

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

April 14, 2021

John Arthur Blessen, P.E.  
J Arthur Blessen Engineering  
2429 Zena Lona NE  
Albuquerque New Mexico 87112

**RE: 7200 Bluewater Rd. NW**  
**Revised Grading and Drainage Plan**  
**Engineer's Stamp Date: 04/05/21**  
**Hydrology File: K10D060**

Dear Mr. Blessen:

Based upon the information provided in your submittal received 04/06/2021, the Revised Grading and Drainage Plan is approved for Building Permit.

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

Also, please provide the Drainage Covenant for the proposed stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. There is a recording fee (\$25, payable to Bernalillo County). Please contact Charlotte LaBadie ([clabadie@cabq.gov](mailto:clabadie@cabq.gov), 924-3996). Due to COVID-19, please follow the instructions:

Either email a pdf copy of the executed drainage covenant and the exhibit to [clabadie@cabq.gov](mailto:clabadie@cabq.gov) or either mail or drop off the originals. Please mail the \$25.00 recording fee check made payable to Bernalillo County to:

Planning Dept./DRC  
Attn: Charlotte LaBadie  
600 2nd St. NW, Ste. 400  
ABQ, NM, 87102

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If you drop off the originals, there is a drop box outside the building labeled DRC. Once approved and recorded, Charlotte will email you a copy.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

**Project Title:** 7200 Bluewater **Building Permit #:** BP-2020-40165 **Hydrology File #:** K100D060  
**DRB#:** PR-2018-001681 (ST-2018-00200) **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Parcel C-3 Atrisco Business Park Unit 2  
**City Address:** 7200 Bluewater NW

**Applicant:** J Arthur Blessen Engineering **Contact:** Arthur Blessen  
**Address:** 2429 Zena Lona, Albuquerque New Mexico 87112  
**Phone#:** 505-401-4142 **Fax#:** \_\_\_\_\_ **E-mail:** jab-engineering@hotmail.com

**Other Contact:** Brunacini Development **Contact:** Angelo Burnacini  
**Address:** 7550 Meridian Place NW, Albuquerque NM 87197  
**Phone#:** 505-833-2928 **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
☒ DRAINAGE REPORT  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☒ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 4-6-2021 **By:** J Arthur Blessen

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



Drainage Calculation

City of Albuquerque DPM 2020 edition

7200 Bluewater

Precipitation Zone= 1

Basin Area = 10.308 acres

Existing Treatment

Area of A = 449028 sf 100%

Area of B = 0 sf 0%

Area of C = 0 sf 0%

Area of D = 0 sf 0%

Improved Conditions Treatment

Area of A = sf 0%

Area of B = 58832 sf 13%

Area of C = 0 sf 0%

Area of D = 392199 sf 87%

Excess Precipitation, E (inches) 6 hr - 100 yr storm table 8.2.13

Existing Conditions

Treatment A % of Area 1.00 x 0.55 = 0.55

Treatment B % of Area 0.00 x 0.73 = 0.00

Treatment C % of Area 0.00 x 0.95 = 0.00

Treatment D % of Area 0.00 x 2.24 = 0.00

E = 0.55

Improved Conditions

Treatment A % of Area 0.00 x 0.55 = 0.00

Treatment B % of Area 0.13 x 0.73 = 0.09

Treatment C % of Area 0.00 x 0.95 = 0.00

Treatment D % of Area 0.87 x 2.24 = 1.98

E = 2.05

Volume V = E A / 12

Ve = 0.550 x 10.308 / 12 = 0.472 acre ft

Vi = 2.049 x 10.308 / 12 = 1.760 acre ft

20580 cf

76687 cf

Discharge Rate, Q (cfs / acre) 100 yr storm table 8.2.14

Treatment A % of Area 1.00 x 1.54 = 1.54

Treatment B % of Area 0.00 x 2.18 = 0.00

Treatment C % of Area 0.00 x 2.87 = 0.00

Treatment D % of Area 0.00 x 4.12 = 0.00

q = 1.54

Peak Rate Qp = q A

Qp(e) = 1.54 x 10.308 = 15.87 cfs

Qp(i) = 3.87 x 10.308 = 39.91 cfs

Excess Volume = 1.288 acre ft

Excess Rate = 24.04 cfs

to = 0.2 hr

tb = (2.107 \* E \* A) / (Qp - (0.25 \* Ad / At)) = 0.997 hr

tp = (0.7 \* to) - ((1.6 \* (Ad / At)) / 12) = 0.201 hr

Discharge Rate 1.130 cfs

0.11 cfs/acre

Allowable Discharge Rate 1.134 cfs

Volume 80101 cf

Discharged 3807 cf

Pond Volume 76484 cf

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED		V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)	E (%)						
EXISTING CONDITIONS												
BASIN A-1	3.30	100.00	0.00	0.00	0.00	0.44	0.12	5.271	0.12	5.271	4.28	
BASIN A-2	7.03	100.00	0.00	0.00	0.00	0.44	0.26	11.228	0.26	11.228	9.07	
PROPOSED CONDITIONS												
BASIN A-1	3.30	0.00	0.00	7.80	92.20	1.89	0.52	22.683	0.89	38.919	14.03	
BASIN A-2	7.03	0.00	0.00	9.10	90.90	1.88	1.10	47.996	1.88	82.096	29.76	
EXCESS PRECIP.												
		0.44	0.67	0.99	1.97	E (in)						
PEAK DISCHARGE		1.29	2.03	2.87	4.37	QPI (cfs)						
6(A) + (EB)(%B) + (EC)(%C) + (ED)(%D) = (WEIGHTED E)/AREA*12 6-HR + (AD)/P10DAY - P6-HR)*12 QPB(AB) + (QPC(AC) + (QPD)(AD)										ZONE = 1 P6-HR (in.) 2.20 P24-HR (in.) 2.66 P10DAY (in.) 3.67		
Basin A-1 discharges through 5 - 2' wide sidewalk culverts												

WATER QUALITY PONDING					
POND ID	BASIN ID	CONTRIBUTING AREA (SQ-FT)	REQUIRED PONDING (IN.)	PONDING VOLUME (0.44/12*AREA) (CU-FT)	PONDING VOLUME PROVIDED (CU-FT)
SITE	A	449975	0.44	16499	18200
TOTAL		449975		16499	18200

Sidewalk Culvert Discharge

Weir Flow Equation = CA(2gh)<sup>1/2</sup>

C	L(ft)	h(ft)	Q(cfs)
2.6	3	0.10	0.25
2.6	3	0.20	0.70
2.6	3	0.30	1.28
2.6	3	0.40	1.97
2.6	3	0.50	2.76

Weir Flow Equation = CLH<sup>3/2</sup>

PREVIOUS APPROVED SUBMITTAL

"FIRST FLUSH" POND VOLUME REQUIRED 16,499 cf

APPROXIMATE LIMITS 100-YEAR PONDING WSEL 101.95

PONDING REQUIRED 70,747 CF

LOT 7 DRAINAGE REPORT

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 10.33 ACRES LOCATED SOUTH OF BLUEWATER AND EAST OF UNSER AT THE POINT AIRPORT NORTH OF BLUEWATER OFFSETS TO THE EAST, AS SHOWN ON THE VICINITY MAP ON THIS SHEET. IT IS CURRENTLY UNDEVELOPED, BUT HAS BEEN PREVIOUSLY GRADED AND DEVELOPED NOTED BY THE REMNANTS.

THE SITE IS WITHIN ZONE X AS SHOWN ON THE FIRM PANEL NO. 35001C0329 H. PROPOSED DEVELOPMENT WILL CONSIST OF A SINGLE STORY OFFICE/WAREHOUSE BUILDING ENCLOSING ABOUT 150,000 SF WITH PAVED PARKING AND DOCKS ON THE SOUTH.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

EXISTING DRAINAGE

THE SITE IS PREVIOUSLY DEVELOPED BUT CURRENTLY ONLY REMNANTS REMAIN. THE PARCEL DRAINS TOWARD THE CENTER OF THE SITE THEN NORTH INTO BLUEWATER WHERE IT IS COLLECTED IN THE LARGE DIAMETER (48" MOSTLY) AND CONVEYED SOUTH.

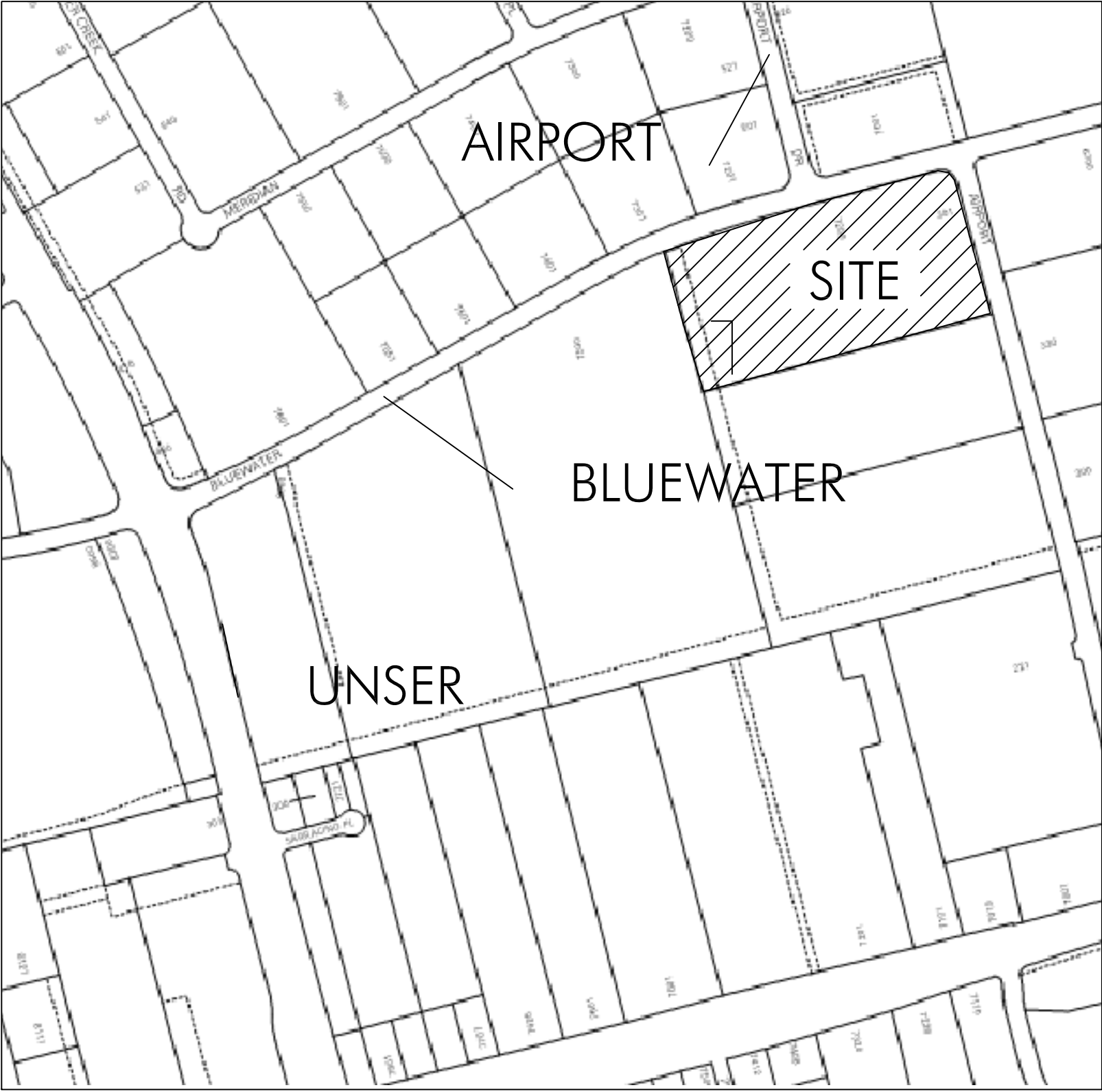
THE DEVELOPED PARCEL WEST OF THIS SITE DRAINS WEST AWAY FROM THIS SITE. LIKEWISE THE DEVELOPED PARCEL TO THE SOUTH DRAINS SOUTH AWAY FROM THE SITE. ON THE NORTH, THE SITE IS PROTECTED BY THE STORM DRAIN IN BLUEWATER.

DEVELOPED CONDITION

THE PROPOSED GRADING PLAN WILL DIRECT RUNOFF GENERATED ONSITE TOWARD A NEW DETENTION POND THAT INCLUDES ALMOST ALL OF THE SOUTH PARKING APRONS

IN ORDER TO PROVIDE THE REQUIRED WATER QUALITY PONDING, THE AREA INLET HAS RAISED ABOVE THE POND BOTTOM THE DISTANCE REQUIRED TO PROVIDE THE REQUIRED VOLUME.

THE DISCHARGE FROM THIS SITE IS CONTROLLED BY THE ATRISCO BUSINESS PARK MASTER DRAINAGE PLAN, BY EASTERLING 10-20-1993. THIS PLAN LIMITS DISCHARGE FROM THE SITE TO 0.11 CFS/ACRE. PER THE PROPOSED DRAINAGE PLAN, THE DISCHARGE FROM THIS SITE IS CONTROLLED BY ORIFICE PLATE IN THE INLET AND IS LIMITED TO 1.13 CFS. THE ALLOWABLE DISCHARGE IS 1.136 CFS.



FEMA PANEL 35001C0329H 11/4/2016



BRUNACINI DEVELOPMENT

ARCHITECT SEAL

ARCHITECT

ARCHITECT SEAL

ENGINEER SEAL

ENGINEER

PROJECT

WAREHOUSE SHELL FOR BRUNACINI DEVELOPMENT 7200 BLUEWATER ROAD NW ALBUQUERQUE, NEW MEXICO

REVISIONS

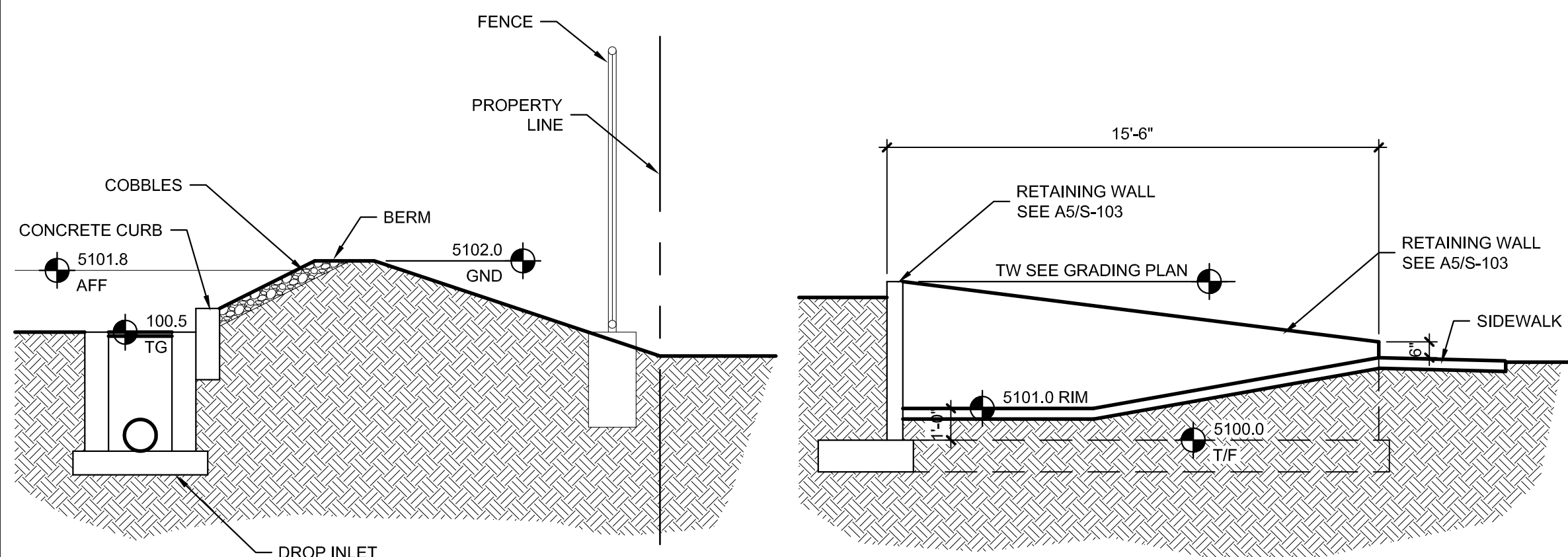
DATE APRIL 5, 2021

SCALE 1"=40'-0" OR AS NOTED

DRAWING NAME DRAINAGE REPORT

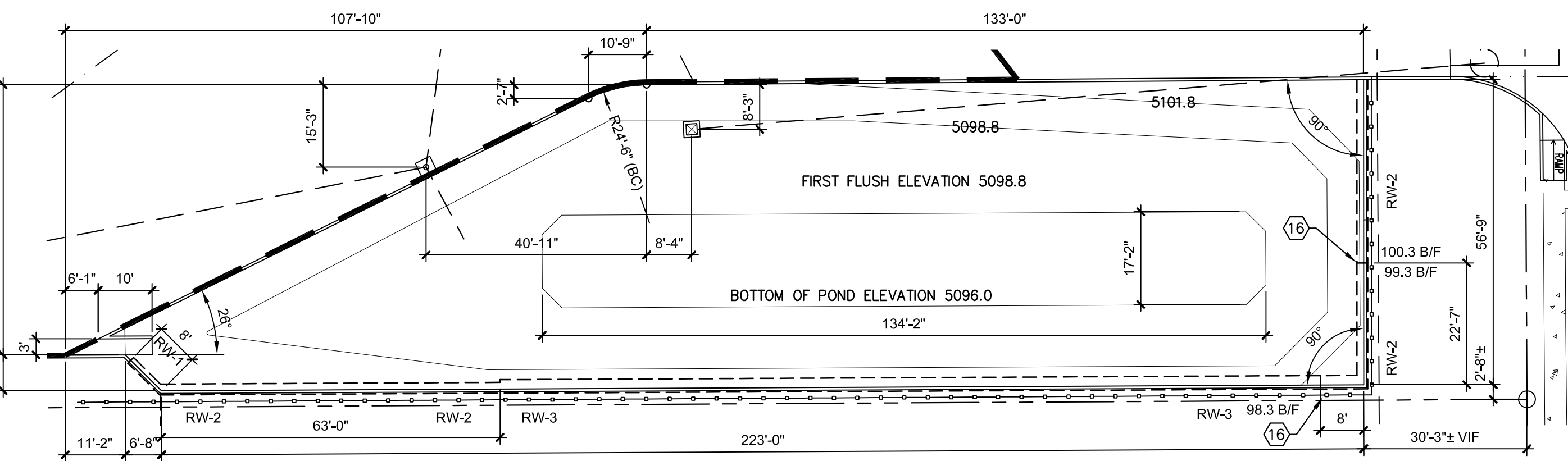
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SECTION B-B  
3/8"=1'-0"

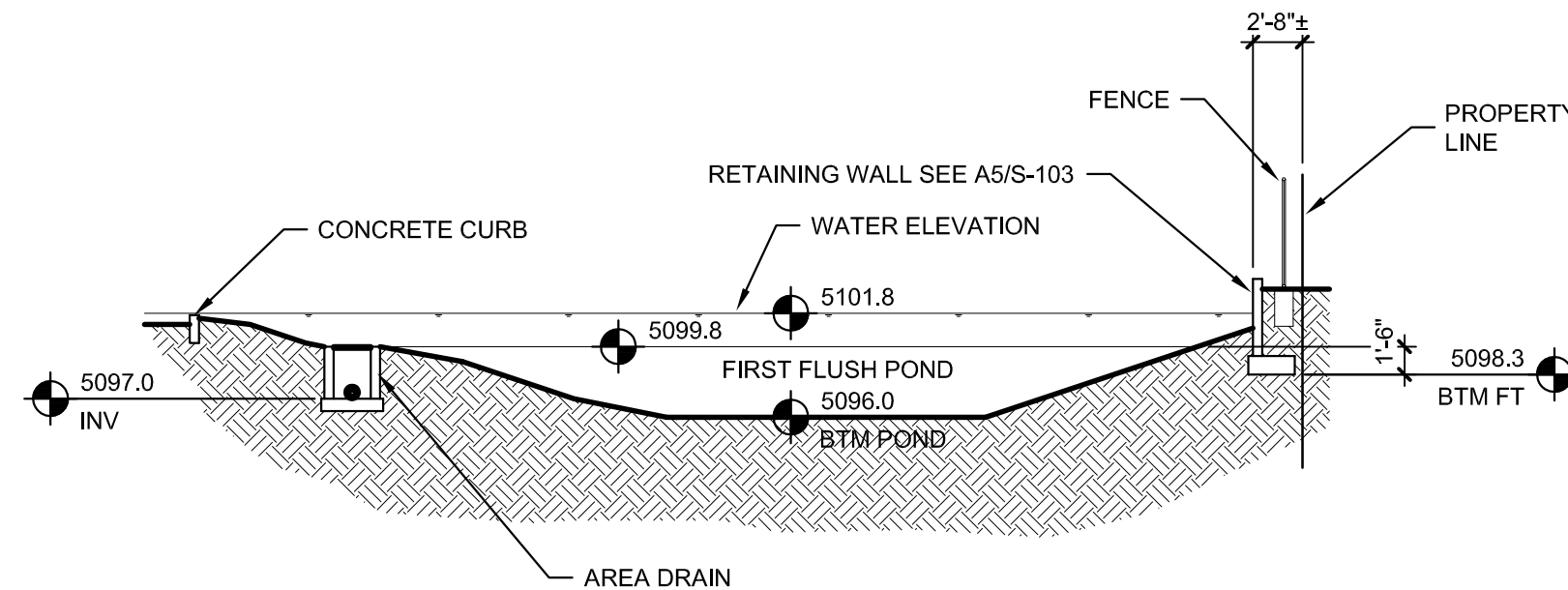
SECTION C-C  
1/4"=1'-0"



NOTE: DIMENSIONS ARE TO BACK OF CURB  
POND LAYOUT PLAN  
1"=20'-0"

DISCHARGE

SITE AREA INCLUDES 10.308 ACRES  
ALLOWABLE DISCHARGE 10.308 (0.11) = 1.134 CFS  
PROPOSED DISCHARGE 1.130 CFS



SECTION A-A  
1"=10'-0"

Benchmark -NAVD 88  
ACS MONUMENT "9-K10" HAVING AN  
ELEVATION OF 5117.72'

Legal Description  
PARCEL C-3  
ATRISCO BUSINESS PARK  
UNIT 2

KEYNOTES

- EXISTING CURB AND CUTTER
- EXISTING SIDEWALK
- NEW 4 FT WIDE CONCRETE SIDEWALK CONSTRUCT PER COA STD DWG 2430
- CONSTRUCT NEW 30 FT WIDE PRIVATE DRIVE ENTRANCE PER COA STD DWG 2426
- EXISTING STORM DRAIN MANHOLE RESET RIM AS NECESSARY PROVIDE NEW COVER VENTED HEAVY DUTY COVER.
- EXISTING MANHOLE RESET RIM AS NECESSARY.
- 3 FT WIDE CURB CUT
- 3 FT WIDE CONCRETE SWALE SEE DETAIL C5/C-501
- 6" CONCRETE VERTICAL CURB
- DROP INLET SEE DETAIL A5/C-501
- AREA DRAIN SEE DETAIL A4/C-501
- CONCRETE RETAINING WALL SEE DETAIL A5/S-103
- CONCRETE RETAINING WALL SEE STRUCTURAL SHEET S-103
- SIDEWALK CULVERT SEE DETAIL B4/C-501
- FUTURE RAMP SEE STRUCTURAL
- STEP FOOTING SEE DETAIL E1/S-103

LEGEND:

- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- EXISTING CONTOUR
- NEW CONTOUR
- SWALE
- VERIFIED ELEVATION
- AS BUILT ELEVATION
- PROPERTY LINE
- FLOW LINE
- GROUND
- INVERT
- TOP OF ASPHALT
- TOP OF CURB
- TOP OF GRATE
- TOP OF CONCRETE SLAB
- TOP OF WALL
- TEMPORARY BENCH MARK
- GRAVEL
- ASPHALT PAVING
- CONCRETE
- POND WATER SURFACE

VINICITY MAP K-10-Z



LEGAL DESCRIPTION:  
PARCEL C-3 ATRISCO  
ADDRESS: 7200 BLUEWATER ROAD NW, ALBUQUERQUE, NM  
SITE AREA: 10.31 ACRES  
BENCH MARK:  
ELEVATION DATUM IS BASED ON NAVD 1988 FROM ACS MONUMENT "9-K10", PUBLISHED  
ELEVATION (FEET) = 5117.72  
FLOOD HAZARD:  
AS SHOWN ON PANEL 35001C0329H (11-4-2016) OF THE FEMA FLOOD INSURANCE  
RATE MAPS, THIS SITE IS NOT WITHIN A DESIGNATED FLOOD HAZARD AREA.  
CONSTRUCTION NOTES  
A. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR  
LOCATION OF EXISTING UTILITIES.  
B. ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN  
ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND  
SPECIFICATIONS.  
C. THE CONTRACTOR SHALL BE INFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL,  
STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.  
D. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS  
AND INFORM THE ARCHITECT/ ENGINEER OF ANY DISCREPANCY BETWEEN THE  
INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.  
E. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT  
SURVEY FOR ENGINEER'S CERTIFICATION AT PROJECT COMPLETION.  
F. THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY  
LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT,  
FLOW LINE, PIPE INVERTS, ETC.), ON THE RECORD SET. THE RECORD SET SHALL BE  
MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND  
ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT,  
THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.  
G. THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA  
PRIOR TO BEGINNING OF CONSTRUCTION.  
H. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN  
(SWPPP) SPECIFIC TO THIS PROJECT.

FACILITY ACCESSIBILITY  
ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117-1998.

WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING  
SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS  
SLOPE NOT STEEPER THAN 1:48.

CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12  
WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJOINING  
GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP OR  
ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMPS TO  
WALKS, GUTTERS OR STREETS SHALL BE AT THE SAME LEVEL. WHERE PEDESTRIANS  
MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH  
SLOPES NOT STEEPER THAN 1:10. WHERE THE TOP OF THE RAMP PARALLEL TO THE  
RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A  
SLOPE NOT STEEPER THAN 1:12.

HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT  
STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING  
SPACES THEY SERVE.

TRAFFIC CONTROL  
THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND  
DEVICES. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND  
ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE  
"MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS",  
LATEST EDITION. PRIOR TO CONSTRUCTION PRIOR TO CONSTRUCTION, THE TRAFFIC  
CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING  
AUTHORITY.

WAREHOUSE SHELL  
FOR BRUNACINI DEVELOPMENT  
7200 BLUEWATER ROAD NW  
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE APRIL 5, 2021

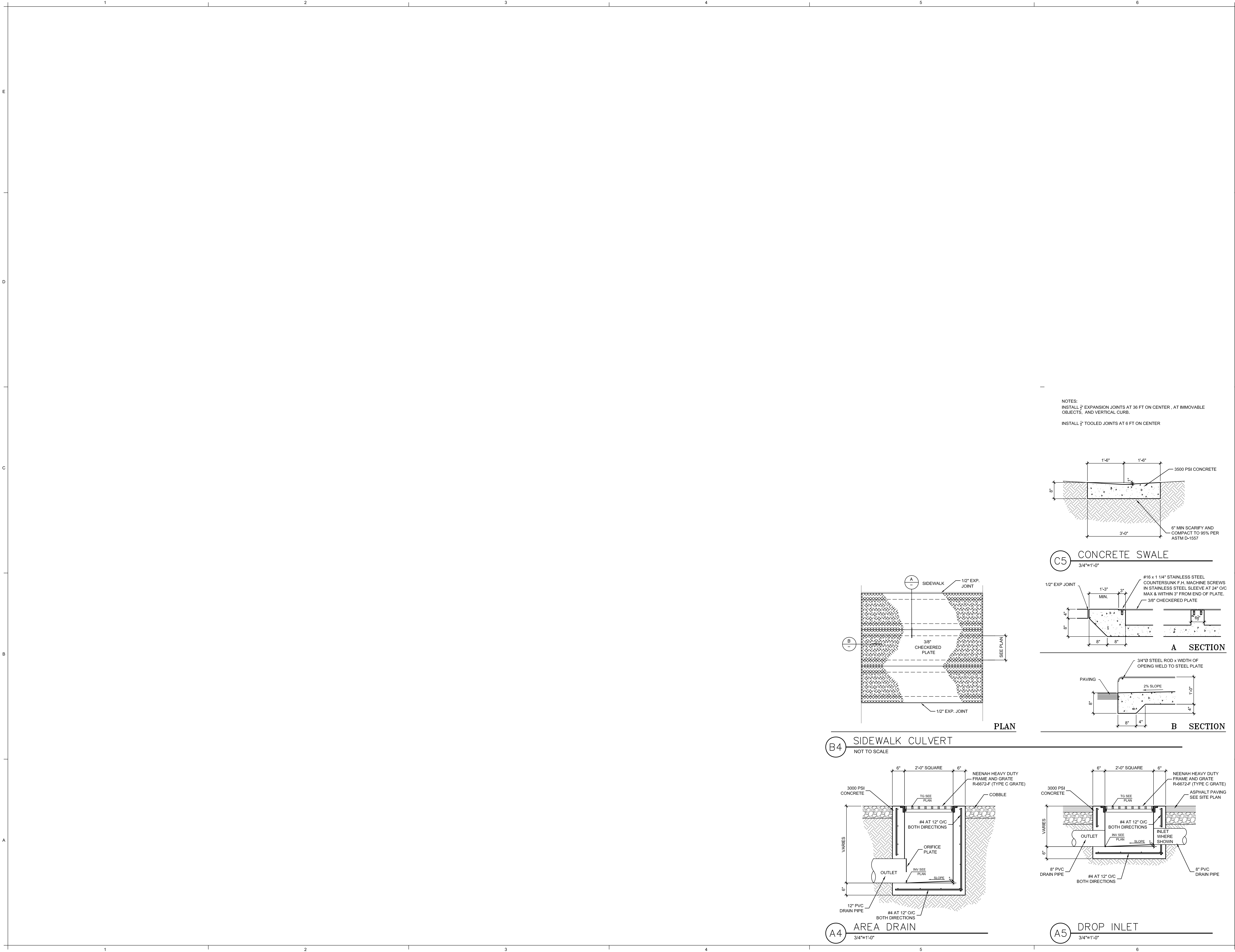
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DRAWING NAME  
GRADING AND DRAINAGE PLAN

SHEET NUMBER

C-101





ARCHITECT SEAL  
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ARCHITECT SEAL  
ENGINEER SEAL  
JOAN ARTHUR BLESSED  
NEW MEXICO  
13481  
REGISTERED PROFESSIONAL ENGINEER  
4-5-21

PROJECT

WAREHOUSE SHELL  
FOR BRUNACINI DEVELOPMENT  
7200 BLUEWATER ROAD NW  
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE APRIL 5, 2021  
SCALE 3/4"=1'-0"  
OR AS NOTED

DRAWING NAME  
CIVIL  
DETAILS

SHEET NUMBER

C-501