

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

August 2, 2018

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

RE: **Nuevo Atrisco
Central and Unser NW
Conceptual Grading and Drainage Plan
Plan Date: 7/26/18
Hydrology File: K10D058**

Dear Mr. Arfman:

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Based on the submittal provided on 7/26/18 the above-referenced plan cannot be approved for Preliminary/Final Plat and DRB- Site Plan until the following are corrected:

Prior to Final Plat/ Site Plan:

1. The Tract A Basin needs to be further divided. Only the east portion of the Tract A will actually drain to the proposed pond; the west portion will free discharge to the private storm drain. The detention pond and orifice plate needs to be designed with the assumption that only part of Tract A will drain to it. i.e. Q_{in} will probably be closer to ~6.5cfs so Q_{out} will need to be limited to ~1-2cfs to meet the allowable discharge requirement for the larger site.

Prior to Building Permit (For Information):

2. The Drainage Report will need to be stamped and signed by the Engineer; calculations will need to be re-verified with respect to the final site layout, especially the 80% impervious assumption and the assumed subbasin divides for Tract A.
3. If Tract A develops first, its downstream conveyance (private storm drain) across Tract B to the connection on Central will need to be constructed with Tract A and certified prior to C.O.
4. Remove all "Conceptual" markings.
5. Proposed contours and spot elevations are missing from sheet CG-102.
6. The waterblocks along the north drive aisle need to be 0.87' min. (not 0.8') unless supporting calculations for a variance can be provided.

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7. For trash enclosures serving food service developments (if any are proposed for this site), demonstrate control of liquids from dumpster areas per DPM Chapter 22.9.E, Table 1 by containing runoff from the dumpster area and discharging to the sanitary sewer. If this information is on the utility plan please provide it, or show on the grading plan.
8. Subbasins will need to be delineated for each first flush pond and each pond sized for the area draining to it. Roof runoff needs to be routed to the ponds once the site layout is finalized.
9. This project requires an ESC Plan, submitted to the Stormwater Quality Engineer (Curtis Cherne PE, ccherne@cabq.gov or 924-3420).
10. Additional comments may be provided at Building Permit, based on final site layout and level of detail shown on plans.
11. For Information. Hydrology and Transportation files are available online through the City's GIS Viewer 2.0: <https://www.cabq.gov/gis/advanced-map-viewer>. Turn on the *HydroTrans* layer: *Operational Layers > Albuquerque Layers > Sites > HydroTrans*. Select the desired polygon from the map and click *Link to Project Documents*.

PO Box 1293

Prior to Certificate of Occupancy (For Information):

Albuquerque

12. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

13. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the stormwater detention pond (Tract A). The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

www.cabq.gov

14. Bernalillo County Recorded [Private Facility Drainage Covenants](#) are required for the stormwater quality ponds (one for Tract A and one for Tract B). The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Peterson'.

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Nuevo Atrisco **Building Permit #:** _____ **Hydrology File #:** K10D058
DRB#: PR-2018-1007489 **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract B-1, West Route 66 Addition II
City Address: 7909 Central Ave. NW - Albuquerque, NM 87121

Applicant: Isaacson & Arfman, PA **Contact:** Fred C. Arfman
Address: 128 Monroe Street NE - Albuquerque, NM 87108 or Bryan J. Bobrick
Phone#: (505) 268-8828 **Fax#:** _____ **E-mail:** freda@iacivil.com
or bryanb@iacivil.com
Other Contact: Dekker Perich Sabatini **Contact:** _____

Address: 7601 Jefferson Street NE, Suite 100 - Albuquerque, NM 87109
Phone#: (505) 761-9700 **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: ☒ PLAT ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☒ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☒ OTHER (SPECIFY) Supplemental Drainage Calculations
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☒ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: July 26, 2017 **By:** Fred C. Arfman

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

JULY 26, 2018

Supplemental Drainage Calculations for

Nuevo Atrisco

Conceptual Grading and Drainage Plan Submittal

by



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE(RET.) & LS(RET.)

Fred C. Arfman, PE

Åsa Nilsson-Weber, PE

Project Information

PROPERTY: THE SITE IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-10. THE SITE IS BOUND TO THE EAST BY UNSER BLVD, TO THE NORTH AND WEST BY DEVELOPED COMMERCIAL PROPERTY AND SARRACINO PI NW AND TO THE SOUTH BY CENTRAL AVE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE FARMERS MARKET OPEN PAVILIONS, OFFICE SPACE, APARTMENTS 4 STORIES, RETAIL/RESTAURANTS, PARKING, AND LANDSCAPING.

LEGAL: A PORTION OF TRACT B1 WEST ROUTE 66 ADDITION II, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "9-K10", ELEVATION = 5117.72 FEET (NAVD 1988).

OFF-SITE FLOW: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP 35001C0328J, MAP (REVISION DATE NOVEMBER 4, 2016), THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN. A PORTION OF THE ADJACENT STREET, CENTRAL AVENUE, IS ENCUMBERED BY ZONE AO (DEPTH 1').

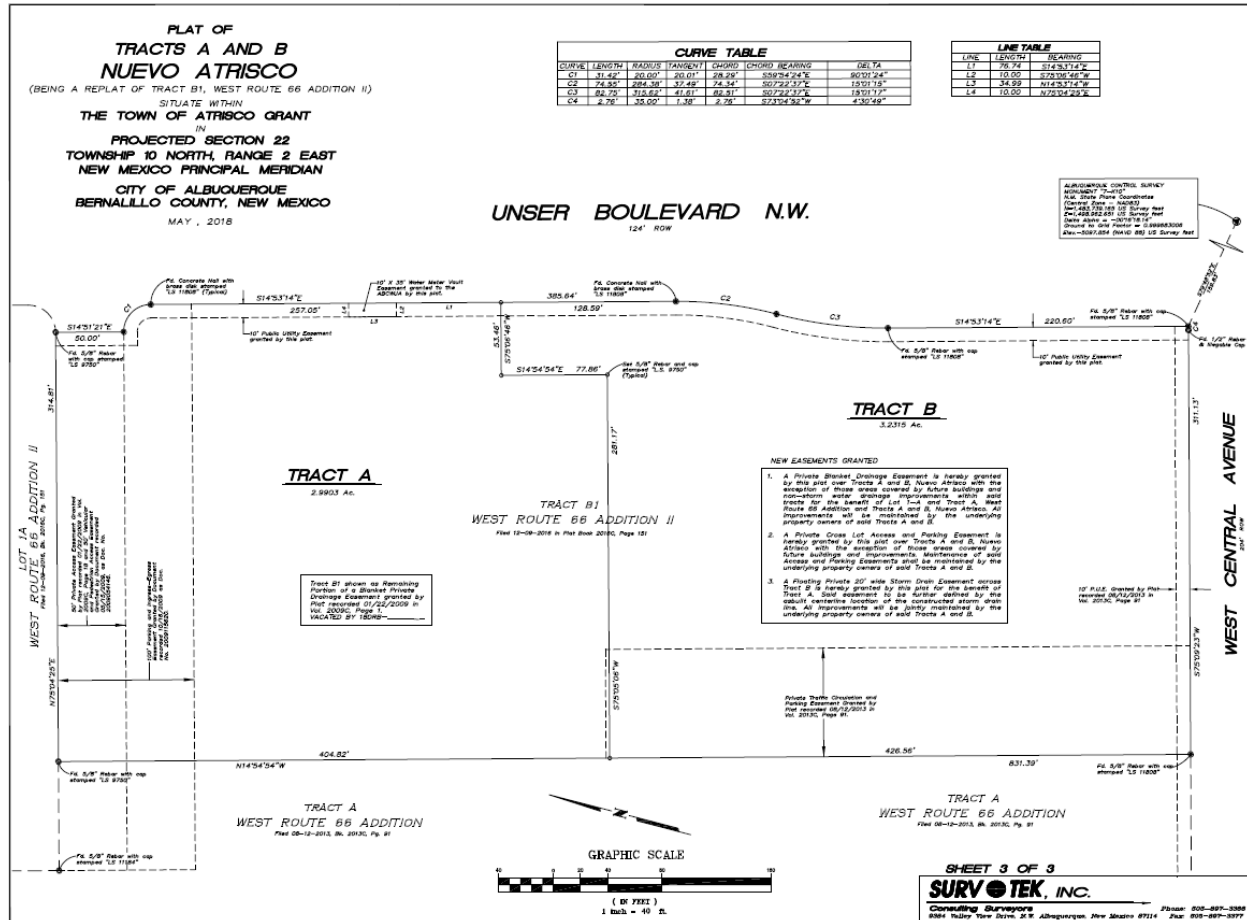
DRAINAGE PLAN CONCEPT: PER THE UNSER BOULEVARD RECONSTRUCTION DRAINAGE REPORT (COA HYDROLOGY FILE K10/D057,) BY HUITT-ZOLLARS DATED APRIL 2017, THIS PROPERTY FALLS WITHIN DRAINAGE BASIN 13D.3. THE OVERALL BASIN IS SIZED AT 17.613 ACRES WITH A CALCULATED DISCHARGE OF 60.77 CFS (3.45 CFS/ACRE). NEW STORM DRAIN IMPROVEMENTS WILL BE CONSTRUCTED (CITY PROJECT NO. 4383.91) WHICH INCLUDES STORM DRAIN ACCESS TO THE EXISTING 48" STORM DRAIN PROVIDED FOR THIS BASIN (PASSING FLOW UNDER CENTRAL AVENUE).



COA Hydrology and Transportation M

[illegible]

The existing property (West Route 66 Addition II, Tract B1) is 6.2218 acres and will be subdivided into two tracts. Tract A (north side @ 2.9903 ac. and Tract B (south side @ 3.2315 acres).



NEW EASEMENTS GRANTED

1. A Private Blanket Drainage Easement is hereby granted by this plat over Tracts A and B, Nuevo Atrisco with the exception of those areas covered by future buildings and non-storm water drainage improvements within said tracts for the benefit of Lot 1-A and Tract A, West Route 66 Addition and Tracts A and B, Nuevo Atrisco. All improvements will be maintained by the underlying property owners of said Tracts A and B.
2. A Private Cross Lot Access and Parking Easement is hereby granted by this plat over Tracts A and B, Nuevo Atrisco with the exception of those areas covered by future buildings and improvements. Maintenance of said Access and Parking Easements shall be maintained by the underlying property owners of said Tracts A and B.
3. A Floating Private 20' wide Storm Drain Easement across Tract B is hereby granted by this plat for the benefit of Tract A. Said easement to be further defined by the asbuilt centerline location of the constructed storm drain line. All improvements will be jointly maintained by the underlying property owners of said Tracts A and B.

ALLOWABLE DISCHARGE

Per the Unser Boulevard Reconstruction Drainage Report (COA Hydrology File K10/D057 dated April 2017) by Huitt-Zollars, West Route 66 Addition II, Tracts A and B fall within Drainage Basin 13D.3 (17.613 acres) which has an allowable release rate of 60.77 cfs or 3.45 cfs / acre.

Tract A (2.9903 ac) + Tract B (3.2315 ac) total 6.2218 acres. At 3.45 cfs/acre, the Property is permitted to discharge:

| |
|--|
| $3.45 * 6.2218 = 21.47 \text{ cfs}$ TOTAL ALLOWABLE DISCHARGE FROM TRACT A + TRACT B |
|--|

Based on a proposed land treatment ration of 0%A : 5%B : 10%C : 85%D, Tract B will generate 13.3 cfs.

TRACT B CALCULATIONS: Nuevo Atrisco : July 25 2018

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE

AREA OF TRACT B 140764 SF = 3.2315 ACRE

100-year, 6-hour

DEVELOPED FLOWS:

EXCESS PRECIP:

| | | Treatment SF | % | Precip. Zone | 1 |
|------------|---|--------------|------|----------------|--------|
| Area A | = | 0 | 0% | E _A | = 0.44 |
| Area B | = | 7038 | 5% | E _B | = 0.67 |
| Area C | = | 14076 | 10% | E _C | = 0.99 |
| Area D | = | 119650 | 85% | E _D | = 1.97 |
| Total Area | = | 140764 | 100% | | |

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted E} = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$$

| | | |
|-------------|---|----------|
| Developed E | = | 1.81 in. |
|-------------|---|----------|

On-Site Volume of Runoff: V₃₆₀ =

$$E * A / 12$$

| | | |
|----------------------------|---|---------------|
| Developed V ₃₆₀ | = | 21197 CF |
|----------------------------|---|---------------|

On-Site Peak Discharge Rate: Q_p = Q_{pA}A_A+Q_{pB}A_B+Q_{pC}A_C+Q_{pD}A_D / 43,560

For Precipitation Zone 1

| | | | | | |
|-----------------|---|------|-----------------|---|------|
| Q _{pA} | = | 1.29 | Q _{pC} | = | 2.87 |
| Q _{pB} | = | 2.03 | Q _{pD} | = | 4.37 |

| | | |
|--------------------------|---|---------------|
| Developed Q _p | = | 13.3 CFS |
|--------------------------|---|---------------|

Tract B will be permitted free discharge of 13.3 cfs to the existing storm drain system installed as part of the recent Central Ave. improvements (City Project No. 4383.91).

The Tract A + Tract B allowable discharge (21.47 cfs) – Tract B fully developed (13.3 cfs) = 8.17 cfs for Tract A maximum discharge rate.

Based on a proposed land treatment ration of 0%A : 10%B : 10%C : 80%D, Tract A will generate 11.9 cfs.

TRACT A CALCULATIONS: Nuevo Atrisco : July 25 2018

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

| ON-SITE | | | | |
|-------------------------|--------|--------------|-----------------------|----------------|
| AREA OF TRACT A | 130257 | SF | = | 2.9903 ACRE |
| 100-year, 6-hour | | | | |
| DEVELOPED FLOWS: | | | EXCESS PRECIP: | |
| | | Treatment SF | % | Precip. Zone 1 |
| Area A | = | 0 | 0% | $E_A = 0.44$ |
| Area B | = | 13026 | 10% | $E_B = 0.67$ |
| Area C | = | 13026 | 10% | $E_C = 0.99$ |
| Area D | = | 104206 | 80% | $E_D = 1.97$ |
| Total Area | = | 130257 | 100% | |

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted E} = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$$

| | | |
|-------------|---|----------|
| Developed E | = | 1.74 in. |
|-------------|---|----------|

On-Site Volume of Runoff: $V_{360} =$

$$E * A / 12$$

| | | |
|---------------------|---|----------|
| Developed V_{360} | = | 18909 CF |
|---------------------|---|----------|

On-Site Peak Discharge Rate: $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43,560$

For Precipitation Zone 1

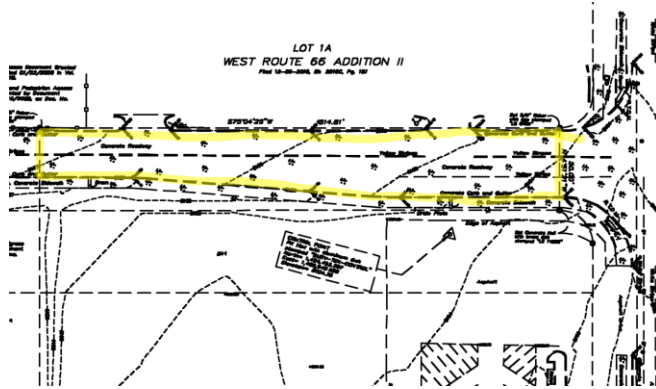
| | | | | | |
|----------|---|------|----------|---|------|
| Q_{pA} | = | 1.29 | Q_{pC} | = | 2.87 |
| Q_{pB} | = | 2.03 | Q_{pD} | = | 4.37 |

| | | |
|-----------------|---|----------|
| Developed Q_p | = | 11.9 CFS |
|-----------------|---|----------|

The north end of the Tract A includes an existing paved Private Access Easement. This easement will continue to surface drain east to Unser Blvd.

The 10,970 sf area is 100% Impervious and generates 1.10 cfs. New water blocks at the Tract A north entrance drives will ensure this drainage does not enter the property.

| BASIN NO. | EI | DESCRIPTION | Existing North Drive Draining to Unser Blvd. |
|--|-------|-------------|--|
| Area of basin flows = | 10970 | SF | = 0.3 Ac. |
| The following calculations are based on Treatment areas as shown in table to the right | | | LAND TREATMENT |
| Sub-basin Weighted Excess Precipitation (see formula above) | | | A = 0% |
| Weighted E = | | | B = 0% |
| Sub-basin Volume of Runoff (see formula above) | | | C = 0% |
| $V_{360} =$ | | | D = 100% |
| Sub-basin Peak Discharge Rate: (see formula above) | | | |
| $Q_p =$ | | | 1.10 cfs |



The existing paved access discharging east to Unser Blvd.

Subtracting 1.10 cfs draining to Unser Blvd. leaves $(11.9 \text{ cfs} - 1.10 \text{ cfs})$ 10.8 cfs.

As calculated above, Tract A is permitted to discharge 8.17 cfs total to meet the allowable release rate for Tracts A and B of 21.47 cfs.

Subtracting 1.10 cfs draining to Unser Blvd. leaves $(8.17 \text{ cfs} - 1.10 \text{ cfs}) = 7.07 \text{ cfs}$ allowable discharge rate for the portion of Tract A draining south through Tract B.

7.07 cfs from Tract A and 13.3 cfs from Tract B (20.37 cfs total) will be directed south to an existing 48" storm drain pipe connected to the Unser Blvd. trunk line specifically left open to collect flow from the Property: West Route 66 Addition II tract B1.

Therefore, 10.8 cfs (remainder of Tract A) $- 7.07 \text{ cfs}$ (allowable discharge from Tract A) = required Tract A detention of 3.73 cfs.

Based on the inflow/outflow hydrograph below, a detention pond volume of 6823 cf will be required.

| CALCULATIONS: Nuevo Atrisco : July 25 2018 | |
|--|--|
| HYDROGRAPH FOR SMALL WATERSHED | |
| DPM SECTION 22-2 * PAGE A-13/14 | |

Base time, t_B , for a small watershed hydrograph is,

$$t_B = (2.107 * E * A / Q_P) - (0.25 * A_D / A)$$

Where

| | | |
|-------|---|-------------|
| E | = | 1.74 inches |
| A | = | 2.99 acres |
| A_D | = | 2.39 acres |
| Q_P | = | 10.8 cfs |

| | | |
|-------|---|------------|
| t_B | = | 0.82 hours |
|-------|---|------------|

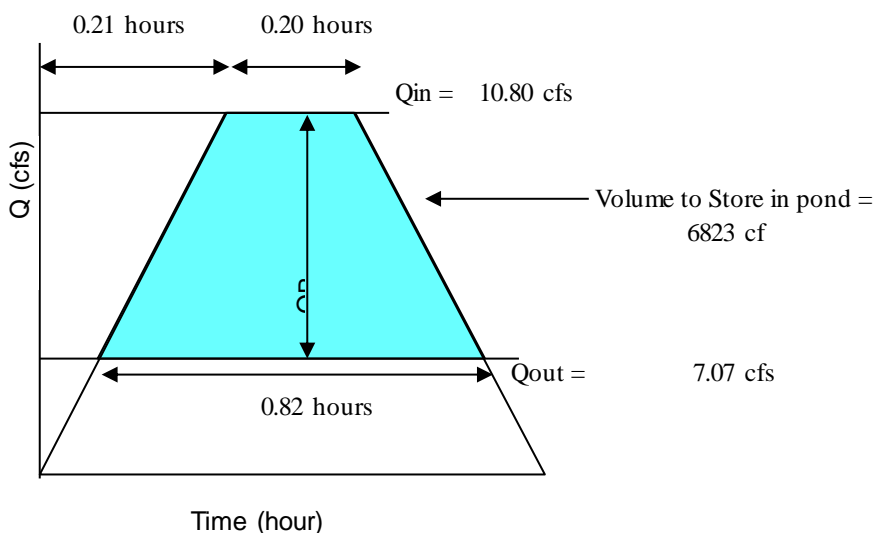
E is the excess precipitation in inches (from DPM TABLE A-8), Q_P is the peak flow, A_D is the area (acres) of treatment D, and A_T is the total area in acres. Using the time of concentration, t_C (hours), the time to peak in hours is:

$$t_P = (0.7 * t_C) + ((1.6 - (A_D / A)) / 12)$$

Where t_C = 0.20 hours

t_P = 0.21 hours

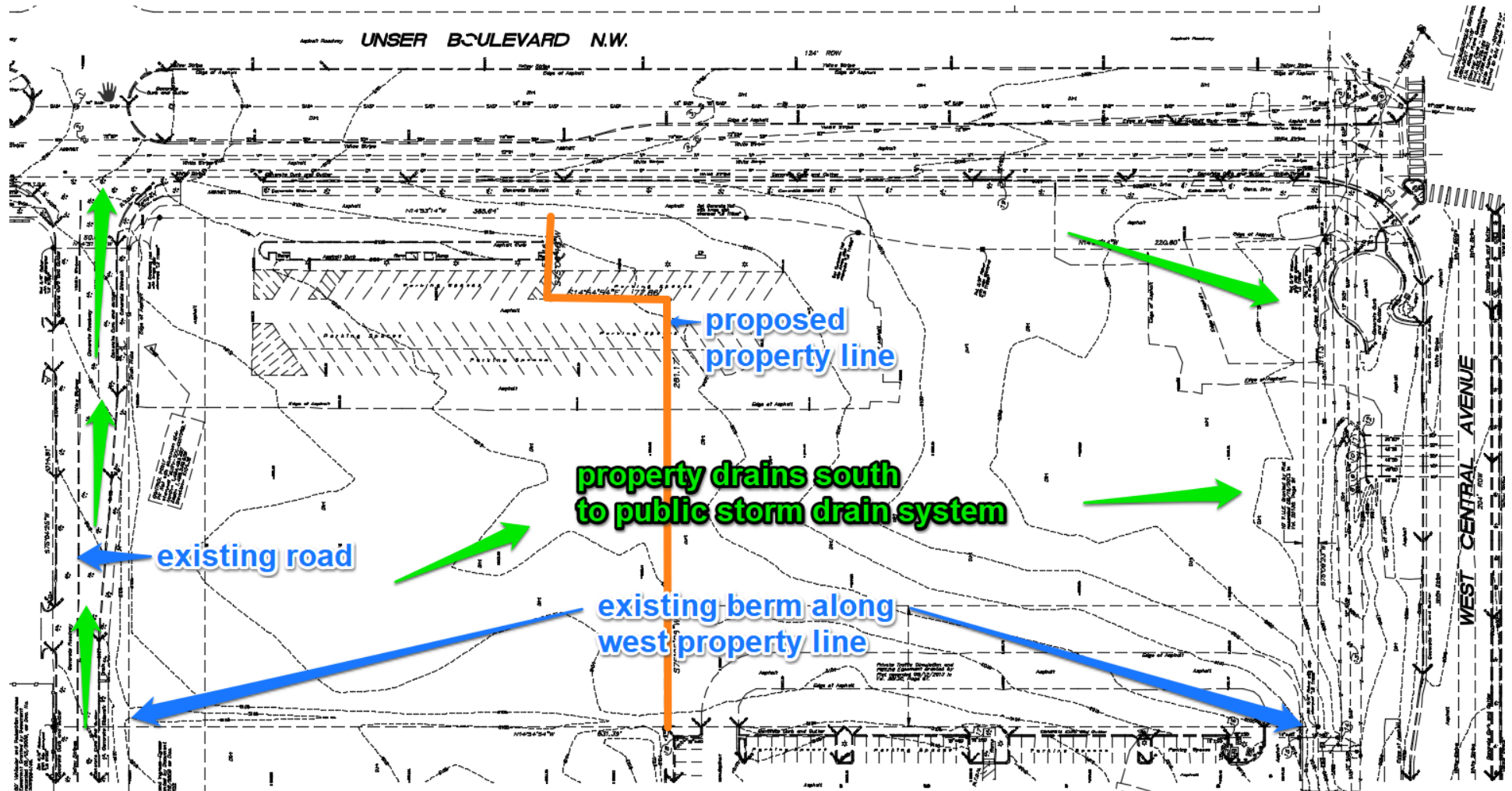
Continue the peak for $0.25 * A_D / A_T$ hours. When A_D is zero, the hydrograph will be triangular. When A_D is not zero, the hydrograph will be trapezoidal. see the graph below:

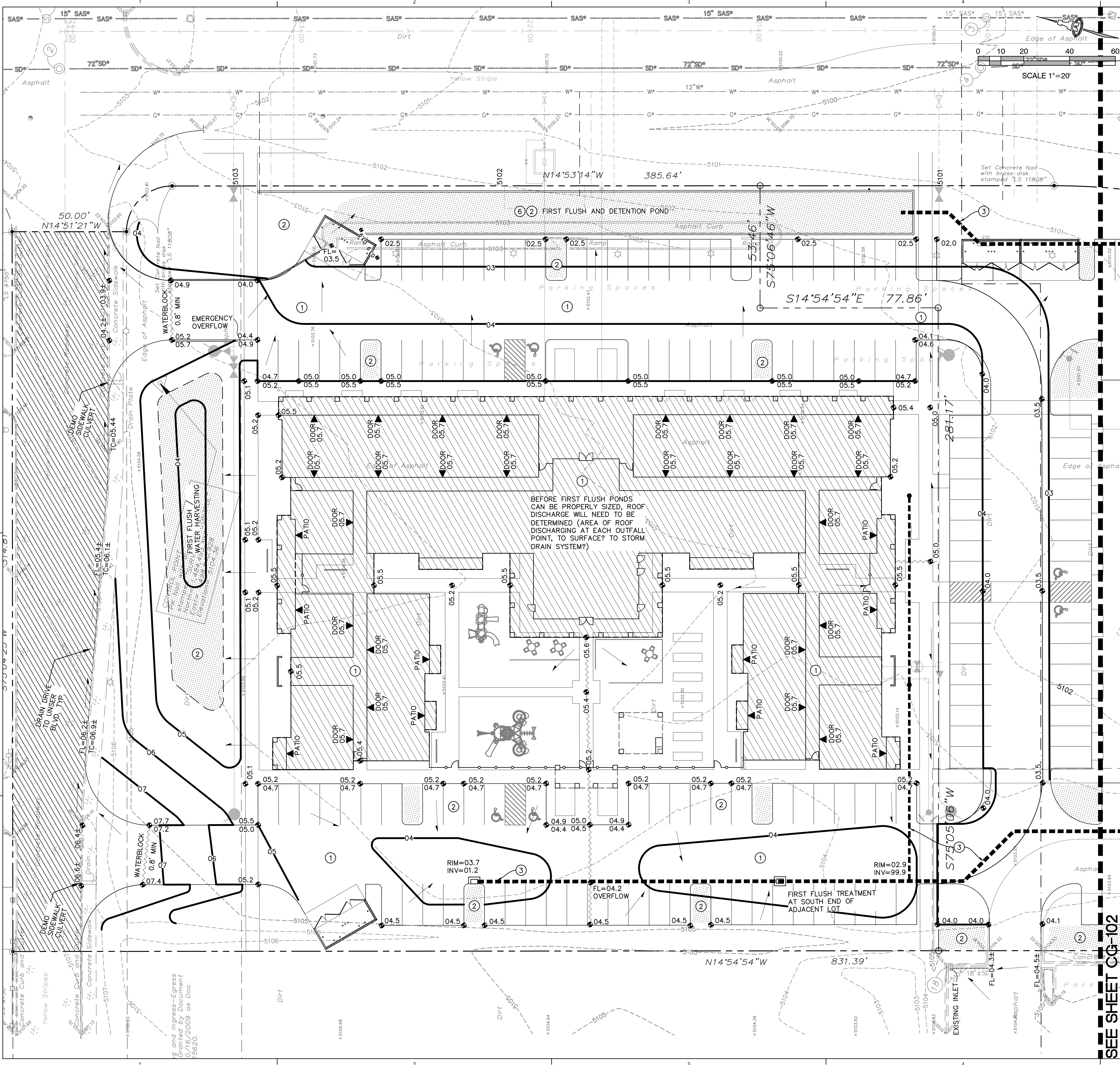


INFLOW / OUTFLOW HYDROGRAPH

Tract A will develop first. A permanent detention pond will be constructed on Tract A which with orifice control to limit release.

The property is isolated from off-site flow other than to the existing private access easement along the north edge (





VICINITY MAP

PROJECT DATA

PROPERTY: THE SITE IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-10. THE SITE IS BOUND TO THE EAST BY UNSER BLVD. TO THE NORTH AND WEST BY DEVELOPED COMMERCIAL PROPERTY AND SARRACINO PI NW AND TO THE SOUTH BY CENTRAL AVE.

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FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP 35001C0328J, MAP (REVISION DATE NOVEMBER 4, 2016), THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN. A PORTION OF THE ADJACENT STREET, CENTRAL AVENUE, IS ENCUMBERED BY ZONE AO (DEPTH 1').

DRAINAGE PLAN CONCEPT: PER THE UNSER BOULEVARD RECONSTRUCTION DRAINAGE REPORT (COA HYDROLOGY FILE K10/D057), BY HUITT-ZOLLARS DATED APRIL 2017, THIS PROPERTY FALLS WITHIN DRAINAGE BASIN 130.3. THE OVERALL BASIN IS SIZED AT 18 ACRES WITH A CALCULATED DISCHARGE OF 60.77 CFS (3.45 CFS/ACRE). NEW OFF-SITE ROAD AND STORM DRAIN IMPROVEMENTS (CITY PROJECT NO. 4383.91) WILL BE CONSTRUCTED WHICH INCLUDES STORM DRAIN ACCESS TO AN EXISTING 48" STORM DRAIN PROVIDED FOR THIS BASIN (PASSING FLOW UNDER CENTRAL AVENUE).

ENGINEER: FRED C. ARFMAN: NMPE 7322
ISAACSON & ARFMAN, PA
128 MONROE NE 87108
505-268-8828

SURVEYOR: RUSS P. HUGG: NMPS NO. 9750
SURV-TEK, INC
9384 VALLEY VIEW DRIVE, NW 87114
505-897-3366

KEYED NOTES

SEE SHEET CG-102 FOR KEYED NOTES REFERENCED ON THIS PLAN

LEGEND

- 5105.65' EXISTING SPOT ELEVATION
- 5110 — EXISTING CONTOUR
- 12 — PROPOSED CONTOUR (1' INCREMENT)
- 08.9 — PROPOSED SPOT ELEVATION
- FLOW ARROW
- ▨ FIRST FLUSH RETENTION POND OPTION

ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iaciivil.com

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG
ARCHITECT

ENGINEER

NOT FOR CONSTRUCTION

PROJECT

NUEVO ATRISCO CENTRAL & UNSER ALBUQUERQUE, NM

REVISIONS

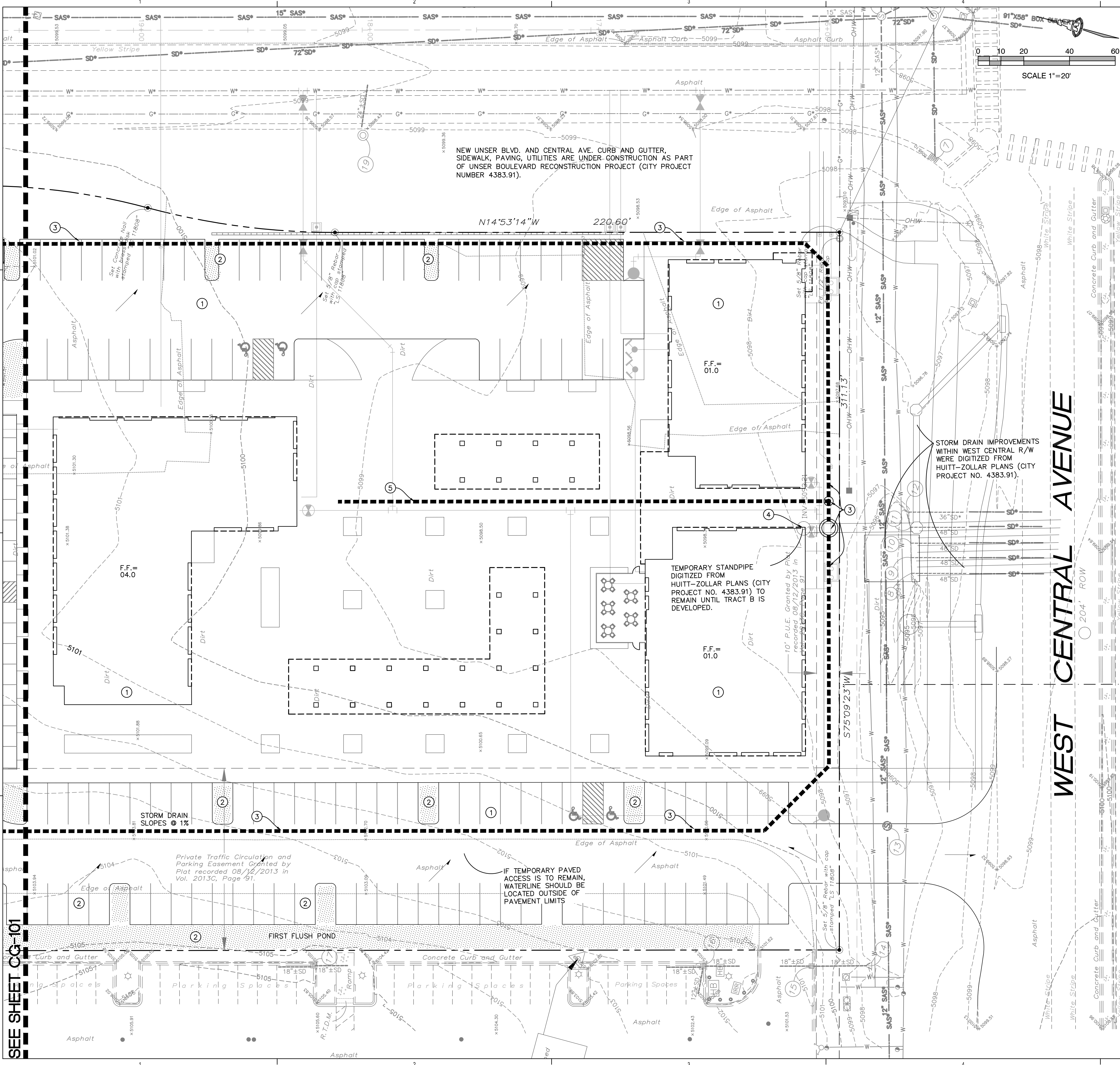
| | |
|--------------|-----------|
| DRAWN BY | BJB |
| REVIEWED BY | FCA |
| DATE | 6/18/2018 |
| PROJECT NO. | 17-0153 |
| DRAWING NAME | |

CONCEPTUAL
GRADING AND
DRAINAGE PLAN
1 OF 2

SHEET NO.

CG-101

OF



SEE SHEET CG-101

KEYED NOTES

1. IMPERVIOUS AREA WILL BE DIRECTED THROUGH STORMWATER QUALITY FIRST FLUSH RETENTION PONDS BEFORE DISCHARGING TO THE PUBLIC STORM DRAIN SYSTEM (AS POSSIBLE). SEE CG-501 FOR ADDITIONAL INFORMATION / CALCULATIONS FOR EACH TRACT AND REQUIREMENTS FOR PAYMENT IN-LIEU FOR ANY IMPERVIOUS AREA VOLUME THAT DOES NOT MEET THE STORMWATER QUALITY FIRST FLUSH REQUIREMENTS.
2. STORMWATER QUALITY FIRST FLUSH RETENTION POND OPTION. FIRST FLUSH PONDS WILL BE FINALIZED AS PART OF THE BUILDING PERMIT PLANS FOR EACH TRACT.
3. PROPOSED PRIVATE STORM DRAIN SYSTEM CONNECTED TO EXISTING 48" STORM DRAIN PIPE (TO BE CONSTRUCTED AS PART OF TRACT A DEVELOPMENT).
4. EXISTING (TEMPORARY) STORM DRAIN STANDPIPE CONSTRUCTED AS PART OF UNSER BOULEVARD RECONSTRUCTION PROJECT (CITY PROJECT NUMBER 4383.91). THIS WILL REMAIN IN OPERATION FOR TRACT B (UNDEVELOPED) UNTIL TRACT B DEVELOPS.
5. PROPOSED PRIVATE STORM DRAIN SYSTEM CONNECTED TO EXISTING 48" STORM DRAIN PIPE (TO BE CONSTRUCTED AS PART OF TRACT B DEVELOPMENT).
6. PROPOSED TRACT A DETENTION POND REQUIRED TO RESTRICT TOTAL DISCHARGE FROM TRACT A. SEE CG-501 AND SUPPLEMENTAL INFORMATION.

LEGEND

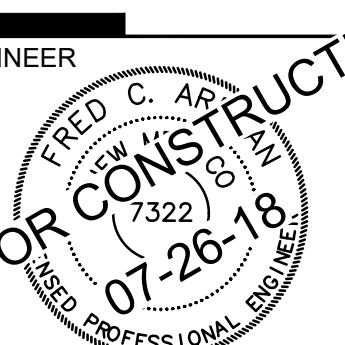
- 5105.65' EXISTING SPOT ELEVATION
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- 12- PROPOSED CONTOUR (1' INCREMENT)
- 08.9 PROPOSED SPOT ELEVATION
- FLOW ARROW
- [Pattern] PROPOSED FIRST FLUSH RETENTION POND



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacivil.com

**DEKKER
PERICH
SABATINI**

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ARCHITECT

ENGINEER

NOT FOR CONSTRUCTION

PROJECT

**NUEVO ATRISCO
CENTRAL & UNSER
ALBUQUERQUE, NM**

| REVISIONS | |
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| DRAWN BY | BJB |
| REVIEWED BY | FCA |
| DATE | 6/18/2018 |
| PROJECT NO. | 17-0153 |
| DRAWING NAME | |

CONCEPTUAL
GRADING AND
DRAINAGE PLAN
2 OF 2

[illegible]

Architectural site plan of the Westside Station area. The plan shows two main tracts, Tract A and Tract B, separated by a central corridor. Tract A is on the left and contains several building footprints and parking spaces. Tract B is on the right and also contains building footprints and parking spaces. The plan includes a north arrow in the bottom left corner and various annotations for streets and property lines.



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