

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 1, 2023

Ryan Morrissey, P.E.
Burkhardt Engineering
28 North Cherry St.
Germantown, OH, 45327

**RE: Champion Xpress Car Wash
211 Unser Blvd. SW
Grading and Drainage Plan
Engineer's Stamp Date: 2/23/2023
Hydrology File: K10D064**

Dear Mr. Morrissey:

Based upon the information provided in your submittal received 2/24/2023, the Grading & Drainage Plan is approved for Building Permit approval. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for \$25 made out to "Bernalillo County" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review. Once the review is done, Hydrology will send back an email stating our approval/comments.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services

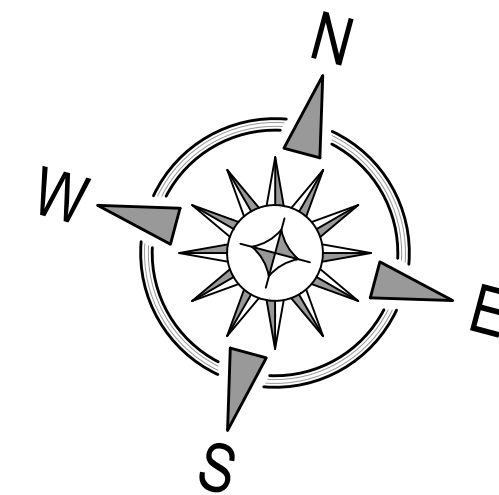
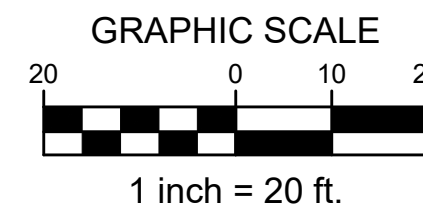
UNDEVELOPED
TRACT 8 UNSER CROSSING

DEFINED FITNESS MESA CLUB
TRACT 7 UNSER CROSSINGS



VERTICAL & HORIZONTAL CONTROL:	
CP 1:	Description: CP-Chiseled "X" Elevation: 5096.48
CP 2:	Description: CP-Chiseled "X" Elevation: 5095.06
CP 3:	Description: CP-Chiseled "X" Elevation: 5097.13

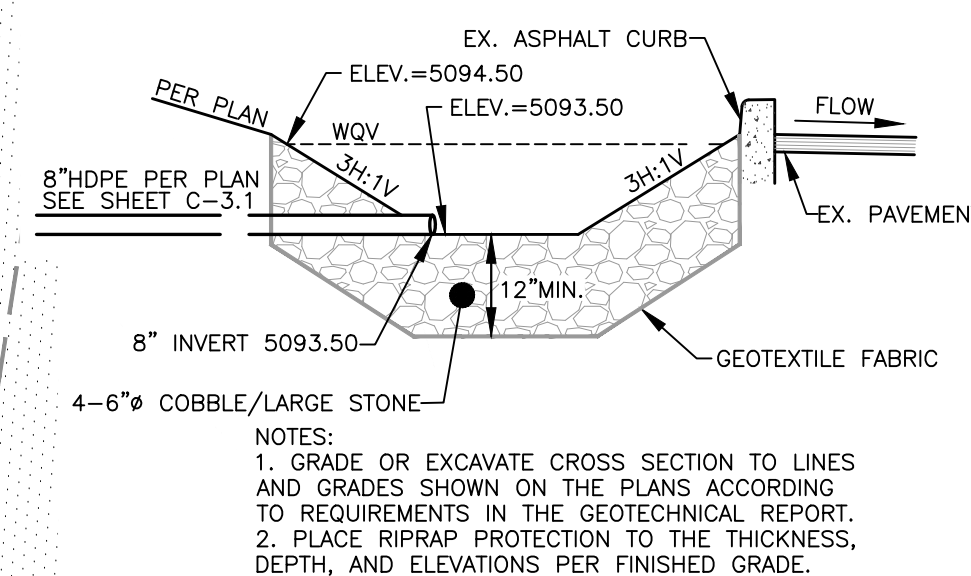
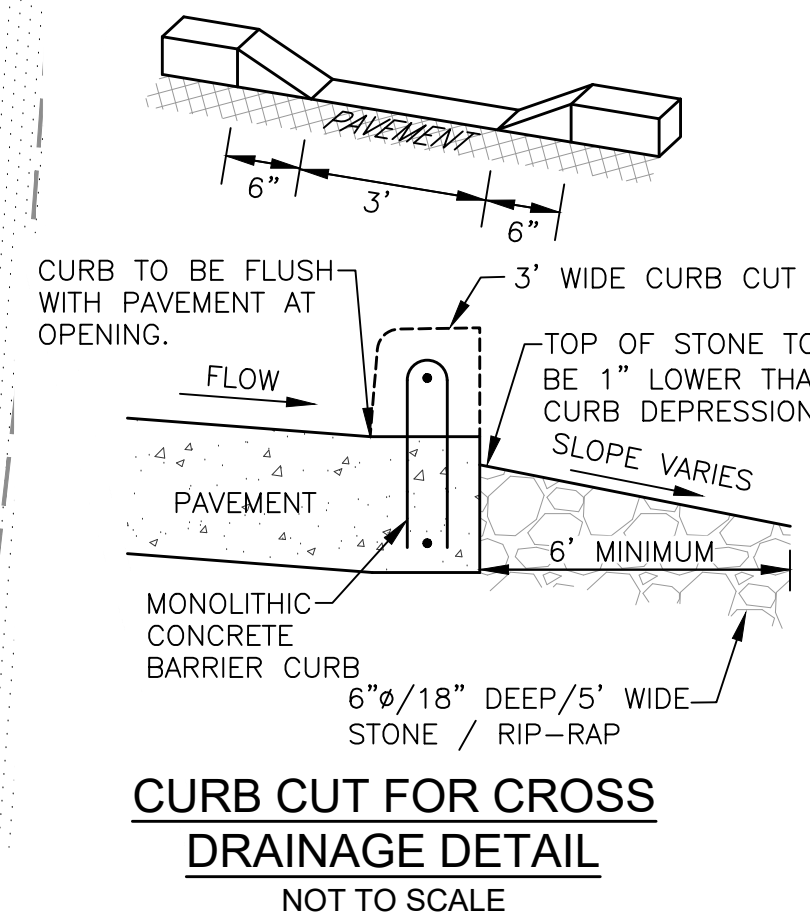
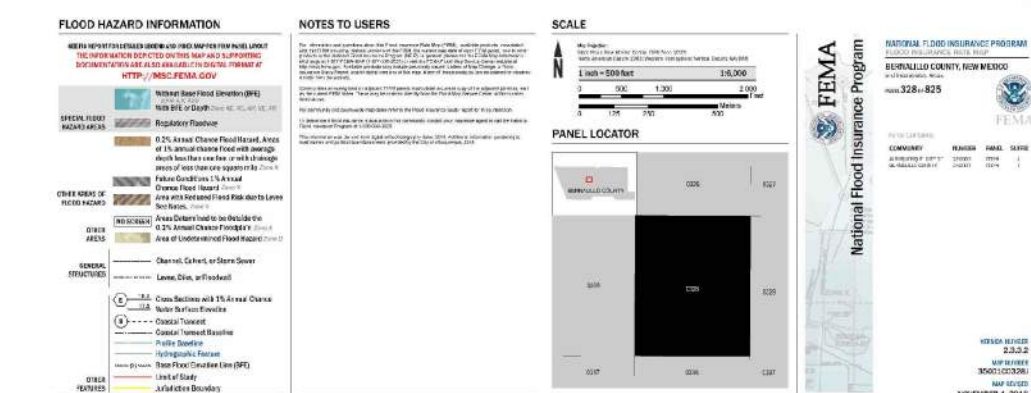
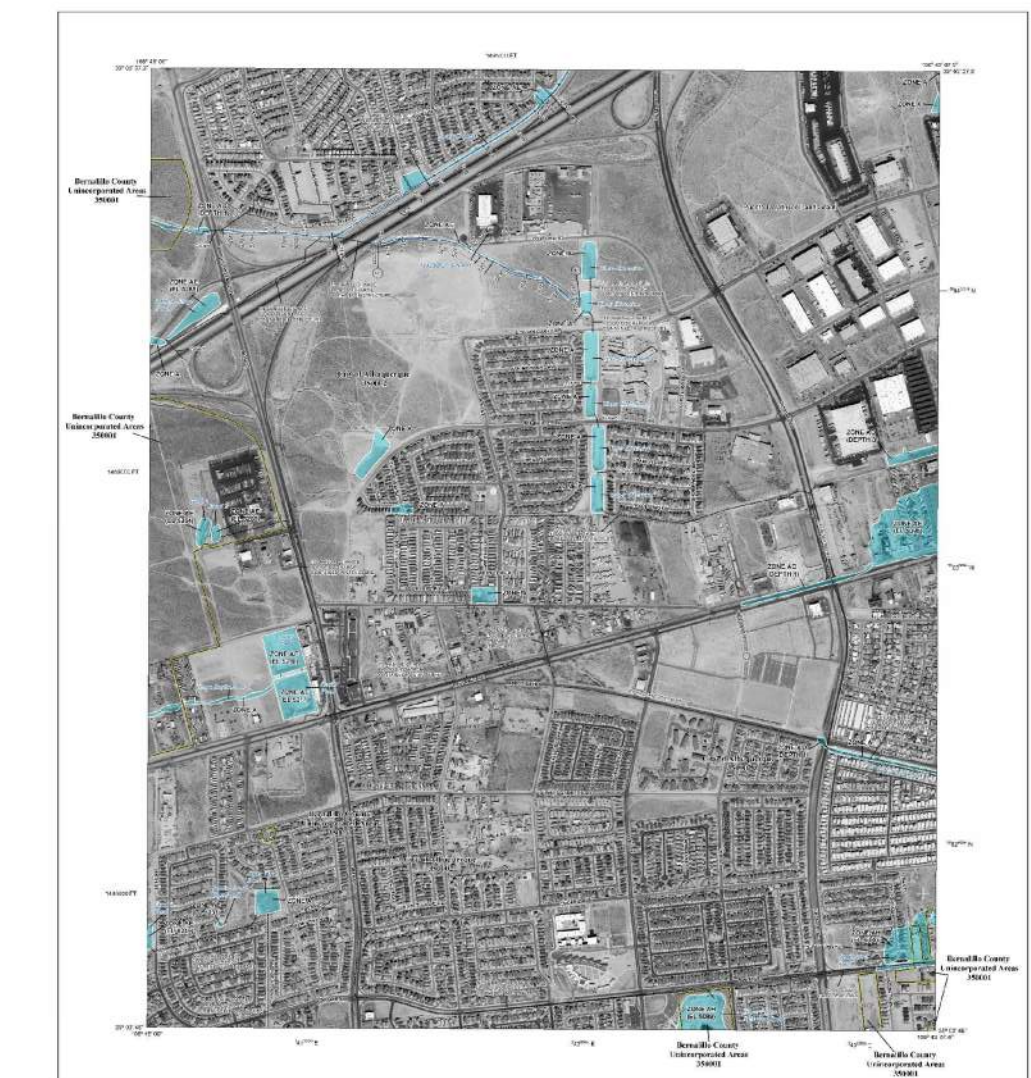
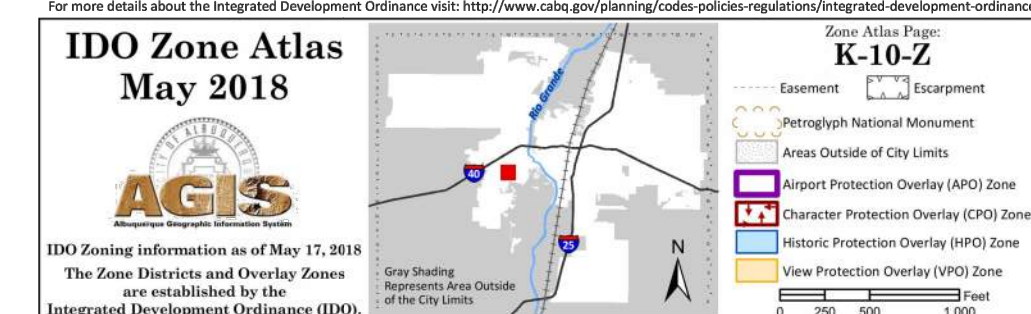
TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY MAINS IN THE CONSTRUCTION AREA WHICH MAY NOT HAVE BEEN LOCATED ACCURATELY BY THE SURVEYOR / UTILITY OWNERS. NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.



SEE GRADING & DRAINAGE NOTES
& DETAILS, SHEET C-3.1 FOR
ADDITIONAL INFORMATION, FLOW
CALCULATIONS, GENERAL NOTES,
DETAILS AND CROSS SECTIONS.

PROJECT SUMMARY
Project will include the demolition and removal of existing structures, vegetation, pavement, etc. as necessary to construct a new Champion Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the site.

PROPERTY INFORMATION
Address: 211 Unser Blvd SW Albuquerque, NM 87121
Legal Description: Tract 10, Unser Crossing
Area: 1.86 acres
Zoning: MX-M
Flood Zone Designation: FIRM # 35001C0328J, effective date: November 4, 2016
Zone "X": Areas determined to be outside the 0.2% annual chance Floodplain.



DETENTION BASIN TYPICAL SECTION
NOT TO SCALE

UTILITY CONTACT INFORMATION:

WATER / SANITARY SEWER
Albuquerque Bernalillo County
Water Utility Authority
Contact: Robert Strong
Telephone: 505.261.4429
Email: rstrong@abcwua.org

ELECTRIC
Public Service Company of New Mexico
Contact: Chase LeJeune
Telephone: 505-246-5700
Email: Chase.LeJeune2@pnm.com

GAS
New Mexico Gas
Century Link
Contact: Mario Molina
Telephone: 505-697-3120
Email: Mario.Molina@nmgco.com

SOLID WASTE
City of Albuquerque - Code Enforcement
Contact: Herman Gallegos
Telephone: 505.761.8125
Email: hgallegos@cabq.gov

FIRE 1
City of Albuquerque - Fire Marshal's Office
Contact: Bob Nevarez
Telephone: 505.924.3614
Email: mevarez@cabq.gov

GRADING & DRAINAGE
City of Albuquerque - Planning Hydrology Department
Contact: Renee Brissette
Telephone: 505.924.3995
Email: rbrissett@cabq.gov

ROADS, ACCESS, & RIGHT-OF-WAY
City of Albuquerque - Planning Department
Contact: Marwa Al Najjar
Telephone: 505.924.3675
Email: malnajjar@cabq.gov

PERMITTING CONTACT INFORMATION:

PLANNING / ZONING / BUILDING
City of Albuquerque - Planning Department
Contact: Darlene Sandoval
Telephone: 505.924.3347
Email: dsandoval@cabq.gov

PLANNING AND ZONING REQUIREMENTS:
Reference: City of Albuquerque Integrated Development Code
Zone: MX-M: Mixed-Use Medium Intensity Zone
Proposed Use: Car Wash



Know what's below.
Call before you dig.



Date	02/23/23
Description	Rev 1 - Revised per City Comments
Item	1

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
211 UNSER BLVD SW
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM Proj: 22.146
Draw: RMM Dwg: 22-146.dwg
Check: RJM Tab: C3.0-GP

Scale: 1" = 20'
Date: 01.16.2023

Sheet: GRADING & DRAINAGE PLAN

Sheet No.: C-3.0

UNDEVELOPED
TRACT 8 UNSER CROSSING

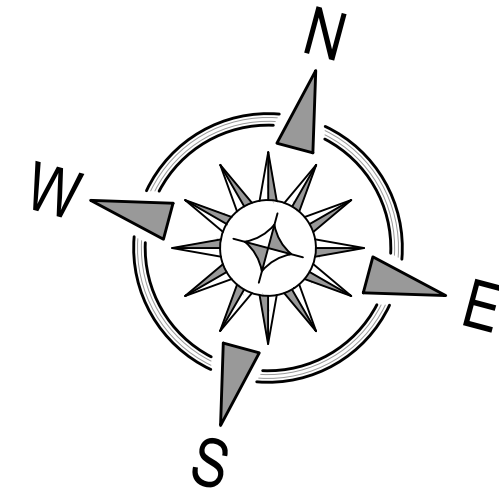
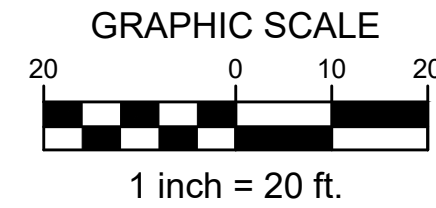
DEFINED FITNESS MESA CLUB
TRACT 7 UNSER CROSSINGS

TOTAL DISTURBED AREA
1.16 ± acres

VERTICAL & HORIZONTAL CONTROL:

- CP 1: Description: CP-Chiseled "X"
Elevation: 5096.48
- CP 2: Description: CP-Chiseled "X"
Elevation: 5095.06
- CP 3: Description: CP-Chiseled "X"
Elevation: 5097.13

TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY MAINS IN THE CONSTRUCTION AREA WHICH
MAY NOT HAVE BEEN LOCATED ACCURATELY BY THE SURVEYOR / UTILITY OWNERS.
NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.



STORM WATER MANAGEMENT NOTES:

Existing Lot Coverage - 18% impervious / 82% pervious
Proposed Lot Coverage - 60% impervious / 40% pervious

Methodology:

Albuquerque Development Process Manual

Chapter 6, Section 2, Part A;

"A simplified procedure for projects with sub-basins smaller than 40 acres
has been developed based on initial abstraction / uniform infiltration
precipitation losses and Rational Method procedures."

The proposed Car Wash site is governed by a master drainage plan described
within "Final Design Report, Amole Del Norte Storm Diversion Facilities Tierra
Bayita Phase III" Dated March 1998. A 50 acre portion of this area was further
subdivided within the "Unser Crossing Drainage Management Plan" dated
October 2008. The Unser Crossing plan established 13 basins with the Car
Wash site and the two adjacent developments, CVS to the North and Murphy
Express to the South, occupying Basin 3. Basin 3 was determined to have an
allowable Q_{100} of 25.30cfs once fully developed.
Per the Grading and Drainage Plan developed for the CVS, the northern
development has a Q_{100} of 9.64cfs.
Per the Grading and Drainage Plan developed for the Murphy Express, the
southern development has a Q_{100} of 5.59cfs.

The proposed infiltration basin is intended to provide the required Storm Water
Quality Volume for the site. Volumes in excess of the SWQV will flow across
and through the site similar to the existing conditions. A majority of the storm
water will flow East across the site into the Unser Boulevard S.W. Right of Way.
A portion of the storm water will flow South within the Western shared drive and
then East where it will also enter the Unser Boulevard S.W. Right of Way. The
 Q_{100} of the Car Wash development and the shared drives within the lot will be
6.62cfs. After the Carwash is developed the Q_{100} for Basin 3 will be 21.85cfs
which is less than the allowable 25.30cfs described in the Master Drainage Plan.

Precipitation Zone:

Precipitation Zone 1: "West of the Rio Grande"

Drainage Summary:

Area = 0.885 acres (Area Requiring SWQV)
Treatment C (Desert Landscaping Area) - 24% = 0.21 acres
Treatment D (Impervious Area) - 76% = 0.68 acres
100-year peak Discharge Rate = 3.83 cfs/acre (Table 6.2.14)

Area = 0.916 acres (Existing Shared Drives)
Treatment C (Desert Landscaping Area) - 65% = 0.64 acres
Treatment D (Impervious Area) - 35% = 0.35 acres
100-year peak Discharge Rate = 3.31 cfs/acre (Table 6.2.14)

Q_{100} = 6.75cfs (Total Proposed)

Unser Crossing Basin 3 Summary Table:

Q_{100} CVS Pharmacy	9.64 cfs
Q_{100} Murphy Express	5.59 cfs
Q_{100} Shared Drives on Car Wash Lot	3.23 cfs
Q_{100} Proposed Car Wash	3.39 cfs

Q_{100} Total	21.85 cfs
Q_{100} Allowable	25.30 cfs

No adverse effects to neighboring properties or public right-of-way
is anticipated due to site development.

GRADING LEGEND

M/E	MATCH EXISTING PAVEMENT GRADE
E/P	EDGE-OF-PAVEMENT (NO CURB)
S/P	SIDEWALK PAVEMENT
T/C	TOP-OF-CURB
C/P	CONCRETE PAVEMENT
G/T	GUTTER FLOW LINE
F/F	FINISHED FLOOR GRADE
T/G	CONVEYOR TRENCH GRATE ELEVATION
F/L	FLOW LINE OF 3' CURB CUT
←	SHEET FLOW
↔	GUTTER FLOW
+00.00	PROP. SPOT ELEVATION
-0000-	PROP. CONTOUR
[Pattern]	LANDSCAPE AREA
[Pattern]	ROCK LINER / RIP-RAP

UTILITY CONTACT INFORMATION:

WATER / SANITARY SEWER
Albuquerque Bernalillo County
Water Utility Authority
Contact: Robert Strong
Telephone: 505.261.4429
Email: rstrong@abcwua.org

ELECTRIC
Public Service Company of
New Mexico
Contact: Chase LeJeune
Telephone: 505.246-5700
Email: Chase.LeJeune2@pnm.com

GAS
New Mexico Gas
Contact: Mario Molina
Telephone: 505-697-3120
Email: Mario.Molina@nmgco.com

TELECOM
Century Link
Contact: Customer Service
Telephone: 877-720-3428

SOLID WASTE
City of Albuquerque - Code Enforcement
Contact: Herman Gallegos
Telephone: 505.761.8125
Email: hgallegos@cabq.gov

FIRE 1
City of Albuquerque - Fire
Marshal's Office
Contact: Bob Nevarez
Telephone: 505.924.3614
Email: mnevarez@cabq.gov

GRADING & DRAINAGE
City of Albuquerque - Planning
Hydrology Department
Contact: Renee Brissette
Telephone: 505.924.3995
Email: rbrissett@cabq.gov

ROADS, ACCESS, & RIGHT-OF-WAY
City of Albuquerque - Traffic Department
Contact: Marwa Al Najjar
Telephone: 505.924.3347
Email: malnajjar@cabq.gov

PLANNING / ZONING / BUILDING
City of Albuquerque - Planning Department
Contact: Darlene Sandoval
Telephone: 505.924.3347
Email: dsandoval@cabq.gov

PLANNING AND ZONING REQUIREMENTS:
Reference: City of Albuquerque Integrated Development Code
Zone: MX-M: Mixed-Use Medium Intensity Zone
Proposed Use: Car Wash



Date	02/23/23
Description	Rev 1 - Revised per City Comments
Item	1

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
211 UNSER BLVD SW
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM	Proj: 22.146
Draw: RMM	Dwg: 22-146.dwg
Check: RJM	Tab: C3.1-GD

Scale: 1" = 20'
Date: 01.16.2023

Sheet: GRADING & DRAINAGE DETAILS

Sheet No.: C-3.1