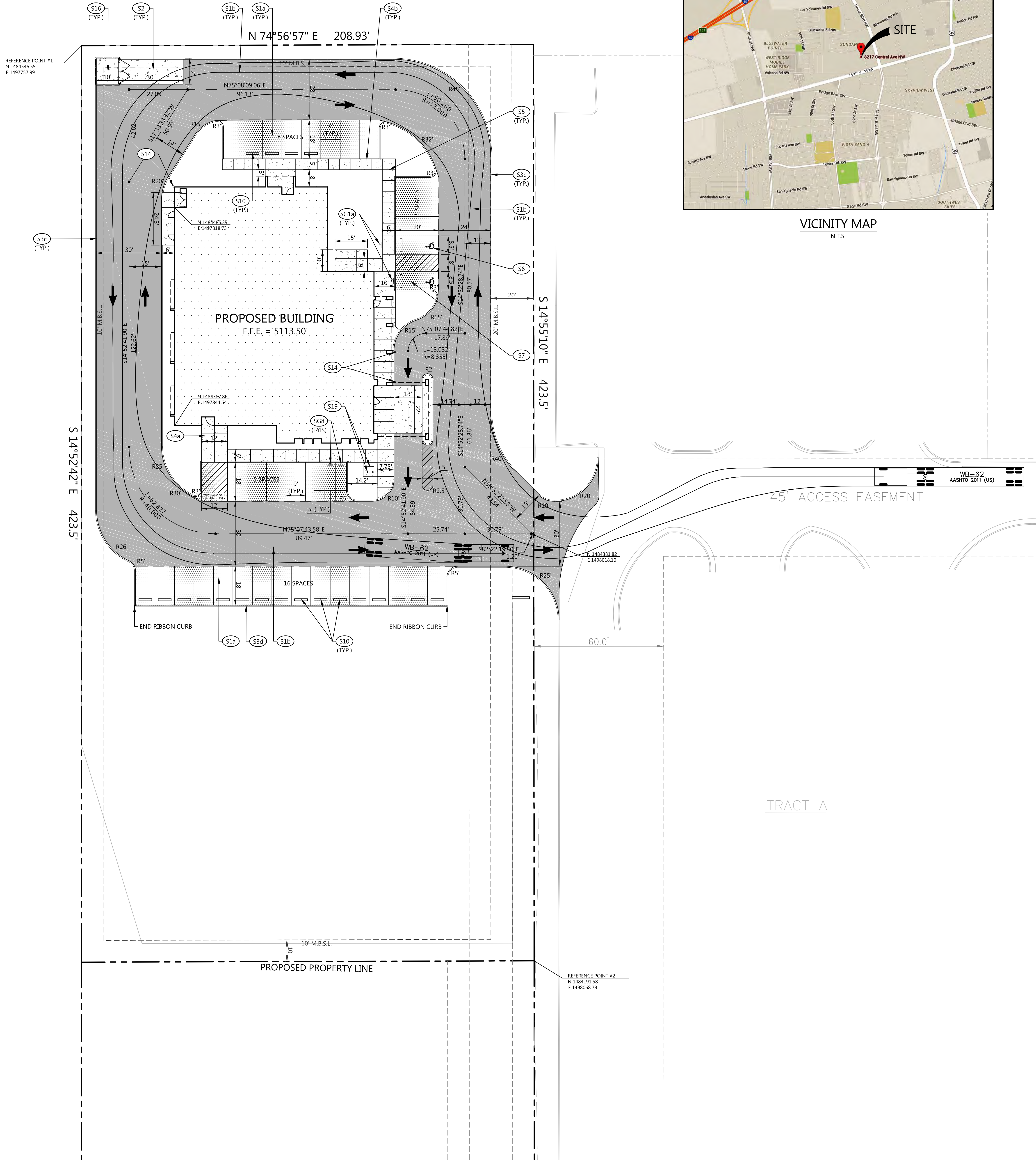
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 2016/08/05 By: TONY HEATH

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



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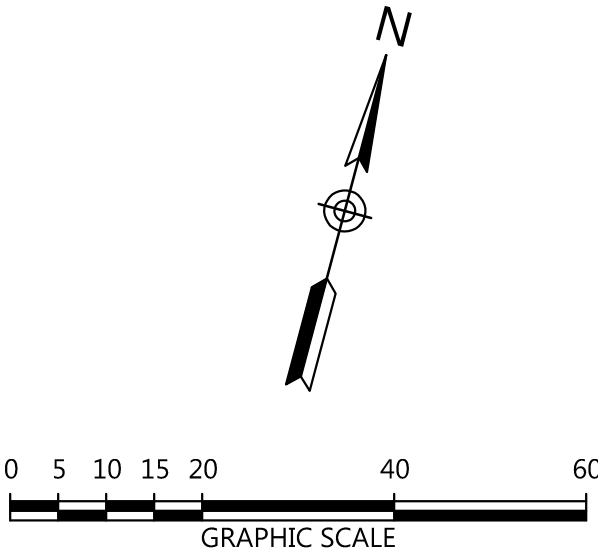
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