### CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

January 26, 2023

Ryan Joseph Morrissey, P.E. Burkhardt Engineering Surveyors 28 North Cherry St. Germantown, Ohio 45327

Re: Champion Xpress 211 Unser Blvd. SW Traffic Circulation Layout

Engineer's Stamp 01-11-23 (K10-D064)

Dear Mr. Morrissey,

The TCL submittal received 12-23-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed <u>Drainage and Transportation Information Sheet</u> to the <u>PLNDRS@cabq.gov</u> for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

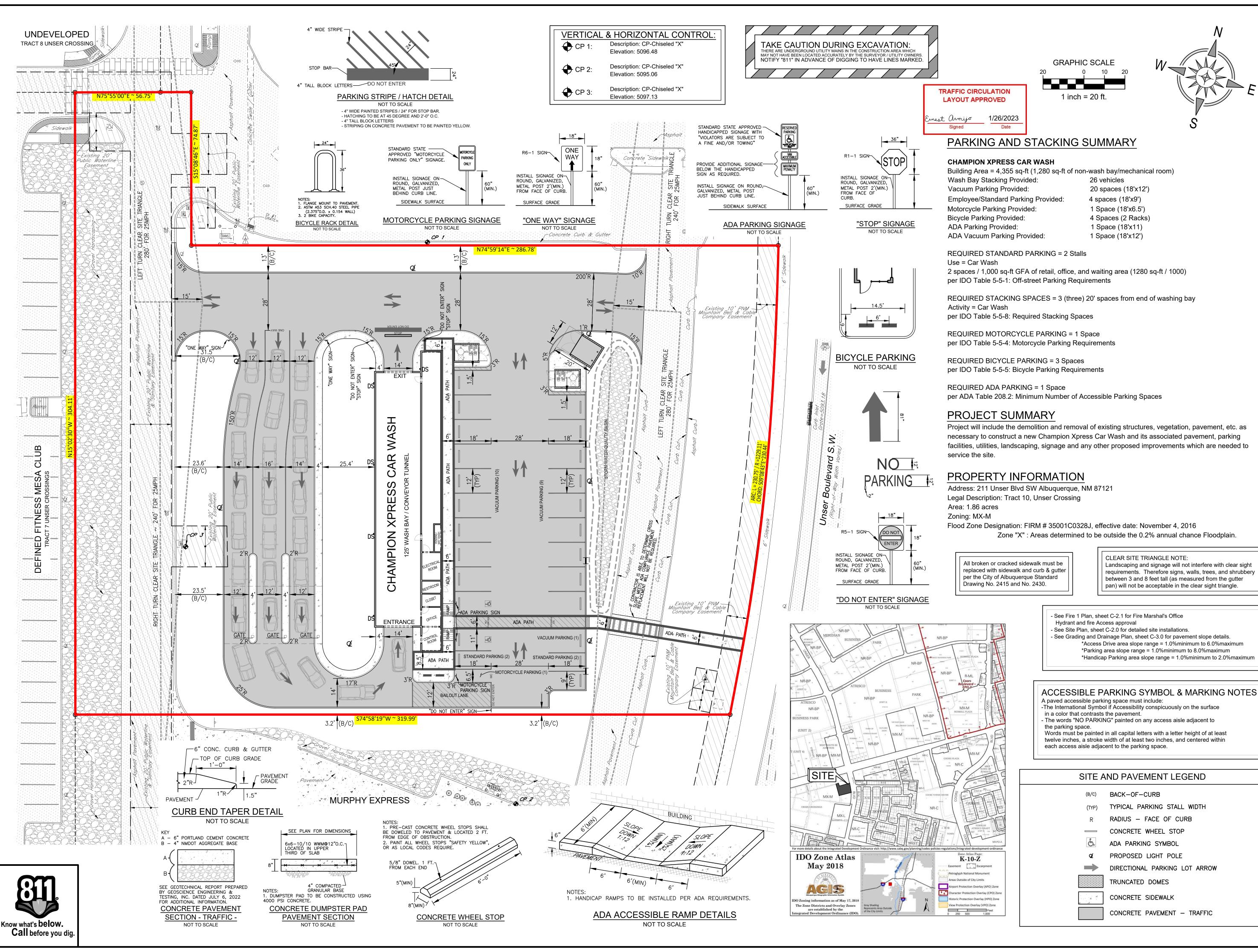
Sincerely,

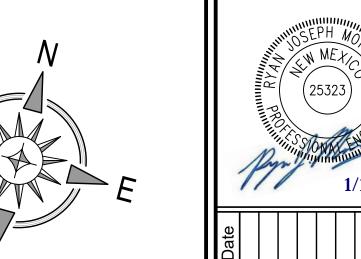
Ernest Armijo, P.E.

Principal Engineer, Planning Dept. Development Review Services

Development Review Services

C: CO Clerk, File





Building Area = 4,355 sq-ft (1,280 sq-ft of non-wash bay/mechanical room)

26 vehicles 20 spaces (18'x12') 4 spaces (18'x9') 1 Space (18'x6.5') 4 Spaces (2 Racks)

1 Space (18'x11) 1 Space (18'x12')

2 spaces / 1,000 sq-ft GFA of retail, office, and waiting area (1280 sq-ft / 1000)

REQUIRED STACKING SPACES = 3 (three) 20' spaces from end of washing bay

per ADA Table 208.2: Minimum Number of Accessible Parking Spaces

Project will include the demolition and removal of existing structures, vegetation, pavement, etc. as necessary to construct a new Champion Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to

Zone "X": Areas determined to be outside the 0.2% annual chance Floodplain.

**CLEAR SITE TRIANGLE NOTE:** Landscaping and signage will not interfere with clear sight requirements. Therefore signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.

- See Fire 1 Plan, sheet C-2.1 for Fire Marshal's Office Hydrant and fire Access approval See Site Plan, sheet C-2.0 for detailed site installations. - See Grading and Drainage Plan, sheet C-3.0 for pavement slope details. \*Access Drive area slope range = 1.0%minimum to 6.0%maximum

# ACCESSIBLE PARKING SYMBOL & MARKING NOTES

A paved accessible parking space must include:
-The International Symbol if Accessibility conspicuously on the surface in a color that contrasts the pavement. The words "NO PARKING" painted on any access aisle adjacent to

Words must be painted in all capital letters with a letter height of at least twelve inches, a stroke width of at least two inches, and centered within

## SITE AND PAVEMENT LEGEND

(B/C) BACK-OF-CURB

TYPICAL PARKING STALL WIDTH

RADIUS - FACE OF CURB

CONCRETE WHEEL STOP

ADA PARKING SYMBOL

PROPOSED LIGHT POLE

TRUNCATED DOMES

CONCRETE SIDEWALK

CONCRETE PAVEMENT - TRAFFIC

Design: RJM Proj: 22.146

Check: RJM Tab: C2.2-TP

Scale: 1" = 20'

Draw: RMM Dwg: 22-146.dwg

01.11.2023

TRAFFIC

CIRCULATION

LAYOUT PLAN