

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

September 26, 2023

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. N.E  
Albuquerque, NM 87108

**RE: Nuevo Atrisco – Tract B Phase 1  
Grading & Drainage Plans  
Engineer's Stamp Date: 09/26/23  
Hydrology File: K10D058**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 09/26/2023, the Grading & Drainage Plans are approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.
3. Please pay the Payment-in-Lieu of **\$ 5,360.00** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Once this is received, a receipt will then produce and email back with instructions on how to pay online. Once paid, please email me proof of payment.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

# CITY OF ALBUQUERQUE

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Alan Varela, Director



*Mayor Timothy M. Keller*

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER  
QUALITY VOLUME MANAGEMENT ON-SITE**

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**GENERAL INFORMATION**

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APPLICANT: Isaacson & Arfman, Inc. DATE: 09/26/2023  
DEVELOPMENT: Nuevo Atrisco - 7921 Central Ave. NW  
LOCATION: SW of Central Ave. and Unser Blvd. SW

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**STORMWATER QUALITY POND VOLUME**

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Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 1,438 cubic feet

The provided volume is 768 cubic feet

The deficient volume is 670 cubic feet

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**WAIVER JUSTIFICATION**

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Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
  - b. Any of the following conditions apply:
    - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
    - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
    - iii. The site use is inconsistent with the capture and reuse of stormwater.
    - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
    - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
    - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
    - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: \_\_\_\_\_

Every reasonable effort has been made to provide stormwater  
quality volume within landscaped areas throughout the site.

Fred C. Arfman, PE

Professional Engineer or Architect

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## PAYMENT-IN-LIEU

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Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 5,360.00

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## THIS SECTION IS FOR CITY USE ONLY

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☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

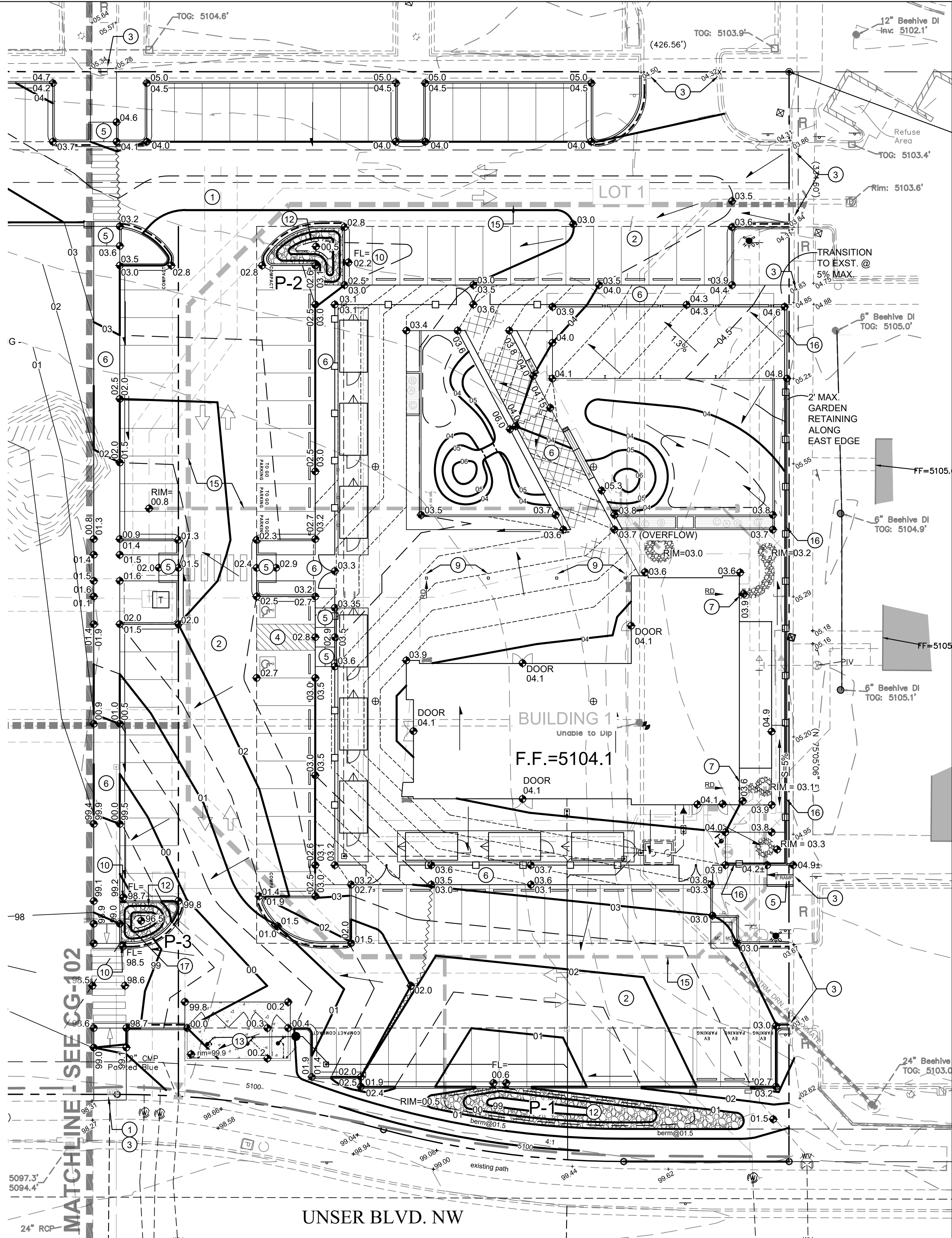
☐ Waiver is DENIED.

*Renée C. Brissette*

09/26/23

City of Albuquerque  
Hydrology Section





## KEYED NOTES

- THESE NOTES ARE REFERENCED ON SHEETS CG-101 AND CG-102. NOT ALL NOTES ARE USED ON EACH SHEET. SEE ADA COMPLIANCE NOTES THIS SHEET FOR TARGET SLOPES AND MAXIMUM SLOPES.
- NO WORK SHALL BE PERFORMED IN THE PUBLIC R/W WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
  - NEW PAVING AT ELEVATIONS SHOWN. SLOPES AND CROSS-SLOPES VARY TO ACHIEVE ADA COMPLIANCE. REQUIRED PIPE COVERAGE, DRAINAGE, ETC. ELEVATIONS SHOWN IN GUTTER REPRESENT FLOWLINE. ADD 6" TYPICAL FOR ADJACENT TOP OF WALK / TOP OF CURB ELEVATION UNLESS NOTED. 0.5' AND 0.1' DESIGN CONTOURS SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT. SEE LEGEND FOR ADDITIONAL INFORMATION.
  - PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT.
  - ADA COMPLIANT PARKING SPACES AND ACCESS AISLES AT ELEVATIONS SHOWN.
  - ADA COMPLIANT CURB RAMP AT ELEVATIONS SHOWN.
  - ADA COMPLIANT PEDESTRIAN ACCESS WALK AT ELEVATIONS SHOWN.
  - ROOF DISCHARGE TO BE RELEASED AT GRADE. CONSTRUCT 3' WIDE ANGULAR ROCK SWALE (SEE CG-501 FOR DETAIL) FROM BUILDING TO LANDSCAPE DOMED STORM DRAIN INLET. SEE CG-102 FOR DETAIL.
  - CONCENTRATED ROOF DISCHARGE TO 12" WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT PER COA STD. DWG. 2236. CONSTRUCT 3' WIDE ANGULAR ROCK SWALE FROM BUILDING TO EXISTING STORM DRAIN INLET. SEE CG-102 FOR DETAIL.
  - COVERED PATIO DISCHARGE TO BE PIPED DIRECTLY TO STORM DRAIN. SEE ARCHITECTURAL FOR DOWNSPOUT LOCATIONS.
  - 18" WIDE CURB OPENING TO PASS FLOW. SLOPE GUTTER AT IN DIRECTION OF FLOW (EACH CURB OPENING LOCATION). SEE CG-102 FOR DETAIL.
  - GRADE 1" DEEP TEMPORARY SEDIMENT POND THIS AREA.
  - STORMWATER QUALITY RETENTION POND AT ELEVATIONS SHOWN. TYPICAL SIDESLOPE = 2:1. ALL STORMWATER QUALITY PONDING VOLUMES WILL BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE. GRADES SHOWN REFLECT FINAL GRADES INCLUDING EROSION PROTECTION. SEE CG-100 FOR EROSION PROTECTION REQUIREMENTS.
  - DUMPSTER PAD SLOPED TO INTERIOR SANITARY SEWER DRAIN INLET(S). SEE UTILITY PLAN FOR CONTINUATION.
  - NOT USED
  - PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG501 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
  - GRADE TRANSITION WALL(S) (RETAINING < 30") TO ACHIEVE GRADE DIFFERENCE SHOWN. FINISH GRADE ON BOTH SIDES OF WALL ARE SHOWN. RETAINING HEIGHT VARIES. STRUCTURAL DESIGN TO BE PROVIDED BY WALL CONTRACTOR.
  - TWO 6" DIA. PIPES THROUGH WALK. FLOWLINE ELEVATION = 5098.0 BOTH SIDES.

## STORMWATER QUALITY

FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON THE 80TH PERCENTILE STORM EVENT OR 0.26". THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 66,357 SF. THE TOTAL REQUIRED SWQV = 0.26" \* TYPE "D" AREA: 0.26/12 \* 66,357 SF = 1,438 CF.

SWQV PONDS WILL BE CONSTRUCTED THROUGHOUT THE PROPERTY. THE TOTAL PROVIDED SWQV = 768 CF.

IN-LIEU PAYMENT WILL BE PROVIDED FOR THE DEFICIENT SWQV OF 670 CF @ \$8 / CF = \$5,630.

POND P-1		
Contour	Area	Volume
5099.00	80	
5100.50	540	465 CF

POND VOLUME = 465 CF

POND P-2		
Contour	Area	Volume
5100.50	30	
5102.00	183	160 CF

POND VOLUME = 160 CF

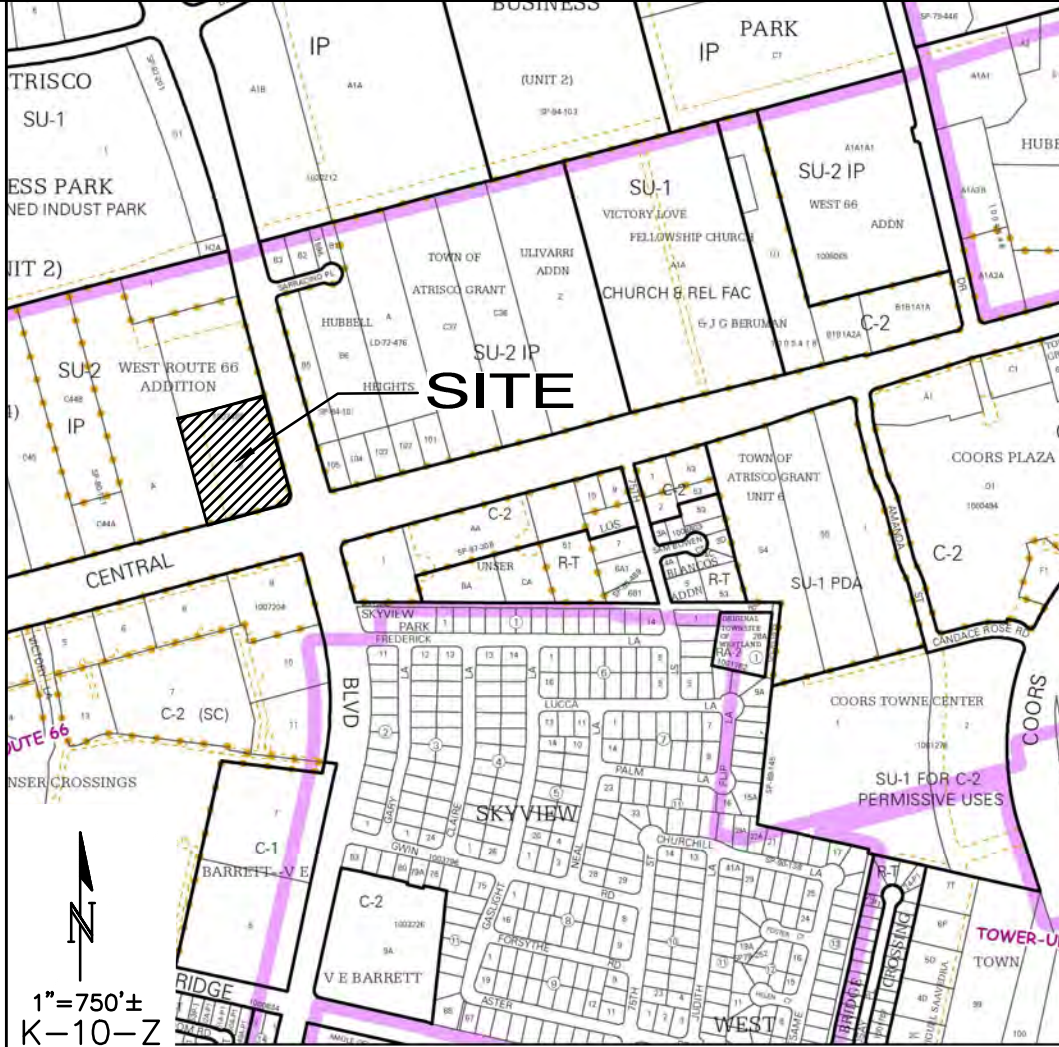
POND P-3		
Contour	Area	Volume
5096.50	35	
5098.30	124	143 CF

POND VOLUME = 143 CF

## EROSION PROTECTION NOTES

INSTALL 4" AVG. DIA. X 8" DEPTH EROSION PROTECTION TO EXTENTS SHOWN. ANGULAR ROCK MUST BE PLACED TO PERMIT STORMWATER TO PASS SMOOTHLY. HAND PLACE AT CURB OPENINGS AND SWALES TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY. SEE CG-501 FOR DETAIL.

## VICINITY MAP K-10



## PROJECT INFORMATION

PROPERTY: THE SITE IS A PARTIALLY DEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-10. THE SITE IS BOUND TO THE EAST BY UNSER BLVD, TO THE NORTH AND WEST BY DEVELOPED COMMERCIAL PROPERTY AND TO THE SOUTH BY CENTRAL AVE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE, COMMERCIAL RESTAURANTS(S), RETAIL/OFFICE, FOOD PARK, PARKING, AND LANDSCAPING.

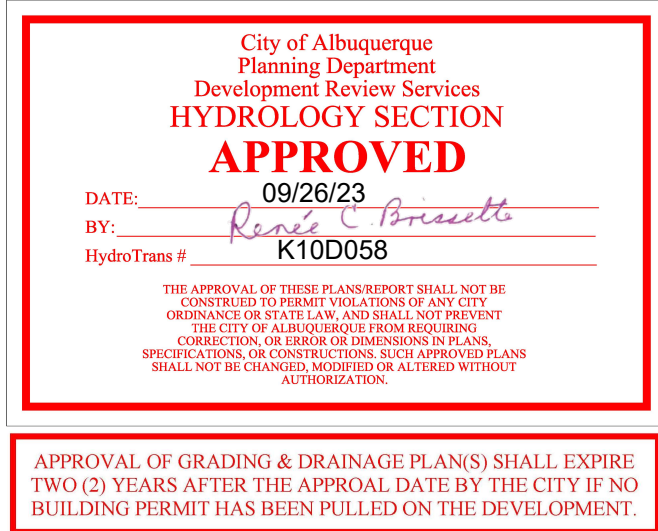
LEGAL: TRACT B, NUEVO ATRISCO, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "9-K10", ELEVATION = 5117.72 FEET (NAVD 1988).

OFF-SITE FLOW: OFF-SITE FLOW FROM THE ADJACENT HOUSING PROJECT IS ROUTED THROUGH THIS PROPERTY WITHIN AN EXISTING STORM DRAIN SYSTEM WITH DRAINAGE EASEMENT. MINOR SURFACE FLOW IS ALSO ACCEPTED WITHIN A BLANKET DRAINAGE EASEMENT.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP 35001C0328J, MAP (REVISION DATE NOVEMBER 4, 2016), THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN. CENTRAL AVENUE ADJACENT TO THE PROPERTY IS ENCUMBERED BY ZONE AO (DEPTH 1').

SEE DRAINAGE REPORT FOR ADDITIONAL INFORMATION AND CALCULATIONS.



## ADA COMPLIANCE

- SIDEWALK(S) AND RAMP(S):
- LONGITUDINAL SLOPE SHALL NOT EXCEED 20:1 (5% SLOPE).
  - TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%.
- ACCESSIBLE RAMP(S):
- TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).
  - TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%.
- ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

## LEGEND

- 39' PROPOSED 1.0' CONTOUR
- 38.5' PROPOSED 0.5' CONTOUR
- 38.2' PROPOSED 0.1' CONTOUR
- 37.5' PROPOSED SPOT ELEVATION
- FF = 5237.5 SURFACE FLOW DIRECTION
- P-X FINISH FLOOR ELEVATION
- PROPOSED STORM DRAIN / INLET
- STORMWATER QUALITY POND

Isaacson & Arfman, Inc.  
Civil Engineering Consultants

128 Monroe Street NE  
Albuquerque, NM 87108  
505-266-8828 | www.iacivil.com

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FRED C. ARFMAN  
NEW MEXICO  
7322  
Professional Engineer

09-26-2023

Engineer

NUEVO ATRISCO  
7901, 7911 & 7921 CENTRAL AVE NW  
Albuquerque, NM 87121

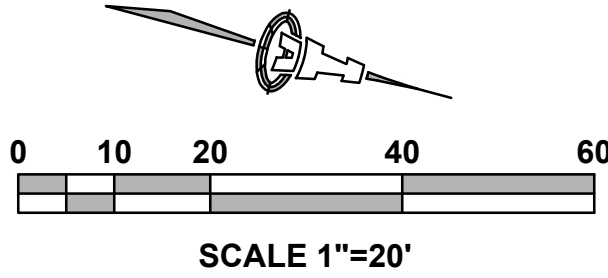
ISSUE: -  
PROJECT NUMBER: IA 2470  
FILE:  
DRAWN BY: BJB  
CHECKED BY: ANW  
DATE: OCTOBER, 2022

Description  
Date  
No







SHEET TITLE  
GRADING &  
DRAINAGE  
PLAN 1 OF 2

SHEET NUMBER  
CG101






## LEGEND

	PROPOSED 1.0' CONTOUR
	PROPOSED 0.5' CONTOUR
	PROPOSED SPOT ELEVATION
	SURFACE FLOW DIRECTION
	FINISH FLOOR ELEVATION
	PROPOSED STORM DRAIN / INLET

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City of Albuquerque Planning Department Development Review Services <b>HYDROLOGY SECTION</b>	
<b>APPROVED</b> 09/26/23	
DATE:	<i>Renée C. Brancetti</i>
BY:	
HydroText #	K01D058
THE APPROVAL OF THESE PLANS AND PERMIT SHALL NOT BE CONSIDERED TO IMPLY A WARRANTY BY THE CITY OF ALBUQUERQUE OF THE ACCURACY OF THE INFORMATION AND DATA SUBMITTED OR THE ADEQUACY OF THE DESIGN OR THE ADEQUACY OF THE CONNECTION, OR EITHER OF THE PROPOSED OR EXISTING IN PLACE SEWERAGE, SANITATION, AND COLLECTION SYSTEMS. APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED, OR SUBSTITUTED WITHOUT THE AUTHORIZATION:	
APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.	



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**Engineer**      **09-26-2023**

NUEVO ATRISCO  
7901, 7911 & 7921 CENTRAL AVE NW  
Albuquerque, NM 87121

No	Date	Description
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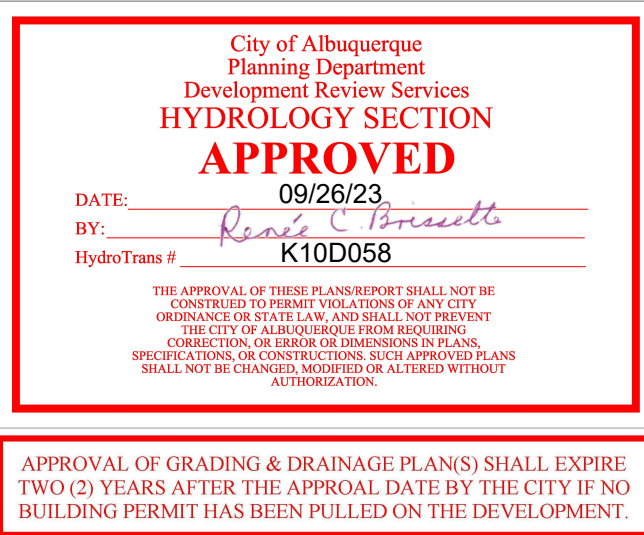
SHEET TITLE

GRADING &  
DRAINAGE  
PLAN 2 OF 2

SHEET NUMBER

CG102





SCALE: N.T.S.