

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

October 2, 2020

Ron Bordelon  
Pan American Engineers, LLC  
1717 Jackson St.  
Alexandria, LA 71301

RE: **Murphy Express (Unser)**  
**221 Unser Blvd. SW**  
**Temporary Certificate of Occupancy - Accepted**  
**Grading and Drainage Plan Stamp Date: 3/20/20**  
**Certification Dated: 9/30/20**  
**Drainage File: K10D061**

Dear Mr. Bordelon:

PO Box 1293

Based on the solely on the certification received on 10/1/20, this certification is approved in support of Temporary Release of Occupancy by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3986 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Murphy Express (Unser Blvd) **Building Permit #:** BP-2019-45780 **Hydrology File #:** K10D061  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Tract 11 of Unser Crossings  
**City Address:** 221 Unser Boulevard SW, Albuquerque, NM 87121

**Applicant:** Pan American Engineers, LLC. **Contact:** Ron Bordelon  
**Address:** 1717 Jackson Street Alexandria, Louisiana 71301  
**Phone#:** (318) 473-2100 **Fax#:** (318) 473-2275 **E-mail:** ron@paealex.com  
**Owner:** Murphy Oil USA, Inc. **Contact:** Terry Rigdon  
**Address:** 200 Peach Street El Dorado, Arkansas 717301  
**Phone#:** (870) 866-7457 **Fax#:** N/A **E-mail:** terry.rigdon@murphyusa.com

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE ☒ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

☒ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

\_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

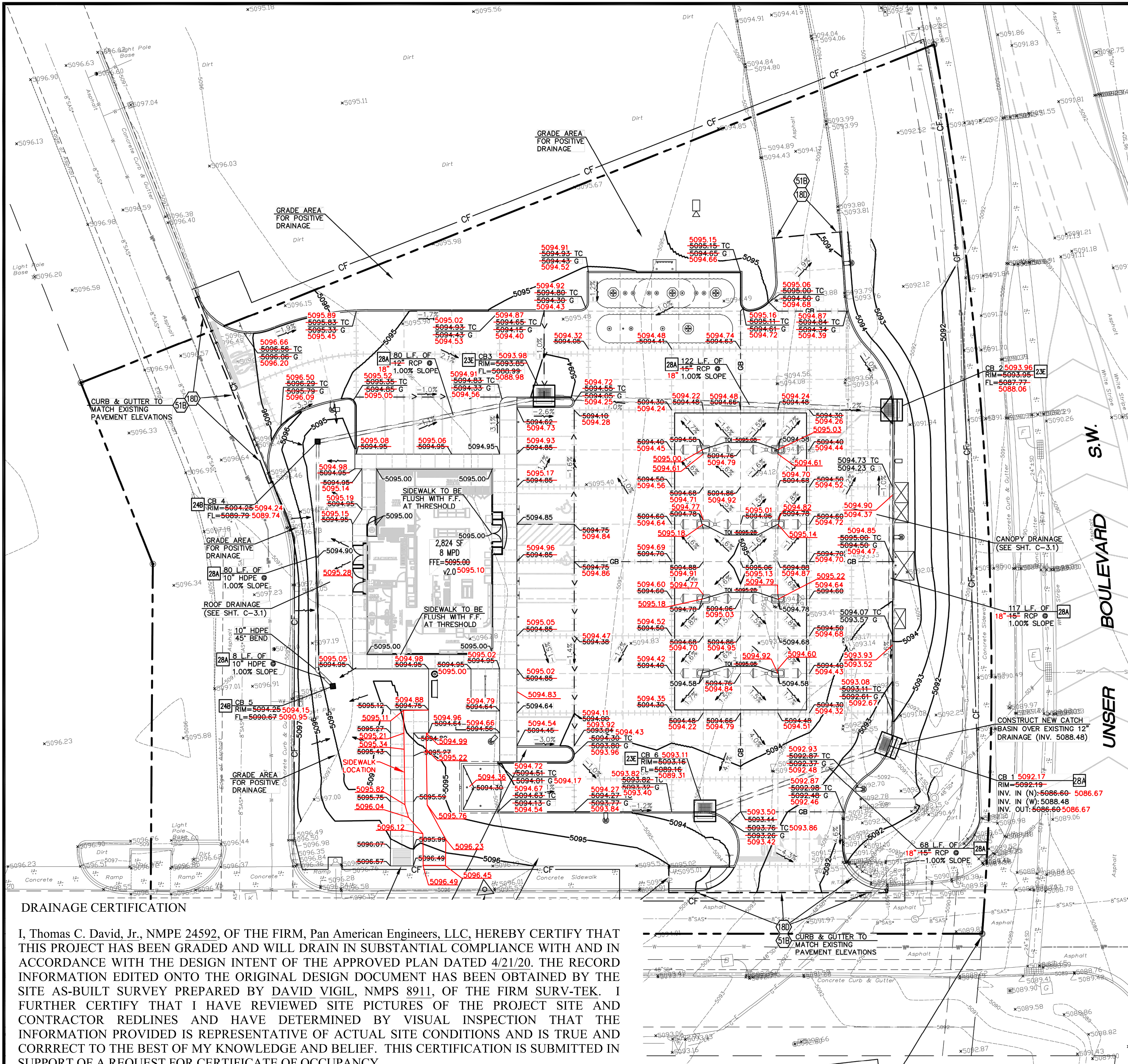
**DATE SUBMITTED:** 9-30-2020 **By:** Ron Bordelon

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





DRAINAGE CERTIFICATION

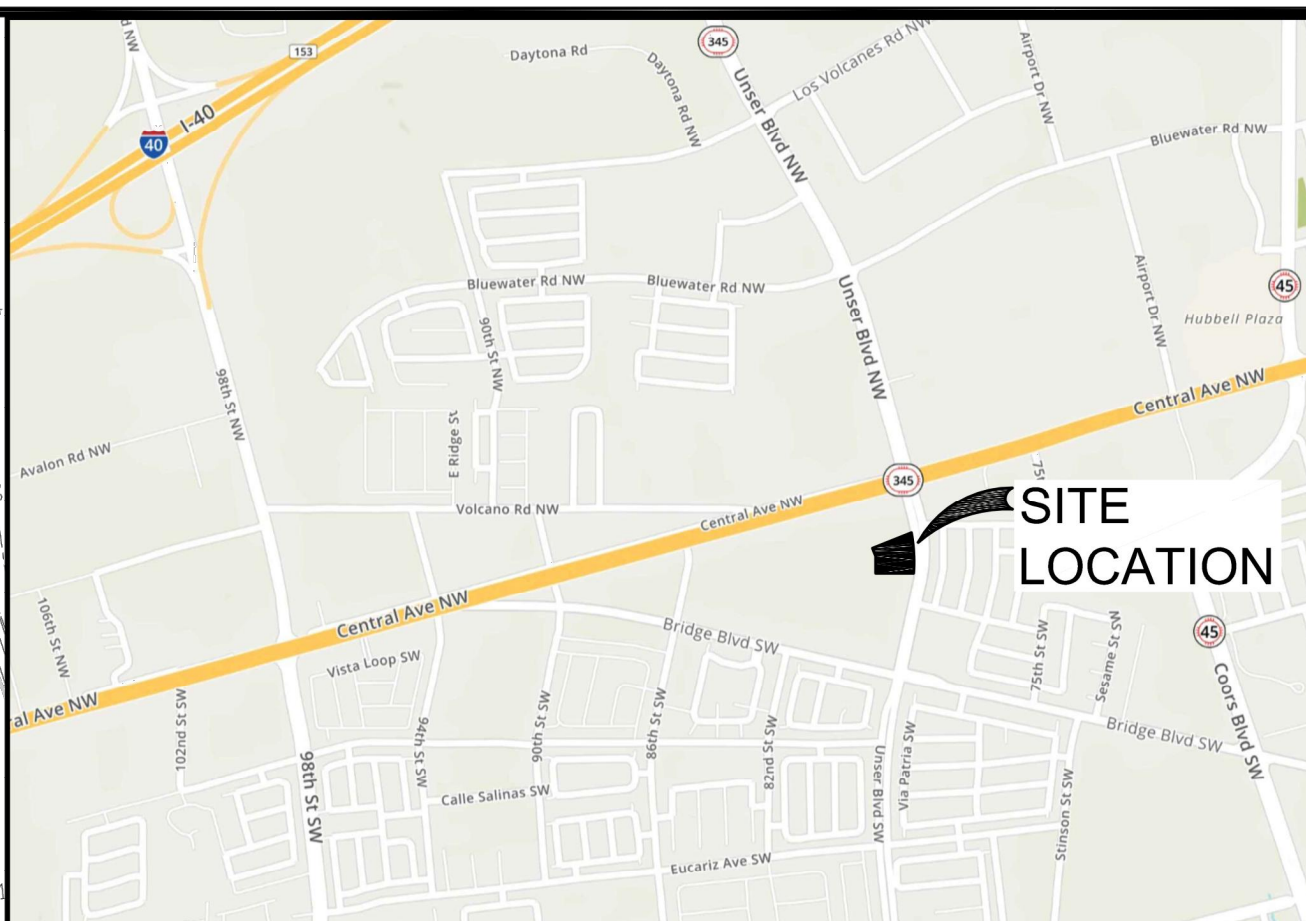
I, Thomas C. David, Jr., NMPE 24592, OF THE FIRM, Pan American Engineers, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4/21/20. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THE SITE AS-BUILT SURVEY PREPARED BY DAVID VIGIL, NMPS 8911, OF THE FIRM SURV-TEK. I FURTHER CERTIFY THAT I HAVE REVIEWED SITE PICTURES OF THE PROJECT SITE AND CONTRACTOR REDLINES AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE INFORMATION PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

DRAINAGE CONDUITS ON-SITE HAVE BEEN UPSIZED FROM 15" TO 18" IN DIAMETER DUE TO LACK OF AVAILABILITY OF SMALLER PIPE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Thomas C. David, Jr.



VICINITY MAP  
N.T.S.

LEGAL DESCRIPTION

As contained the Title Commitment prepared for this property by Fidelity National Title Insurance Company, Commitment No. SP000054593, Commitment Date: February 18, 2019,

Tract numbered Eleven (11), inclusive of Plat of Unser Crossings, (a Replat of Tracts 1-A, 1-B, 2-A, 2-B, 3A, 3-B 4-B, and Tract 6, V. E. Barrett Subdivision and Tracts 4-A-1, 5-B-1, and 5-B-2, Lands of Wefco Partners), Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 18, 2008, in Plat Book 2008C, Page 209, as Doc. No. 2008103544.

Together with a non-exclusive appurtenant easement for access drives and ingress and egress as described in that Easements, Covenants, Conditions and Restrictions, by and between Lowe's Home Centers, Inc., and Armstrong Central Unser Blvd., LLC, and Sandia Plaza Partners, LLC, recorded September 18, 2008, as Doc. No. 2008103534, and recorded September 18, 2008, as Doc. No. 2008103560, records of Bernalillo County, New Mexico.

FLOOD ZONE DETERMINATION

The subject property appears to lie within Areas Determined to be Outside the 0.2% Annual Chance Floodplain (Zone X) as shown on the National Flood Insurance Program Flood Insurance Rate Map Number 35001C0328J, Map revised November 4, 2016, Version Number 2.3.3.2

The Murphy Express site is part of the Unser Crossing Master Drainage Plan by Bohannon Huston Inc. dated October 30, 2008.

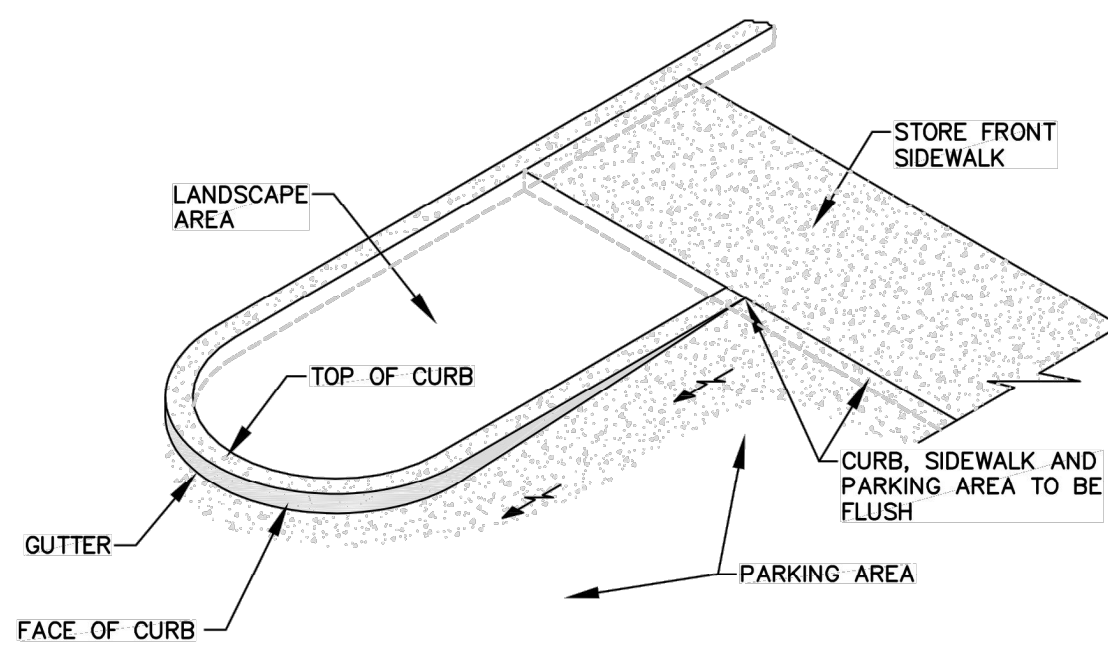
BM  
FOUND PK NAIL WITH BRASS DISK  
ELEVATION=5089.39

BM  
FOUND 60D NAIL WITH ALUMINUM DISK  
ELEVATION=5096.13

ALL CASTINGS SHALL BE COATED  
WITH BLACK ASPHALTIC VARNISH.

SEE SHEET C-3.1 FOR  
BUILDING ROOF DRAINAGE  
AND CANOPY DRAINAGE

MURPHY OIL USA, INC. HAS ELECTED  
TO NOT PROVIDE THE REQUIRED  
"STORMWATER QUALITY VOLUME" OF  
1,069 CUBIC FEET BUT INSTEAD WILL  
PAY THE "PAYMENT IN LIEU" OF \$8,552.



CURB ISLAND AT STORE FRONT  
N.T.S.



0 20' 30' 40'  
SCALE IN FEET

EXISTING	
	Storm Drain Manhole
	Sanitary Sewer Manhole
	Sanitary Sewer Line
	Storm Drain Line
	Storm Drain Inlet
	Underground Electric Line
	Underground Communications Line
	Underground Gas Line
	Underground Water Line
	Sanitary Sewer Clean-out
	Water Meter
	Water Valve
	Hydrant
	Cable Pedestal
	Electric Pedestal
	Utility Vault
	Traffic Box
	Telephone Pedestal
	Utility Box
	Fiber Optic Box
	Light Pole
	Bollard
	Concrete Symbol
	Raised Truncated Dome Mat
	Control Point

PROPOSED	
	BOUNDARY LINE
	GRADE BREAK
	CONTOUR ELEVATIONS
	SPOT ELEVATIONS:
	XX.XX TC = TOP OF CURB
	XX.XX G = GUTTER
	XX.XX TOI = TOP OF ISLAND
	XX.XX = FINISHED GRADE
	DRAINAGE SLOPE AND DIRECTION
	CONSTRUCTION FENCE (SEE DETAIL SHEETS)
	PROPOSED STORM PIPE

GENERAL GRADING NOTES

- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN, OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSING AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND GROUND COVER ESTABLISHED. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE STABILIZE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY CONSTRUCTION NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- REFER TO GEOTECHNICAL REPORT FOR SPECIFIC SITE SOIL CONDITIONS AND CONSIDERATIONS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ANY EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- ALL HDPE PIPE IN SANDY OR HIGHLY EROSION, OR EXPANSIVE SOILS SHALL BE N-12 WT IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "n" DESIGN VALUE OF 0.012. JOINTS SHALL BE WATERTIGHT ACCORDING TO ASTM D3212 (OR AASHTO M252, M294) REQUIREMENTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477, JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 WE IB PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION.
- ALL OTHER HDPE PIPE SHALL BE N-12 ST IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS. 4"-48" SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S OR SP) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "n" DESIGN VALUE OF 0.012. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATIONS FOR ADS N-12 ST IB PIPE FOUND IN THE ADS, INC. HAND BOOK, LATEST EDITION.
- IF USING HDPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND DETENTION/RETENTION SYSTEMS, THE PERFORATION SHALL MEET THE AASHTO CLASS II STANDARD PERFORATION PATTERN REQUIREMENTS.
- ALL STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 TYPE III UNLESS OTHERWISE INDICATED.
- CORRUGATED METAL PIPE, WHERE SPECIFICALLY SPECIFIED ON PLAN, SHALL BE TYPE II OF AASHTO M 36 GALVANIZED WITH TYPE 3 JOINTS.
- CONTRACTOR SHALL ESTABLISH GRADES OF FINISH PAVEMENT TO ENSURE PROPER (POSITIVE) DRAINAGE AND PREVENT PUDDING OF WATER, SPECIALLY IN PEDESTRIAN WALKWAYS. UNPAVED AREAS OF SITE SHALL ALSO BE GRADED FOR POSITIVE DRAINAGE. CONSULT ENGINEER SHOULD THEIR BE CONFLICTS WITH CRITICAL GRADES SHOWN HEREON.

GRADING NOTES

18D MATCH EXISTING PAVEMENT ELEVATIONS  
51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL

GRADING DETAILS

23E COMBINATION INLET  
24B AREA INLET  
28A STORM SEWER TRENCH & BEDDING

SHEET NO.

C-3



9/10/20  
Thomas C. David, Jr.

GRADING PLAN  
MURPHY EXPRESS  
221 UNSER BOULEVARD SW  
ALBUQUERQUE  
NEW MEXICO

PAN AMERICAN ENGINEERS, LLC  
1717 JACKSON STREET  
ALEXANDRIA, LA. 71301  
(504) 473-2100  
CONTACT: RON BORDOLON

MURPHY OIL USA, INC.

200 PEACH STREET  
EL DORADO, AR 71730

