

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 23, 2020

Thomas C. David, Jr., P.E.
Pan American Engineers
1717 Jackson Street
Alexandria, LA 71301

**RE: Murphy Express – Unser Blvd
221 Unser Blvd. SW
Grading and Drainage Plan
Engineer's Stamp Date: 03/20/20
Hydrology File: K10D061**

Dear Mr. David:

Based upon the information provided in your resubmittal received 03/20/2020, the Grading & Drainage Plan is approved for Building Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

Albuquerque

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

The Payment in Lieu payment of \$ **8,552.00** must be paid prior to Permanent Release of Occupancy approval. Please use the attached City of Albuquerque Treasury Deposit form. The Owner needs to bring three copies of this form to the cashier on the Building Permits side of the ground floor and pay the fee. Once paid, please provide Hydrology with one of the copies showing the receipt.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Murphy Express (Unser Blvd) **Building Permit #:** BP-2019-45780 **Hydrology File #:** K10D061
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract 11 of Unser Crossings
City Address: Unser Blvd. SW Albuquerque 87121

Applicant: Pan American Engineers, LLC. **Contact:** Ron Bordelon
Address: 1717 Jackson Street Alexandria, Louisiana 71301
Phone#: (318)473-2100 **Fax#:** (318)473-2275 **E-mail:** ron@paealex.com
Owner: Murphy Oil USA, Inc. **Contact:** Terry Rigdon
Address: 200 Peach Street El Dorado, Arkansas 717301
Phone#: (870)866-7457 **Fax#:** N/A **E-mail:** terry.rigdon@murphyusa.com

TYPE OF SUBMITTAL: _____ PLAT (_____ # OF LOTS) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☒ OTHER (SPECIFY) Hydrology Approval

DATE SUBMITTED: 2-17-2020 **By:** Ron Bordelon

COA STAFF

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

March 19, 2020

City of Albuquerque Planning Department
Plaza Del Sol Building
600 2nd Street, NW
Suite 201
Albuquerque, New Mexico 87102



Attention: Ms. Renée C. Brissette, P.E., CFM

Re: Murphy Express – Unser Blvd
Grading and Drainage Plan
Hydrology File: K10D061
PAE Job No. 11298

Dear Ms. Brissette:

Regarding the referenced project, we are in receipt of your comment letter dated March 6, 2020.

Enclosed herewith are two copies of the revised Sheet C-3, Grading Plan and PAE Check No. 21201 in the amount of \$150 for the standard review fee. This information will/has also been submitted to you electronically via email.

Please see responses below to your comments received by letter dated March 6, 2020.

1. Comment: Please provide all missing information from the Grading Plan Checklist (c, e, & f) Per the DPM Chapter 22 Section 7 – Grading Plan Checklist, the following must be on the Grading Plan. Please add an Engineer's Stamp Date.

- a. Comment: Please provide an engineer's stamp with a signature and date.

Response: See revised Sheet C-3, Grading Plan with corrected stamp.

- b. Comment: Please use 1" = 20' for the scale.

Response: The Grading Plan is at a 1" = 20' scale.

- c. Comment: Please provide a Vicinity Map.

Response: See revised Sheet C-3, Grading Plan with vicinity map.

(Continued)

March 19, 2020

Re: Murphy Express – Unser Blvd
Grading and Drainage Plan
Hydrology File: K10D061
PAE Job No. 11298

Page 2

- d. Comment: Please provide the Benchmark information (location, description and elevation) for the survey contour information provided.

Response: The Grading Plan has BM information shown.

- e. Comment: Please provide the FIRM Map and flood plain note with effective date.

Response: See revised Sheet C-3, Grading Plan with flood zone determination info.

- f. Comment: Please provide a legal Description of the property.

Response: See revised Sheet C-3, Grading Plan with legal description.

2. Comment: It appears that your engineering stamp is incorrect. The NM Board of Licensure for Professional Engineers and Professional Surveyors Administrative Code 16.39.3.12.C. states, "The design of the seal/stamp shall consist of three (3) concentric circles, the outermost circle being one (1) and one-half (1/2) inches in diameter..."

Response: See revised Sheet C-3, Grading Plan with corrected stamp.

3. Comment: Please label Unser Blvd.

Response: See revised Sheet C-3, Grading Plan with Unser Blvd. labeled.

4. Comment: Please see the procedure for 40 acre and smaller basins as outlined in Chapter 22, Part A of the Development Process Manual (DPM). Please provide both the existing conditions and proposed conditions for the 100 year-6 hour storm event. See Attached pdf (this is a draft of the DMP update).

Response: See enclosed drainage calculations.

5. Comment: Please add a statement that this site is part of the User Crossing Master Drainage Plan by BHI dated 10/30/08.

Response: See revised Sheet C-3, Grading Plan with requested statement.

(Continued)

March 19, 2020

Re: Murphy Express – Unser Blvd
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Hydrology File: K10D061
PAE Job No. 11298

Page 3

6. Comment: Please check for the remaining drainage capacity allowed by the MDP. This site is part of Basin 3 (6.23 acs) which had an allowable discharge of 25.3 cfs (12.5 cfs to sheet flow to Unser and 12.8 through the two storm drain stubs). The existing CVS site (2.37 ac) which is also part of Basin 3, is discharging 9.65 cfs in one of the storm stubs. This leaves remaining 3.86 ac (which this project is part of) to have an allowable discharge of 15.65 cfs. If this project exceeds this, then detention will have to be provided.

Response: See enclosed drainage calculations. Proposed discharge of 5.585 cfs is less than the allowable discharge of 15.65 cfs.

7. Comment: Please provide the SWQ volume calculations. If detention is not required, than you can leave the statement of providing the payment-in-lieu. If detention is required, than SWQ volume will be provided in the detention volume.

Response: See enclosed SWQ volume calculations. Please note that required volume and fee have decreased from previous submittal after review of DPM requirements.

8. Comment: Please remove all the smaller increment contour lines. It will make the G&D more readable. One foot contours is fine and since you have spot elevations.

Response: See revised Sheet C-3, Grading Plan with revised contours as requested.

9. Comment: Along both the East & West of the site, it appears that the grades are greater than 3:1 side slope. Please verify that is fine. If they are greater than 3: 1, than a retaining wall may be needed.

Response: See revised Sheet C-3, Grading Plan with revised grading in rear of building. Maximum slope has been revised to not exceed 3:1.

10. Comment: As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of—Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (N01) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabg.gov , 924-3420) 14 days prior to any earth disturbance.

Response: Understood.

(Continued)

March 19, 2020

Re: Murphy Express – Unser Blvd
Grading and Drainage Plan
Hydrology File: K10D061
PAE Job No. 11298

Page 4

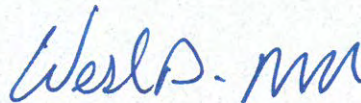
11. Comment: Standard Review fee of \$150 will be required at the time of resubmittal.

Response: Please see enclosed PAE Check No. 21201 in the amount of \$150 for standard review fee.

If you have any questions or require additional information, please feel free to contact our office for assistance.

Yours very truly,

PAN AMERICAN ENGINEERS, LLC



Wesley D. Miller, P.E.

WDM/jlg
Enclosures

**PAN AMERICAN ENGINEERS**

ALEXANDRIA • LOUISIANA
318-473-2100 FAX 318-473-2275

Job No.

11298

Design by:

WPM

Date:

3/18/2020

Checked by:

JED

Page of

1 / 5

Murphy Express - Unser Blvd

PAE 11298

Hydrology File: K100061

Assumptions:

- Zone 1 ✓
- DPM (7/27/2018) § 6-1(A) CONTROLS ✓
- 100 YR - 6 HR event ✓

① EXISTING CONDITIONS:

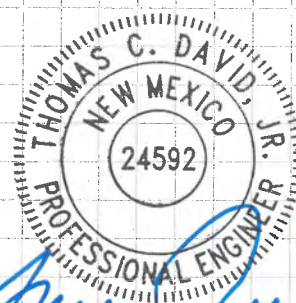
LAND TREATMENT: D = 0.453 Acres
A = 1.277 Acres

$$Q_p = Q_{pA} A_A + Q_{pB} A_B + \dots$$

$$\begin{array}{l} Q_{pA} = 1.54 \text{ cfs/Acre} \\ A_A = 1.277 \text{ Acres} \end{array} \quad \rightarrow \quad Q_{pA} A_A = 1.967 \text{ cfs} \quad \checkmark$$

$$\begin{array}{l} Q_{pD} = 4.12 \text{ cfs/Acre} \\ A_D = 0.453 \text{ Acres} \end{array} \quad \rightarrow \quad Q_{pD} A_D = 1.866 \text{ cfs} \quad \checkmark$$

$$Q_p = 1.967 \text{ cfs} + 1.866 \text{ cfs} = \boxed{3.833 \text{ cfs}} \quad \checkmark$$



Thomas C. David, Jr.
3.23.2020

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Date:

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Page of

2/5

② PROPOSED CONDITIONS:

LAND TREATMENT: D = 1.132 Acres
A = 0.598 Acres

$$Q_p = Q_{pA} A_A + Q_{pD} A_D$$

$$Q_{pA} = 1.54 \text{ cfs/acre}$$
$$A_A = 0.598 \text{ Acres}$$

$$Q_{pA} A_A = 0.921 \text{ cfs}$$

$$Q_{pD} = 4.12 \text{ cfs/acre}$$
$$A_D = 1.132 \text{ acres}$$

$$Q_{pD} A_D = 4.664 \text{ cfs}$$

$$Q_p = 0.921 \text{ cfs} + 4.664 \text{ cfs} = \boxed{5.585 \text{ cfs}}$$

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Job No.

Design by:

Date:

Checked by:

Page of

JCD

3/5

③ ALLOWABLE DISCHARGE V.S. PROPOSED COND. DISCHARGE

ALLOWABLE DISCHARGE = 15.65 cfs (per attached letter from city)

PROPOSED COND. DISCHARGE = 5.585 cfs (see pg. 2 of calcs)

PROPOSED COND. DISCHARGE < ALLOWABLE DISCHARGE
(5.585 cfs) (15.65 cfs)

see



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Design by:

Date:

Checked by:

Page of

4/5

④ Q_p SUMMARY

EXIST. COND $Q_p = 3.833$ CFS

PROP. COND. $Q_p = 5.585$ CFS

ALLOWABLE $Q_p = 15.65$ CFS

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Design by:

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Page of

JCT

5/5

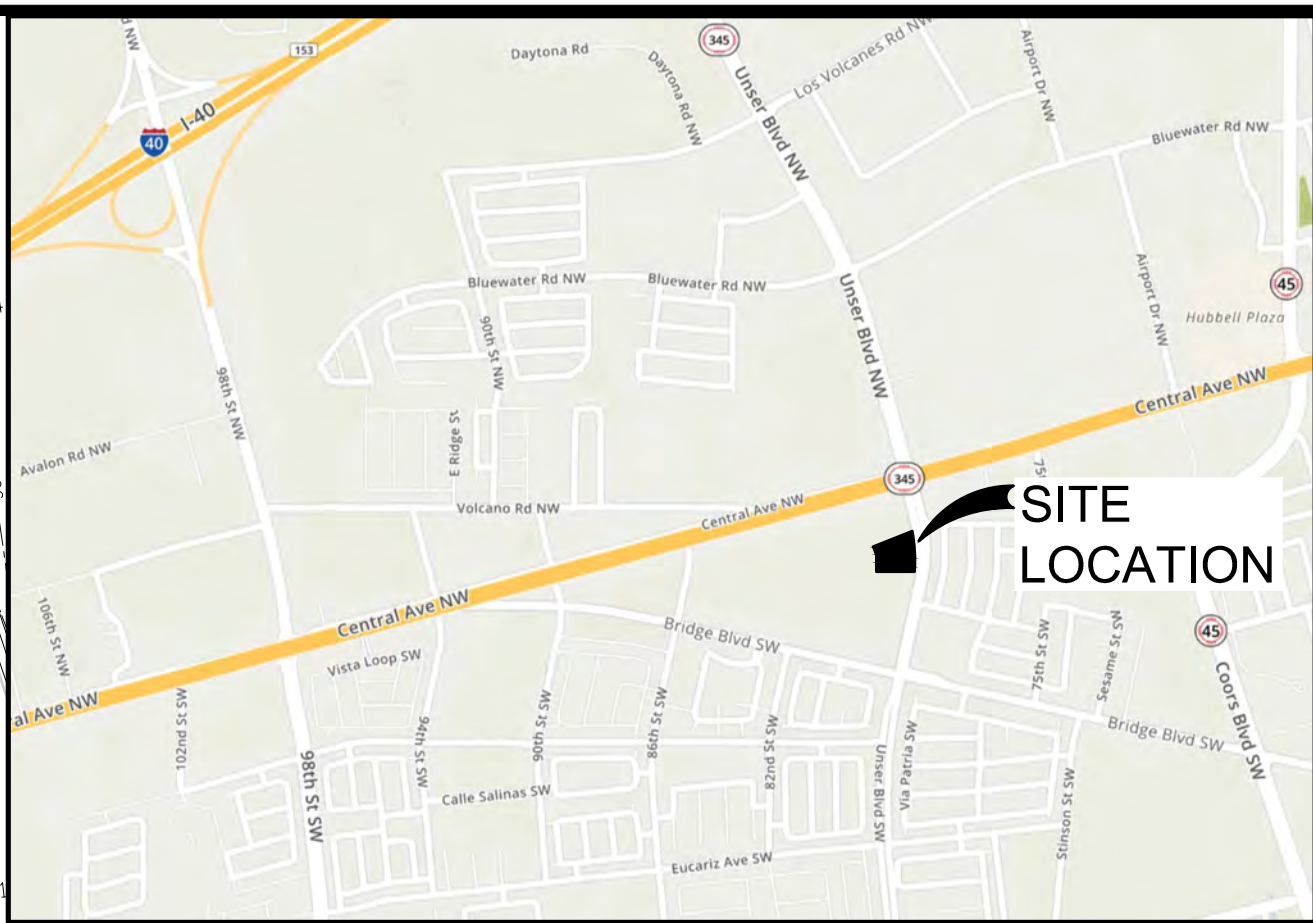
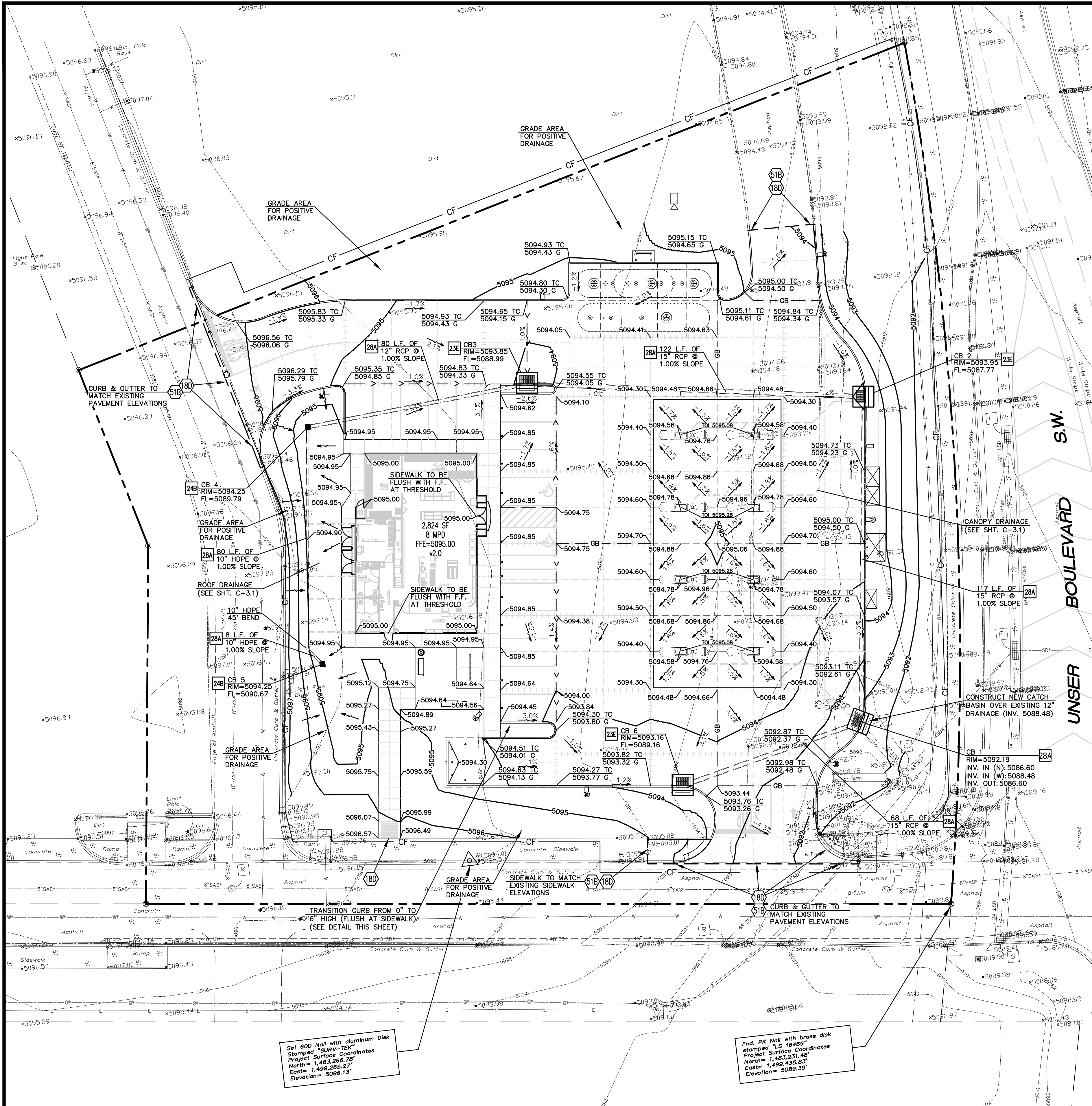
5 SWA VOLUME CALCS.

Req'd SWA Volume = $0.26'' \times \text{IMPERVIOUS AREA OF SITE}$
(Re-Development)
(pg. 259 of DPM)

$$\text{Req'd SWA Volume} = \frac{0.26'}{12} \times 1.132 \text{ ACRES} = 0.0245 \text{ acre-feet}$$
$$= 1,069 \text{ CF}$$

At \$8/CF (PER EARLIER PHONE CALL W. R. BRISSETTE):

$$1,069 \text{ CF} \times \$8/\text{CF} = \$8,552$$



LEGAL DESCRIPTION

As contained the Title Commitment prepared for this property by Fidelity National Title Insurance Company, Commitment No. SP00054593, Commitment Date: February 18, 2019,

Tract numbered Eleven (11), inclusive of Plat of Unser Crossings, (a Replat of Tracts 1-A, 1-B, 2-A, 2-B, 3A, 3-B 4-B, and Tract 6, V. E. Barrett Subdivision and Tracts 4-A-1, 5-B-1, and 5-B-2, Lands of Wefco Partners), Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 18, 2008, in Plat Book 2008C, Page 209, as Doc. No. 2008103544.

Together with a non-exclusive appurtenant easement for access drives and ingress and egress as described in that Easements, Covenants, Conditions and Restrictions, by and between Lowe's Home Centers, Inc., and Armstrong Central Unser Blvd., LLC, and Sandia Plaza Partners, LLC, recorded September 18, 2008, as Doc. No. 2008103534, and recorded September 18, 2008, as Doc. No. 2008103560, records of Bernalillo County, New Mexico.

FLOOD ZONE DETERMINATION

The subject property appears to lie within Areas Determined to be Outside the 0.2% Annual Chance Floodplain (Zone X) as shown on the National Flood Insurance Program Flood Insurance Rate Map Number 35001C0328J, Map revised November 4, 2016, Version Number 2.3.3.2

The Murphy Express site is part of the Unser Crossing Master Drainage Plan by Bohannon Huston Inc. dated October 30, 2008.

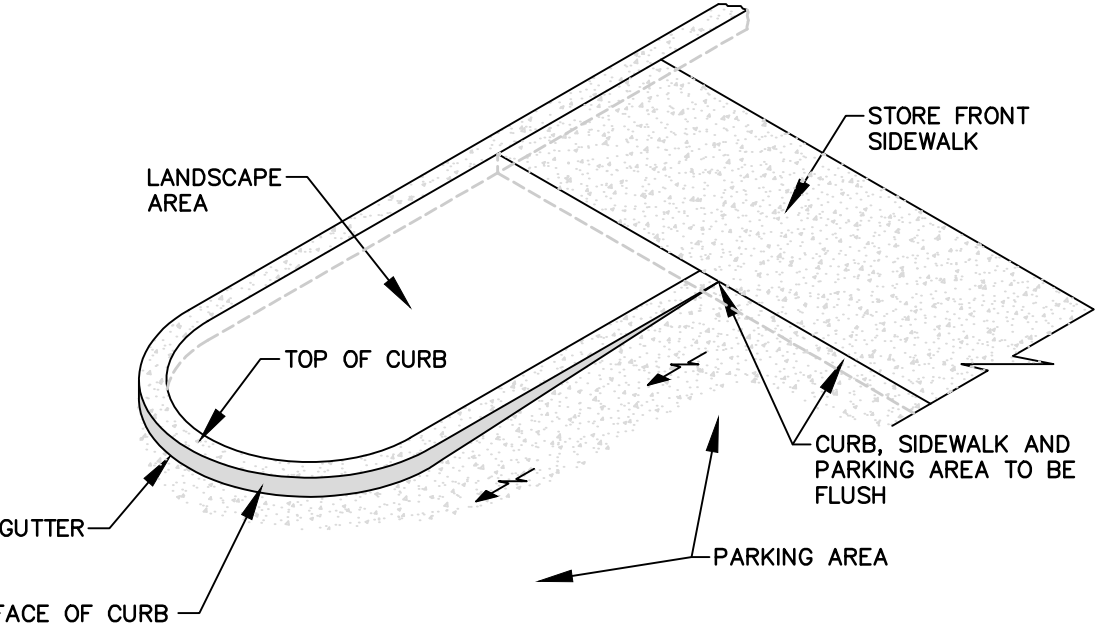
BM
FOUND PK NAIL WITH BRASS DISK
ELEVATION=5089.39

BM
FOUND 60D NAIL WITH ALUMINUM DISK
ELEVATION=5096.13

ALL CASTINGS SHALL BE COATED
WITH BLACK ASPHALTIC VARNISH.

SEE SHEET C-3.1 FOR
BUILDING ROOF DRAINAGE
AND CANOPY DRAINAGE

MURPHY OIL USA, INC. HAS ELECTED
TO NOT PROVIDE THE REQUIRED
"STORMWATER QUALITY VOLUME" OF
1,069 CUBIC FEET BUT INSTEAD WILL
PAY THE "PAYMENT IN LIEU" OF \$8,552.



CURB ISLAND AT STORE FRONT
N.T.S.

EXISTING	
	Storm Drain Manhole
	Sanitary Sewer Manhole
	Sanitary Sewer Line
	Storm Drain Line
	Storm Drain Inlet
	Underground Electric Line
	Underground Communications Line
	Underground Gas Line
	Underground Water Line
	Sanitary Sewer Clean-out
	Water Meter
	Water Valve
	Hydrant
	Cable Pedestal
	Electric Pedestal
	Utility Vault
	Telephone Pedestal
	Utility Box
	Fiber Optic Box
	Light Pole
	Bollard
	Concrete Symbol
	Raised Truncated Dome Mat
	Control Point

PROPOSED	
	BOUNDARY LINE
	GRADE BREAK
	CONTOUR ELEVATIONS
	SPOT ELEVATIONS:
	XX.XX TC = TOP OF CURB
	XX.XX G = GUTTER
	XX.XX TOI = TOP OF ISLAND
	XX.XX = FINISHED GRADE
	DRAINAGE SLOPE AND DIRECTION
	CONSTRUCTION FENCE (SEE DETAIL SHEETS)
	PROPOSED STORM PIPE

GENERAL GRADING NOTES

- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN, OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSING AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND GROUND COVER ESTABLISHED. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE STABILIZED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXIST FIELD LOCATION OF UTILITIES.
- REFER TO GEOTECHNICAL REPORT FOR SPECIFIC SITE SOIL CONDITIONS AND CONSIDERATIONS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- ALL HDPE PIPE IN SANDY OR HIGHLY EROSION, OR EXPANSIVE SOILS SHALL BE N-12 WT IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "n" DESIGN VALUE OF 0.012. JOINTS SHALL BE WATER TIGHT ACCORDING TO ASTM D3212 (OR AASHTO M252, M294) REQUIREMENTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 WT IB PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION.
- ALL OTHER HDPE PIPE SHALL BE N-12 ST IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS. 4"-48" SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S OR SP) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "n" DESIGN VALUE OF 0.012. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATIONS FOR ADS N-12 ST IB PIPE FOUND IN THE ADS, INC. HAND BOOK, LATEST EDITION.
- IF USING HDPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND DETENTION/RETENTION SYSTEMS, THE PERFORATION SHALL MEET THE AASHTO CLASS II STANDARD PERFORATION PATTERN REQUIREMENTS.
- ALL STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 TYPE III UNLESS OTHERWISE INDICATED.
- CORRUGATED METAL PIPE, WHERE SPECIFICALLY SPECIFIED ON PLAN, SHALL BE TYPE II OF AASHTO M 36 GALVANIZED WITH TYPE 3 JOINTS.
- CONTRACTOR SHALL ESTABLISH GRADES OF FINISH PAVEMENT TO ENSURE PROPER (POSITIVE) DRAINAGE AND PREVENT PUDDLING OF WATER, SPECIALLY IN PEDESTRIAN WALKWAYS UNPAVED AREAS OF SITE SHALL ALSO BE GRADED FOR POSITIVE DRAINAGE. CONSULT ENGINEER SHOULD THEIR BE CONFLICTS WITH CRITICAL GRADES SHOWN HEREON.

GRADING NOTES	
	18D MATCH EXISTING PAVEMENT ELEVATIONS
	51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL
GRADING DETAILS	
	23E COMBINATION INLET
	24B AREA INLET
	28A STORM SEWER TRENCH & BEDDING

SHEET NO.

C-3



9/10/20
Thomas C. David, Jr.

GRADING PLAN
MURPHY EXPRESS
221 UNSER BOULEVARD SW
ALBUQUERQUE
NEW MEXICO

PAN AMERICAN ENGINEERS, LLC
1717 JACKSON STREET
ALEXANDRIA, LA. 71301
(504) 478-2100
CONTACT: RON BORDOLINO



MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730

