#### CITY OF ALBUQUERQUE



September 22, 2020

Ronald Witherspoon, RA
DEKKER PERICH SABATINI
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109

Re: Nuevo Atrisco

201 Unser Blvd

Request for Certificate of Occupancy

**Transportation Development Final Inspection** 

Engineer's/Architect's Stamp dated 8-29-18 (DRB) (K10D058)

Certification dated 9-10-20

Dear Mr. Witherspoon

Based upon the information provided in your submittal received 9-21-20, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building

and Safety Division.

Albuquerque If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

NM 87103

www.cabq.gov

PO Box 1293

Jeanne Wolfenbarger, P.E.

banne Wolfenbarger

Traffic Engineer, Planning Dept.

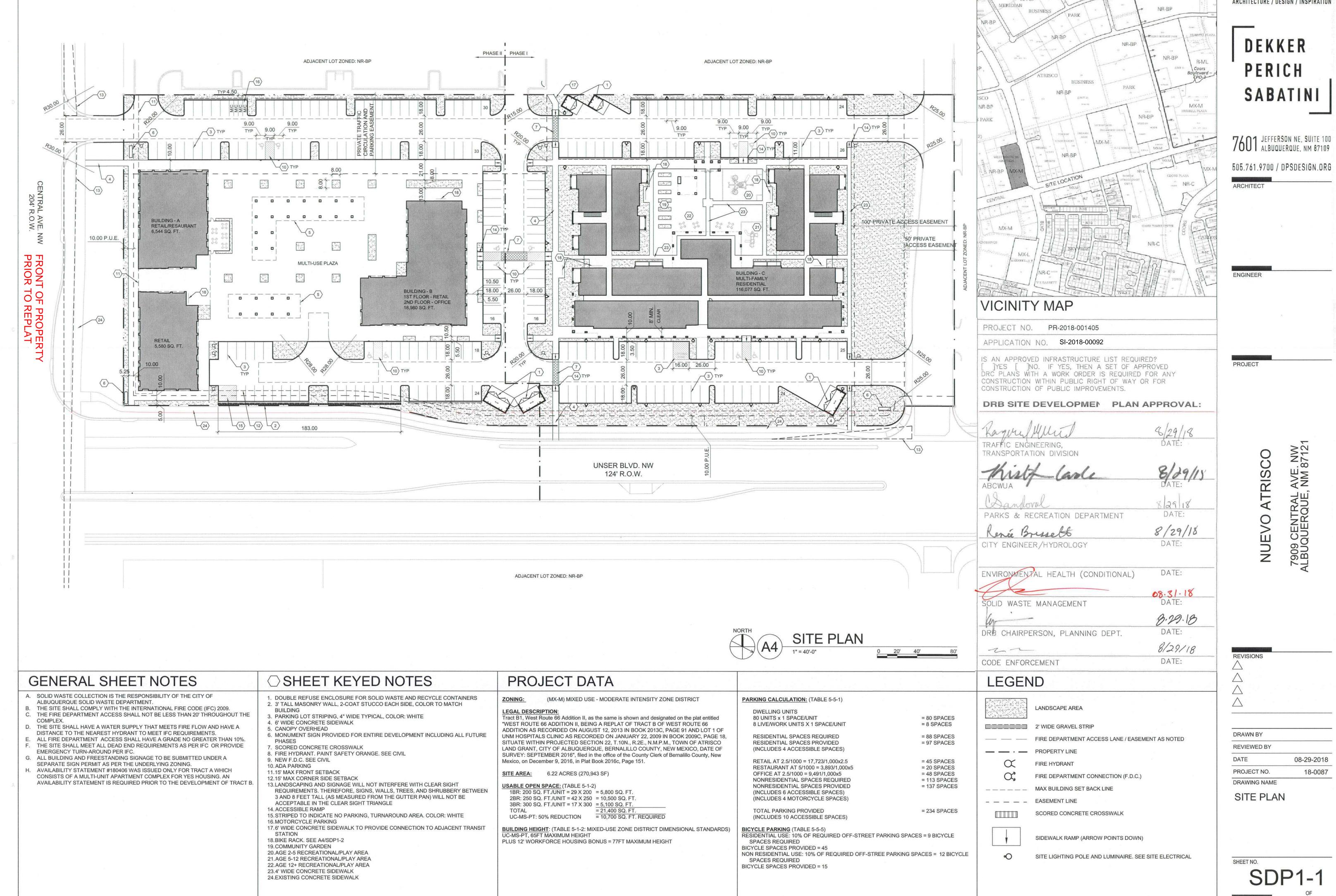
**Development Review Services** 

Ernie Gomez

Plan Checker, Planning Dept. Development Review Services

EG via: email

C: CO Clerk, File



ARCHITECTURE / DESIGN / INSPIRATION

**REVISION TO APPROVED** 

SITE PLAN WITH BUILDING

**OWNER ELECTED TO ADD** 

**ASPHALT PAVING TO THE** 

**SOUTH SIDE OF THE SIDE** 

TO COMPLETE THE FIRE

SPACES (INCLUDING TWO

ACCESSIBLE PARKING

**SPACES) WERE ADDED** 

ALONG THE SOUTHERN

BEYOND THE CURB.

PAVING AND PARKING

APPROVAL DRB SITE

STRIPING FOLLOWS THE

PLAN FOR BOTH PHASE 1

AND PHASE 2 - REFER TO

mm

PROJECT NO.

PR-2018-001405,

APPLICATION NO.

SI-2018-00092 FOR PARKING LAYOUT.

**EDGE OF THE SIDEWALK** 

ACCESS ROUTE. IN

ADDITION, PARKING

PERMIT SET - MARCH 6,

, 2019 IS AS FOLLOWS:

### PROJECT DATA

(MX-M) MIXED USE - MODERATE INTENSITY ZONE DISTRICT (UC-MS-PT) PREMIUM TRANSIT AREA

TRACT A, NUEVO ATRISCO (BEING A REPLAT OF TRACT B1, WEST ROUTE 66 ADDITION II AS RECORDED IN OCTOBER 2018) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 22 TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. PREVIOUSLY TRACT B1, WEST ROUTE 66 ADDITION II, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "WEST ROUTE 66 ADDITION II, BEING A REPLAT OF TRACT B OF WEST ROUTE 66 ADDITION AS RECORDED ON AUGUST 12, 2013 IN BOOK 2013C, PAGE 91 AND LOT 1 OF UNM HOSPITALS CLINIC AS RECORDED ON JANUARY 22, 2009 IN BOOK 2009C, PAGE 18, SITUATE WITHIN PROJECTED SECTION 22, T.10N., R.2E., N.M.P.M., TOWN OF ATRISCO LAND GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATE OF SURVEY: SEPTEMBER 2016", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 9, 2016, IN PLAT BOOK 2016C, PAGE

**SITE AREA:** 3.0858 ACRES (134,460 SF)

**USABLE OPEN SPACE:** (TABLE 5-1-2) 1BR: 200 SQ. FT./UNIT = 27 X 200 = 5,400 SQ. FT. 2BR: 250 SQ. FT./UNIT = 42 X 250 = 10,500 SQ. FT. 3BR: 300 SQ. FT./UNIT = 17 X 300 = 5,100 SQ. FT. = 21,000 SQ. F7

COURTYARD OPENSPACE = 12,670 SQ.FT. PROVIDED ROOFTOP PATIO OPENSPACE = 1,957 SQ. FT. PROVIDED

BUILDING HEIGHT: (TABLE 5-1-2: MIXED-USE ZONE DISTRICT DIMENSIONAL STANDARDS) UC-MS-PT, 65FT MAXIMUM HEIGHT PLUS 12' WORKFORCE HOUSING BONUS = 77FT MAXIMUM HEIGHT

= 98 SPACES

PARKING CALCULATION: (TABLE 5-5-1)

DWELLING UNITS, MULTI-FAMILY UC-MS-PT: 1 SPACE / DU

= 80 SPACES 6 LIVE/WORK UNITS X 1 SPACE/UNIT = 6 SPACES RESIDENTIAL SPACES REQUIRED = 86 SPACES

RESIDENTIAL SPACES PROVIDED (INCLUDES 4 ACCESSIBLE SPACES PER 5-5(C)(7)(A)

IDO REQUIREMENTS (TABLE 5-5-5): RESIDENTIAL USE: 10% OF REQUIRED OFF-STREET PARKING SPACES (86) = 9 BICYCLE

MFA 2018: PARKING FOR BICYCLES SHALL BE PROVIDED AT A RATIO OF .5 BICYCLE PARKING SPACE PER UNIT = 43 SPACES REQUIRED

5 SHORT TERM COVERED SPACES

PROVIDED BICYCLE SPACES = 90 (80 ARE LOCATED IN AN INDOOR BICYCLE STORAGE ROOM, AND 10 ARE LOCATED OUTDOORS)

#### **DEMOLITION NOTES**

- A. EXISTING PAVEMENT, ASPHALT CURB, AND LIGHT POLES WITHIN THIS PROJECT WORK AREA TO BE DEMOLISHED.
- B. CONTRACTOR SHALL OBTAIN AN UNDERSTANDING OF EXISTING CONDITIONS BOTH ON SITE AND ADJACENT TO THE SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY MEASURES TO PROTECT PEDESTRIANS, VEHICLES, AND ALL EXISTING IMPROVEMENTS TO
- D. DEMOLITION ITEMS MUST BE FIELD VERIFIED WITH OWNER. E. CONTRACTOR TO VERIFY THE LOCATIONS OF EXISTING UTILITIES AND
- ASSOCIATED EQUIPMENT BEFORE EXCAVATION. UTILITIES SCHEDULED FOR DEMOLITION SHALL BE CAPPED OFF AS CLOSE TO THE SOURCE AS POSSIBLE AND COMPLETELY REMOVED. UTILITY DEMOLITION IS
- TO BE COMPLETE INSIDE THE LIMITS OF WORK AND INCLUDES, BUT IS NOT LIMITED TO: CONDUIT, PIPE, WIRES, ANCHORS AND TIES, DEMOLITION MATERIALS ARE TO BE REMOVED TO A LEGAL WASTE FACILITY.
- WITH REMOVAL AND DISPOSAL OF DEBRIS. H. EXISTING UTILITY STUBS THAT REMAIN SHALL BE DOCUMENTED ON SURVEYED AS-BUILT DRAWINGS THAT SHALL BE TURNED OVER TO THE OWNER AT CONTRACT CLOSE OUT.

APPROVED The Approval of these plans shall not

CITY OF ALBUQUEROUS

## GENERAL SPECIES SP947 OTES

A. SOLID WASTE COLDATERO 03/06/19 200 ISIE/LTY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTIMENT B. THE SITE SHALL COMPLY Minded States Plans shall be on the Tob site for all

- C. THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' THROUGHOUT THE COMPLEX. D. THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIRE FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IFC REQUIREMENTS. E. ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10%.
- F. THE SITE SHALL MEET ALL DEAD END REQUIREMENTS AS PER IFC OR PROVIDE EMERGENCY TURN-AROUND PER IFC. G. CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- H. CONTRACTOR TO COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION. . UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY.
- CONTRACTOR TO COORDINATE LOCATION AND INSTALLATION. SEE CIVIL AND ELECTRICAL DRAWINGS. I. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
- K. SEE CIVIL SITE GRADING PLAN FOR INFORMATION ON DRAINAGE CURB CUTS AND DETENTION AREAS. THE GRADES INDICATED ON THE PLANS ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR SETTING SUBGRADES TO
- PLAYGROUND PROTECTIVE SURFACING. M. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED N. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES

ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO PLAYGROUND EQUIPMENT AND FOOTINGS, AND

- O. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS P. LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF
- ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO): SECTION 14-16-5-8 OUTDOOR LIGHTING Q. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS
- NOTED OTHERWISE R. PARKING SPACES AT 9'-0" X 18'-0" UNLESS NOTED OTHERWISE S. PROVIDE EXPANSION JOINT ALONG BUILDING FACE WITH POURABLE SEALANT, TYP
- . SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN. U. BUILDING AND FREESTANDING SIGNAGE TO BE SUBMITTED UNDER A SEPARATE SIGN PERMIT AS PER THE UNDERLYING ZONING. V. THIS PROJECT HAS BEEN DESIGNED TO COMPLY WITH SELECT LEED FOR HOMES V4 CREDITS. CONTRACTOR SHALL HOLD THESE REQUIREMENTS PARAMOUNT WHEN

### SHEET KEYED NOTES

CONSIDERING FIELD CHANGES AND/OR SUBSTITUTION REQUESTS.

CODE DESCRIPTION

EXISTING CONCRETE WALK TO REMAIN EXISTING ASPHALT TO REMAIN

CONCRETE SIDEWALK, SEE A1/AS501 TURNDOWN SIDEWALK AT PLAY AREA, SEE B3/AS501 CONCRETE CURB AND GUTTER, SEE A3/AS501 CONCRETE CURB RAMP TYPE A, SEE B5/AS501 CONCRETE CURB RAMP TYPE B, SEE B6/AS501

CONCRETE RAMP AT PLAY AREA, SEE B2/AS501

CONCRETE BUILDING APRON, SEE A5/AS501 CONCRETE MOWCURB, SEE B4/AS501 DEEP CONCRETE MOWCUB AT PLAY AREA, SEE B1/AS501 CONCRETE HEADER CURB, SEE D4/AS501 13 CONCRETE CROSSWALK, SEE D5/AS501 14 CONCRETE SEATWALL, SEE C3 & C4/AS501

CONCRETE SEATWALL, SEE C2 & C4/AS501

CONCRETE RETAINING WALL, SEE E3/AS501 REFUSE ENCLOSURE GATE, SEE D2 & D3//AS502 SINGLE REFUSE AND RECYCLING ENCLOSURE PER MFA REQ.,

SEE D2/AS502 19 DOUBLE REFUSE AND RECYCLING ENCLOSURE PER MFA REQ, SEE D3/AS502

20 6` TALL ORNAMENTAL WIRE FENCE, SEE C5/AS501 21 6' TALL ORNAMENTAL WIRE GATE A, SEE C6/AS501

6' TALL ORNAMENTAL WIRE GATE B, SEE D6/AS501 OVERHEAD BUILDING CANOPY, SEE ARCHITECTURAL AGE 2-5 RECREATIONAL PLAY AREA, SEE SPECIFICATIONS AGE 5-12 RECREATIONAL PLAY AREA, SEE SPECIFICATIONS

AGE 12+ GATHERING AREA AGE APPROPRIATE PLAY AREA RULES SIGN RAISED GARDEN PLANTER, SEE E2 & E3/AS502

ACCESSIBLE PARKING STRIPING, SEE B2/AS502

ACCESSIBLE PAVEMENT MARKING, SEE B1/AS502

PIPE BOLLARD, SEE A1/AS502 AND SPECIFICATIONS BICYCLE RACK, SEE A3/AS502 PARKING LOT STRIPING, SEE B2/AS502

FIRELANE STRIPING, SEE C2/AS502 35 STOP LINE PAVEMENT STRIPING 36 MAINTAIN EXISTING ACCESS FROM ADJACENT PROPERTY

37 STORMWATER DETENTION AREA, SEE CIVIL 38 ACCESSIBLE VAN PARKING SIGN, SEE C1/AS502 39 FIRELANE SIGN, SEE C2/AS502 40 PEDESTRIAN CROSSING SIGN, SEE C1/AS502 41 VISITOR PARKING ONLY SIGN, SEE C1/AS502

42 NO SMOKING SIGN, SEE C1/AS502 43 STOP SIGN, SEE C1/AS502 44 LOADING ZONE, NO PARKING SIGN, SEE C1/AS502 45 MONUMENT SIGN BY OTHERS, SEE E4/AS502 FOR FOUNDATION.

MONUMENT SIGN PROVIDED FOR ENTIRE DEVELOPMENT INCLUDING ALL FUTURE PHASES 46 IRRIGATION P.O.C. WITH 1 1/2" STUB-OUT AND SUBMETER, SEE

CIVIL AND IRRIGATION SPECS 47 FROST FREE HOSE BIB, SEE CIVIL AND MECHANICAL 48 RESIDENTIAL MAIL BOX LOCATION, SEE ARCH 49 LIVE/WORK MAILBOX LOCATION, OWNER PROVIDED

50 FIRE RISER ROOM AND BACKFLOW PREVENTER LOCATION, SEE CIVIL AND MECHANICAL 51 ELECTRICAL EQUIPMENT, SEE ELECTRICAL 52 ELECTRICAL METER BANKS, SEE ELECTRICAL

53 EASEMENT LINE 54 LANDSCAPE AND SIGNAGE WILL NOT INTERFER WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT

TRIANGI F 55 EXPANSION JOINT, TYP. SEE A6/AS501 56 CONTROL JOINT, TYP., SEE A6/AS501 57 CURB OPENING, SEE C6/AS501

58 COORDINATE SIDEWALK CONNECTION WITH OFF-SITE WORK BY 59 CURB CUT, SEE CIVIL

#### **LEGEND**

	LANDSCAPE AREA, SEE LANDSCAPE	
	STABILIZED CRUSHERFINES, SEE A5/AS501	
+ + + + + + + + + + + + + + + + + + + +	ENGINEERED WOOD PLAY SURFACING, SEE SPECIFICATIONS	
4 Δ <sup>4</sup>	REINFORCED CONCRETE, SEE A2/AS501	
	HEAVY DUTY ASPHALT, SEE D1/AS501	
	LIGHT DUTY ASPHALT, SEE D2/AS501	
	BASE COURSE PAVING, SEE D3/AS501	
	FIRE DEPARTMENT ACCESS LANE / EASEMENT AS NOTED	
	DDODEDTY I INE	

----- PROPERTY L**I**NE FIRE HYDRANT, SEE UTILITY

FIRE DEPARTMENT CONNECTION (F.D.C.), SEE UTILITY ---- MAX BUILDING SET BACK LINE

SITE LIGHTING, SEE SITE ELECTRICAL

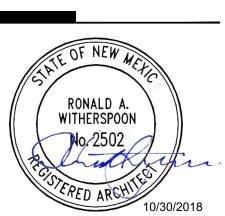
ANOVA AIRI BISTRO TABLE WITH SEATS, SEE SPECIFICATIONS ANOVA AIRI LEAF TRASH RECEPTICLE, SEE SPECIFICATIONS

ANOVA AIRI LEAF 6' CONTOUR BENCH, SEE SPECIFICATIONS IRRIGATION CONTROLLER INSIDE ELECTRICAL ROOM

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109 505.761.9700 / DPSDESIGN.ORG



ISSUED FOR **BUILDING PERMIT** 

REVISIONS 1 11/19/18 ADDENDUM #001 2 09/10/2020 TRAFFIC CERTIFICATION

> JD, TC DRAWN BY **REVIEWED BY** DATE 10/30/2018 PROJECT NO. 18-0087 DRAWING NAME

SITE PLAN

SHEET NO.



Attn: Ernie Gomez Transportation Inspector City of Albuquerque

RE: Traffic Certification for Certificate of Occupancy for Nuevo Atrisco Apartments

To Whom It May Concern:

#### TRAFFIC CERTIFICATION

I, RONALD WITHERSPOON, NMRA, OF THE FIRM DEKKER/PERICH/SABATINI, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED BP-2018-39947 MARCH 6, 2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY HANNAH GREENHOOD, AIA OF THE FIRM DEKKER/PERICH/SABATINI. I FURTHER CERTIFY THAT I HAVE DESIGNATED HANNAH GREENHOOD, AIA TO PERSONALLY VISIT, ON MY BEHALF, THE PROJECT SITE ON FRIDAY, SEPTEMBER 4, 2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE APPROVED SITE PLAN IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

#### No Exceptions submitted.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer or Architect

Ronald Witherspoon, AIA

Vice President, Dekker/Perich/Sabatini

September 10, 2020 Date **ENGINEER'S OR ARCHITECT'S STAMP** 





# City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Nuevo Amisco Building	g Permit #: 2018 - 39947 Hydrology File #:		
DRB#: 51-2018-00092 EPC#:	N/a Work Order#:		
Legal Description: Tract Bl, West Route 66 Addition II			
City Address: 201 UNSER BLVD.			
Applicant: Hannah Greenhood @ Dekker Penich Sabatini Contact:			
Address: 7601 Jefferson NE, Suite 100			
Phone#: (505) 761-9700 Fax#:	n/a E-mail: hannang@		
Other Contact Parcilian Conchustion	/David Roding of dosdesign. or		
Other Contact: Pavilian Construction / David Rodriquez Contact: desdesign. organisms: 201 Unser Blvd. NW, Albuquerque, NM 87121 (Job Trailer)  Phone#: (505) 264-8171 Fax#: n/a.  E-mail: drodriquez@			
Address: 201 Unser Blva. NW. A16	uguerque, NM 87121 (Job Trailer)		
Phone#: (505)264-8171 Fax#:_	n/a. E-mail: drodriqueza		
TYPE OF DEVELOPMENT: PLAT (# of lots)	RESIDENCE X Pavilion Construction RESIDENCE X DRB SITE ADMIN SITE		
IS THIS A RESUBMITTAL? Yes No			
DEPARTMENT TRANSPORTATION HYDROLOGY/DRAINAGE			
Check all that Apply: TYPE OF APPROVAL/ACCEPTANCE SOUGHT:			
Check an that Appry.	BUILDING PERMIT APPROVAL		
TYPE OF SUBMITTAL:	CERTIFICATE OF OCCUPANCY		
ENGINEER/ARCHITECT CERTIFICATION			
PAD CERTIFICATION	PRELIMINARY PLAT APPROVAL		
CONCEPTUAL G & D PLAN	SITE PLAN FOR SUB'D APPROVAL		
GRADING PLAN	SITE PLAN FOR BLDG. PERMIT APPROVAL		
DRAINAGE REPORT	FINAL PLAT APPROVAL		
DRAINAGE MASTER PLAN			
FLOODPLAIN DEVELOPMENT PERMIT APPLIC	SIA/ RELEASE OF FINANCIAL GUARANTEE		
ELEVATION CERTIFICATE	FOUNDATION PERMIT APPROVAL		
CLOMR/LOMR	GRADING PERMIT APPROVAL		
TRAFFIC CIRCULATION LAYOUT (TCL)	SO-19 APPROVAL		
TRAFFIC IMPACT STUDY (TIS)	PAVING PERMIT APPROVAL		
STREET LIGHT LAYOUT	GRADING/ PAD CERTIFICATION		
OTHER (SPECIFY)	WORK ORDER APPROVAL		
PRE-DESIGN MEETING?	CLOMR/LOMR		
	FLOODPLAIN DEVELOPMENT PERMIT		
	OTHER (SPECIFY)		
DATE SUBMITTED: 9/10/2020 By: Hannah Greenhood, 17/9/5.			
COA STAFF: ELECTR	RONIC SUBMITTAL RECEIVED:		

FEE PAID: