

CITY OF ALBUQUERQUE



September 22, 2020

Ronald Witherspoon, RA
DEKKER PERICH SABATINI
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109

**Re: Nuevo Atrisco
201 Unser Blvd
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 8-29-18 (DRB) (K10D058)
Certification dated 9-10-20**

Dear Mr. Witherspoon

Based upon the information provided in your submittal received 9-21-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

NUEVO ATRISCO

7909 CENTRAL AVE. NW
ALBUQUERQUE, NM 87121

REVISIONS

DRAWN BY

REVIEWED BY

DATE 08-29-2018

PROJECT NO. 18-0087

DRAWING NAME

SITE PLAN

SHEET NO.

SDP1-1

OF



VICINITY MAP

PROJECT NO. PR-2018-001405

APPLICATION NO. SI-2018-00092

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?
[] YES [] NO. IF YES, THEN A SET OF APPROVED
DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY
CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR
CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Raghu Mallick 8/29/18
TRAFFIC ENGINEERING,
TRANSPORTATION DIVISION DATE:

Christy Carle 8/29/18
ABCWUA DATE:

Sanford 8/29/18
PARKS & RECREATION DEPARTMENT DATE:

Renée Bruneau 8/29/18
CITY ENGINEER/HYDROLOGY DATE:

ENVIRONMENTAL HEALTH (CONDITIONAL) DATE:

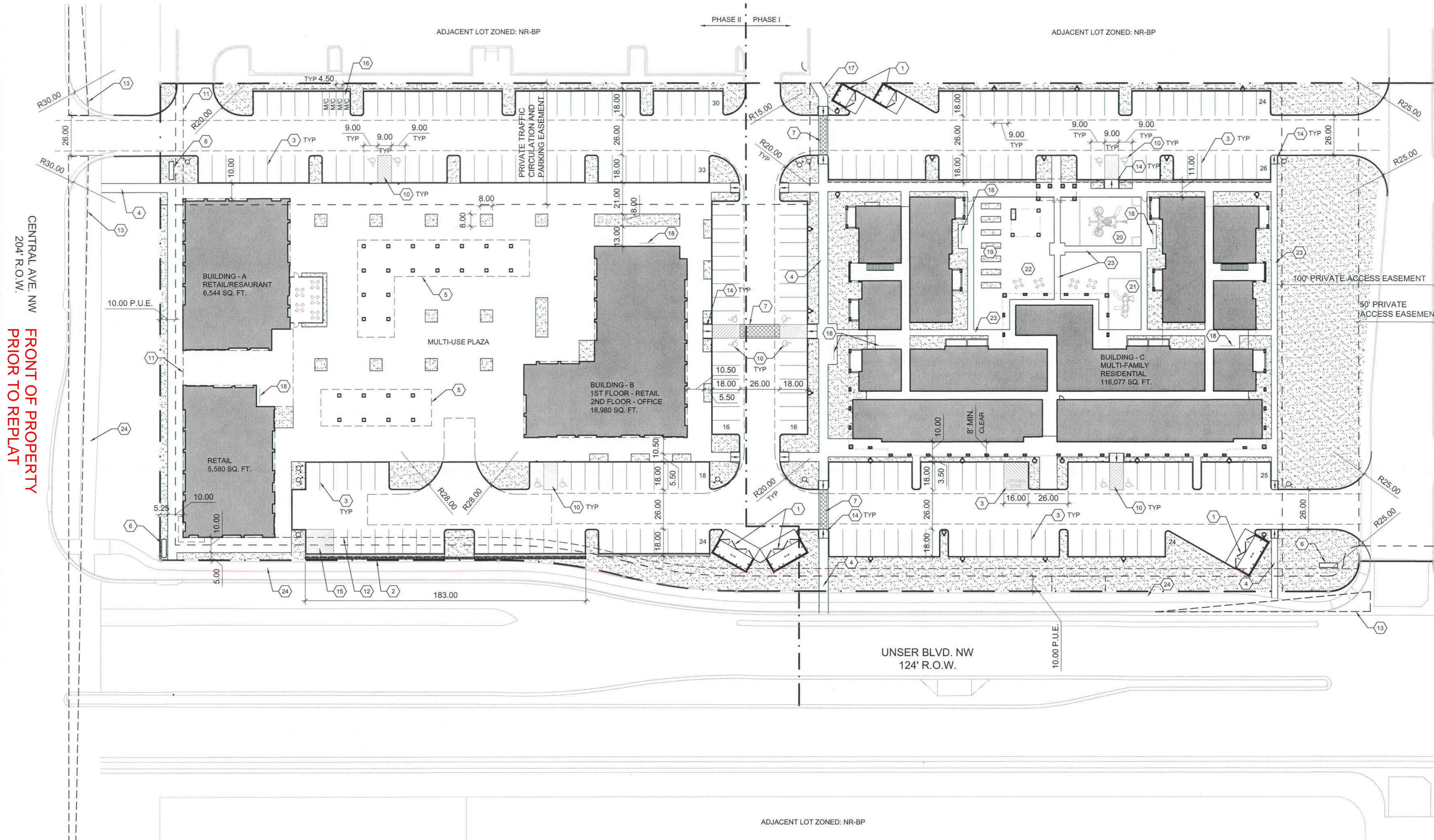
[Signature] 08-31-18
SOLID WASTE MANAGEMENT DATE:

[Signature] 8-29-18
DRB CHAIRPERSON, PLANNING DEPT. DATE:

[Signature] 8/29/18
CODE ENFORCEMENT DATE:

LEGEND

- LANDSCAPE AREA
- 2' WIDE GRAVEL STRIP
- FIRE DEPARTMENT ACCESS LANE / EASEMENT AS NOTED
- PROPERTY LINE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION (F.D.C.)
- MAX BUILDING SET BACK LINE
- EASEMENT LINE
- SCORED CONCRETE CROSSWALK
- SIDEWALK RAMP (ARROW POINTS DOWN)
- SITE LIGHTING POLE AND LUMINAIRE. SEE SITE ELECTRICAL



GENERAL SHEET NOTES

- SOLID WASTE COLLECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- THE SITE SHALL COMPLY WITH THE INTERNATIONAL FIRE CODE (IFC) 2009.
- THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' THROUGHOUT THE COMPLEX.
- THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIRE FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IFC REQUIREMENTS.
- ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10%.
- THE SITE SHALL MEET ALL DEAD END REQUIREMENTS AS PER IFC OR PROVIDE EMERGENCY TURN-AROUND PER IFC.
- ALL BUILDING AND FREESTANDING SIGNAGE TO BE SUBMITTED UNDER A SEPARATE SIGN PERMIT AS PER THE UNDERLYING ZONING.
- AVAILABILITY STATEMENT #180406 WAS ISSUED ONLY FOR TRACT A WHICH CONSISTS OF A MULTI-UNIT APARTMENT COMPLEX FOR YES HOUSING. AN AVAILABILITY STATEMENT IS REQUIRED PRIOR TO THE DEVELOPMENT OF TRACT B.

SHEET KEYED NOTES

- DOUBLE REFUSE ENCLOSURE FOR SOLID WASTE AND RECYCLE CONTAINERS
- 3' TALL MASONRY WALL, 2-COAT STUCCO EACH SIDE, COLOR TO MATCH BUILDING
- PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
- 6' WIDE CONCRETE SIDEWALK
- CANOPY OVERHEAD
- MONUMENT SIGN PROVIDED FOR ENTIRE DEVELOPMENT INCLUDING ALL FUTURE PHASES
- SCORED CONCRETE CROSSWALK
- FIRE HYDRANT, PAINT SAFETY ORANGE. SEE CIVIL
- NEW F.D.C. SEE CIVIL
- ADA PARKING
- 15' MAX FRONT SETBACK
- 15' MAX CORNER SIDE SETBACK
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- ACCESSIBLE RAMP
- STRIPED TO INDICATE NO PARKING, TURNAROUND AREA. COLOR: WHITE
- MOTORCYCLE PARKING
- 6' WIDE CONCRETE SIDEWALK TO PROVIDE CONNECTION TO ADJACENT TRANSIT STATION
- BIKE RACK. SEE A4/SDP1-2
- COMMUNITY GARDEN
- AGE 2-5 RECREATIONAL/PLAY AREA
- AGE 5-12 RECREATIONAL/PLAY AREA
- AGE 12+ RECREATIONAL/PLAY AREA
- 4' WIDE CONCRETE SIDEWALK
- EXISTING CONCRETE SIDEWALK

PROJECT DATA

ZONING: (MX-M) MIXED USE - MODERATE INTENSITY ZONE DISTRICT

LEGAL DESCRIPTION:
Tract B1, West Route 66 Addition II, as the same is shown and designated on the plat entitled "WEST ROUTE 66 ADDITION II, BEING A REPLAT OF TRACT B OF WEST ROUTE 66 ADDITION AS RECORDED ON AUGUST 12, 2013 IN BOOK 2013C, PAGE 91 AND LOT 1 OF UNM HOSPITALS CLINIC AS RECORDED ON JANUARY 22, 2009 IN BOOK 2009C, PAGE 18, SITUATE WITHIN PROJECTED SECTION 22, T.10N., R.2E., N.M.P.M., TOWN OF ATRISCO LAND GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATE OF SURVEY: SEPTEMBER 2016", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 9, 2016, in Plat Book 2016C, Page 151.

SITE AREA: 6.22 ACRES (270,943 SF)

USABLE OPEN SPACE: (TABLE 5-1-2)
1BR: 200 SQ. FT./UNIT = 29 X 200 = 5,800 SQ. FT.
2BR: 250 SQ. FT./UNIT = 42 X 250 = 10,500 SQ. FT.
3BR: 300 SQ. FT./UNIT = 17 X 300 = 5,100 SQ. FT.
TOTAL = 21,400 SQ. FT.
UC-MS-PT: 50% REDUCTION = 10,700 SQ. FT. REQUIRED

BUILDING HEIGHT: (TABLE 5-1-2: MIXED-USE ZONE DISTRICT DIMENSIONAL STANDARDS)
UC-MS-PT, 65FT MAXIMUM HEIGHT
PLUS 12' WORKFORCE HOUSING BONUS = 77FT MAXIMUM HEIGHT

PARKING CALCULATION: (TABLE 5-5-1)

DWELLING UNITS
80 UNITS X 1 SPACE/UNIT = 80 SPACES
8 LIVE/WORK UNITS X 1 SPACE/UNIT = 8 SPACES

RESIDENTIAL SPACES REQUIRED
RESIDENTIAL SPACES PROVIDED (INCLUDES 4 ACCESSIBLE SPACES) = 88 SPACES = 97 SPACES

RETAIL AT 2.5/1000 = 17,723/1,000x2.5 = 45 SPACES
RESTAURANT AT 5/1000 = 3,893/1,000x5 = 20 SPACES
OFFICE AT 2.5/1000 = 9,491/1,000x5 = 48 SPACES
NONRESIDENTIAL SPACES REQUIRED (INCLUDES 6 ACCESSIBLE SPACES) = 113 SPACES
(INCLUDES 4 MOTORCYCLE SPACES) = 137 SPACES

TOTAL PARKING PROVIDED (INCLUDES 10 ACCESSIBLE SPACES) = 234 SPACES

BICYCLE PARKING: (TABLE 5-5-5)
RESIDENTIAL USE: 10% OF REQUIRED OFF-STREET PARKING SPACES = 9 BICYCLE SPACES REQUIRED
BICYCLE SPACES PROVIDED = 45
NON RESIDENTIAL USE: 10% OF REQUIRED OFF-STREET PARKING SPACES = 12 BICYCLE SPACES REQUIRED
BICYCLE SPACES PROVIDED = 15



REVISION TO APPROVED SITE PLAN WITH BUILDING PERMIT SET - MARCH 6, 2019 IS AS FOLLOWS:

OWNER ELECTED TO ADD ASPHALT PAVING TO THE SOUTH SIDE OF THE SIDE TO COMPLETE THE FIRE TRUCK ROUTE. IN ADDITION, PARKING SPACES (INCLUDING TWO ACCESSIBLE PARKING SPACES) WERE ADDED TO THE SOUTH SIDE OF THE SIDEWALK ON THE INNER EDGE OF THE SIDEWALK BEYOND THE CURB. PAVING AND PARKING STRIPING FOLLOWS THE TYPICAL DETAIL PLAN FOR PHASE 1 AND FOR PHASE 2 - REFER TO PROJECT NO. PR-2018-001405, APPLICATION NO. SI-2018-00092 FOR PARKING LAYOUT.

September 10, 2020

DEKKER
PERICH
SABATINI

Attn: Ernie Gomez
Transportation Inspector
City of Albuquerque
RE: Traffic Certification for Certificate of Occupancy for Nuevo Atrisco Apartments

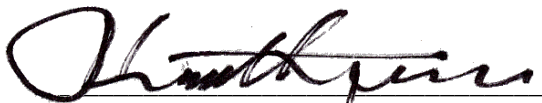
To Whom It May Concern:

TRAFFIC CERTIFICATION

I, RONALD WITHERSPOON, NMRA, OF THE FIRM DEKKER/PERICH/SABATINI, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED BP-2018-39947 MARCH 6, 2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY HANNAH GREENHOOD, AIA OF THE FIRM DEKKER/PERICH/SABATINI. I FURTHER CERTIFY THAT I HAVE DESIGNATED HANNAH GREENHOOD, AIA TO PERSONALLY VISIT, ON MY BEHALF, THE PROJECT SITE ON FRIDAY, SEPTEMBER 4, 2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE APPROVED SITE PLAN IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

No Exceptions submitted.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

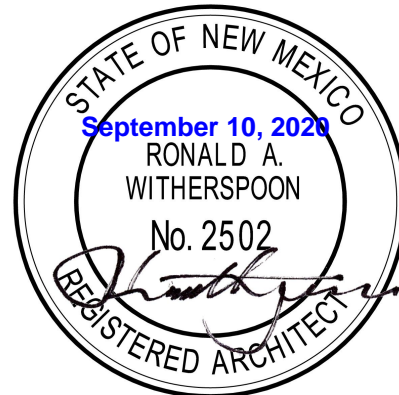


Signature of Engineer or Architect

Ronald Witherspoon, AIA
Vice President, Dekker/Perich/Sabatini

September 10, 2020
Date

ENGINEER'S OR ARCHITECT'S STAMP





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Nuevo Atasco Building Permit #: 2018-39947 Hydrology File #: _____

DRB#: SI-2018-00092 EPC#: n/a Work Order#: _____

Legal Description: Tract B1, West Route 66 Addition II

City Address: 201 UNSER BLVD.

Applicant: Hannah Greenhood @ Pekker Penich Sabatini Contact: _____

Address: 7601 Jefferson NE, Suite 100

Phone#: (505) 761-9700 Fax#: n/a E-mail: hannahg@dpsdesign.org

Other Contact: Pavilion Construction / David Rodriguez Contact: _____

Address: 201 Unser Blvd. NW, Albuquerque, NM 87121 (Job Trailer)

Phone#: (505) 264-8171 Fax#: n/a E-mail: drodriguez@pavilionconstruction.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

Resubmitted for Final C of O: September 21, 2020

DATE SUBMITTED: 9/10/2020 By: Hannah Greenhood, D/P/S.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____