

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 15, 2024

Ryan Morrissey, PE
Burkhardt Engineering
28 North Cherry Street
Germantown, OH 45324

Re: Champion Express Car Wash
211 Unser Blvd SW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Plan Approval Date 2-23-23 (K10D064)
Certification dated 5-15-24

Dear Mr. Morrissey;

Based upon the information provided in your submittal received 5-15-24, Transportation Development has no objection to a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

If you have any questions, please contact me at ccherne@cabq.gov or (505) 924-3986.

Sincerely,

Curtis A Cherne

NM 87103

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

C: Laurie Elliot, Yvette Lucero, Wendi Alcala, James Broomfield, blake@7bdev.com

TRAFFIC CERTIFICATION

I, Ryan Joseph Morrissey, NMPE 25323, of the firm Burkhardt Engineering Company, hereby certify that this project is in substantial compliance and in accordance with the design intent of the Traffic Circulation Layout Plan (TCL), dated 2/23/2023.

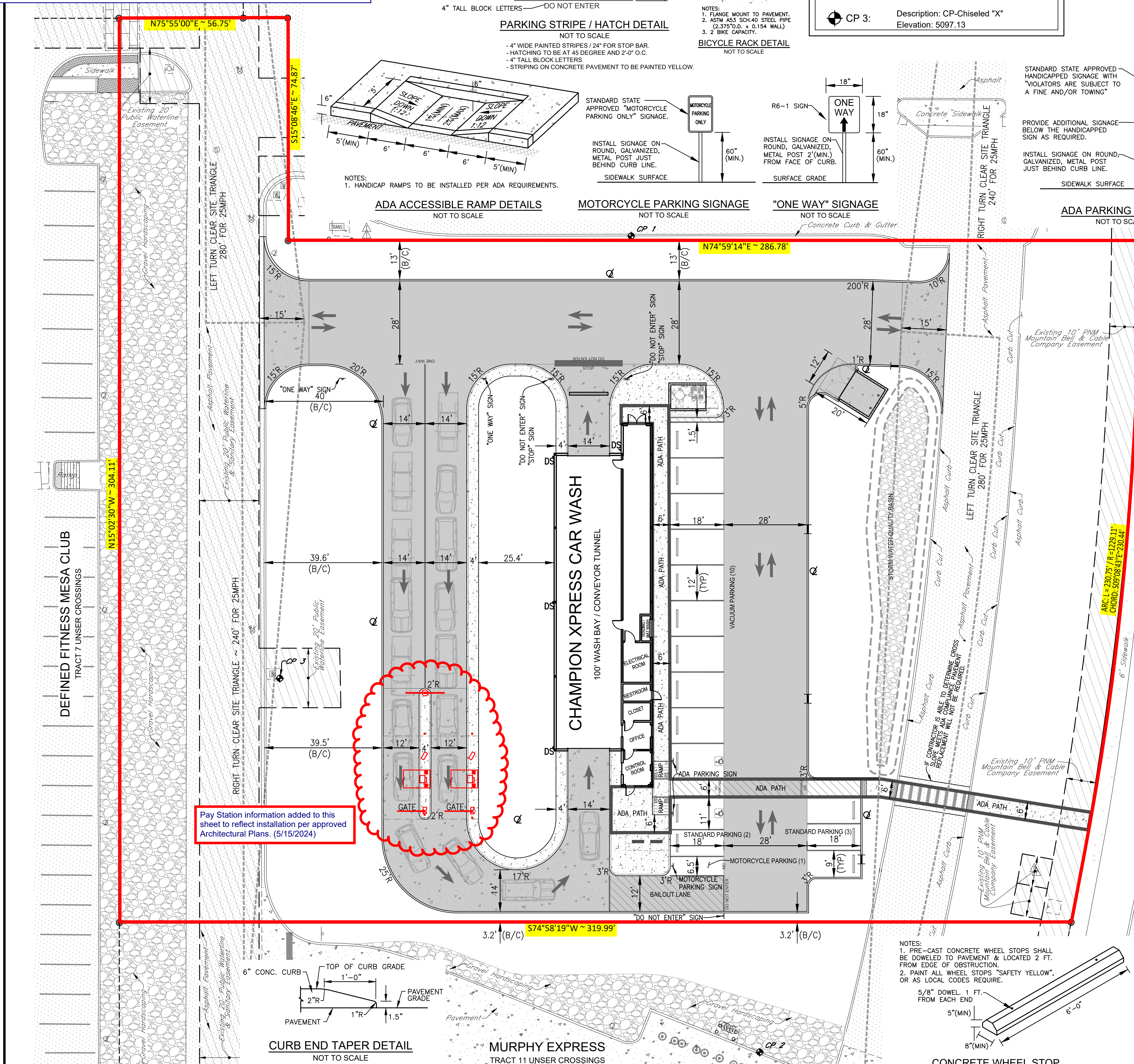
I further certify that I have personally reviewed photography and have determined by visual inspection that the survey data (obtained by Steven John Sandoval, NMPS 12351, of the firm Construction Surveying Services) provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This certification is submitted in support of a request for a permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



5/15/2024

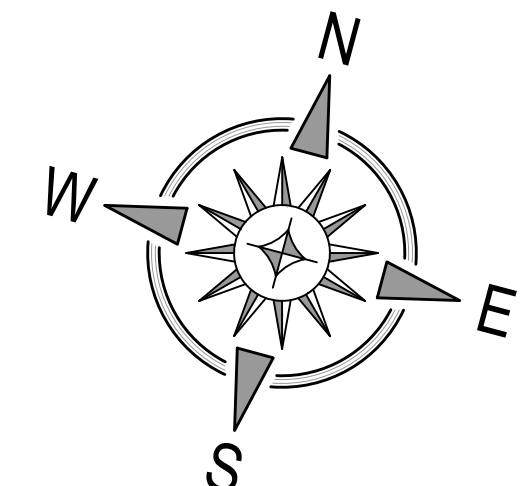
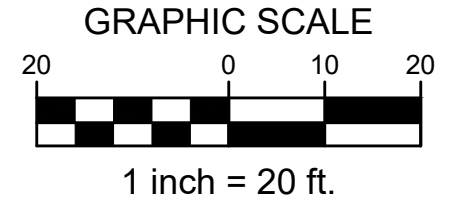


Pay Station information added to this sheet to reflect installation per approved Architectural Plans. (5/15/2024)

VERTICAL & HORIZONTAL CONTROL:	
CP 1:	Description: CP-Chiseled "X" Elevation: 5096.48
CP 2:	Description: CP-Chiseled "X" Elevation: 5095.06
CP 3:	Description: CP-Chiseled "X" Elevation: 5097.13

TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY MAINS IN THE CONSTRUCTION AREA WHICH MAY NOT HAVE BEEN LOCATED ACCURATELY BY THE SURVEYOR / UTILITY OWNERS. NOTIFY "911" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.

TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Armijo 3/9/2023
Signed _____ Date _____



PARKING AND STACKING SUMMARY

CHAMPION XPRESS CAR WASH	
Building Area = 4,355 sq-ft (1,280 sq-ft of non-wash bay/mechanical room)	
Wash Bay Stacking Provided:	18 vehicles
Vacuum Parking Provided:	9 spaces (18'x12')
Employee/Standard Parking Provided:	4 spaces (18'x9')
Motorcycle Parking Provided:	1 Space (18'x6.5')
Bicycle Parking Provided:	4 Spaces (2 Racks)
ADA Parking Provided:	1 Space (18'x11)
ADA Vacuum Parking Provided:	1 Space (18'x12')

REQUIRED STANDARD PARKING = 2 Stalls
Use = Car Wash
2 spaces / 1,000 sq-ft GFA of retail, office, and waiting area (1280 sq-ft / 1000)
per IDO Table 5-5-1: Off-street Parking Requirements

REQUIRED STACKING SPACES = 3 (three) 20' spaces from end of washing bay
Activity = Car Wash
per IDO Table 5-5-8: Required Stacking Spaces

REQUIRED MOTORCYCLE PARKING = 1 Space
per IDO Table 5-5-4: Motorcycle Parking Requirements

REQUIRED BICYCLE PARKING = 3 Spaces
per IDO Table 5-5-5: Bicycle Parking Requirements

REQUIRED ADA PARKING = 1 Space
per ADA Table 208.2: Minimum Number of Accessible Parking Spaces

PROJECT SUMMARY

Project will include the demolition and removal of existing structures, vegetation, pavement, etc. as necessary to construct a new Champion Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the site.

PROPERTY INFORMATION

Address: 211 Unser Blvd SW Albuquerque, NM 87121
Legal Description: Tract 10, Unser Crossing
Area: 1.86 acres
Zoning: MX-M
Flood Zone Designation: FIRM # 35001C0328J, effective date: November 4, 2016
Zone "X" : Areas determined to be outside the 0.2% annual chance Floodplain.

All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter per the City of Albuquerque Standard Drawing No. 2415 and No. 2430.

CLEAR SITE TRIANGLE NOTE:
Landscaping and signage will not interfere with clear sight requirements. Therefore signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.

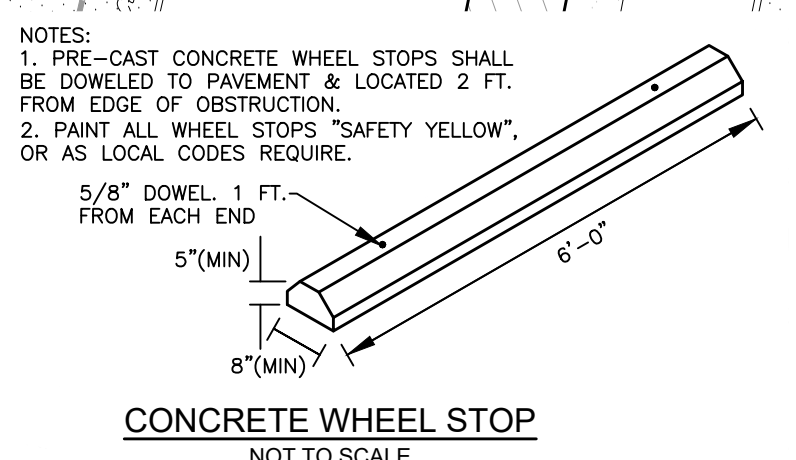
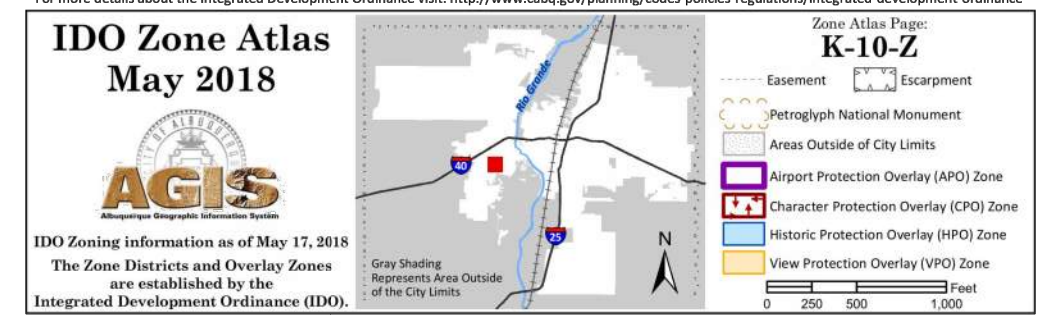
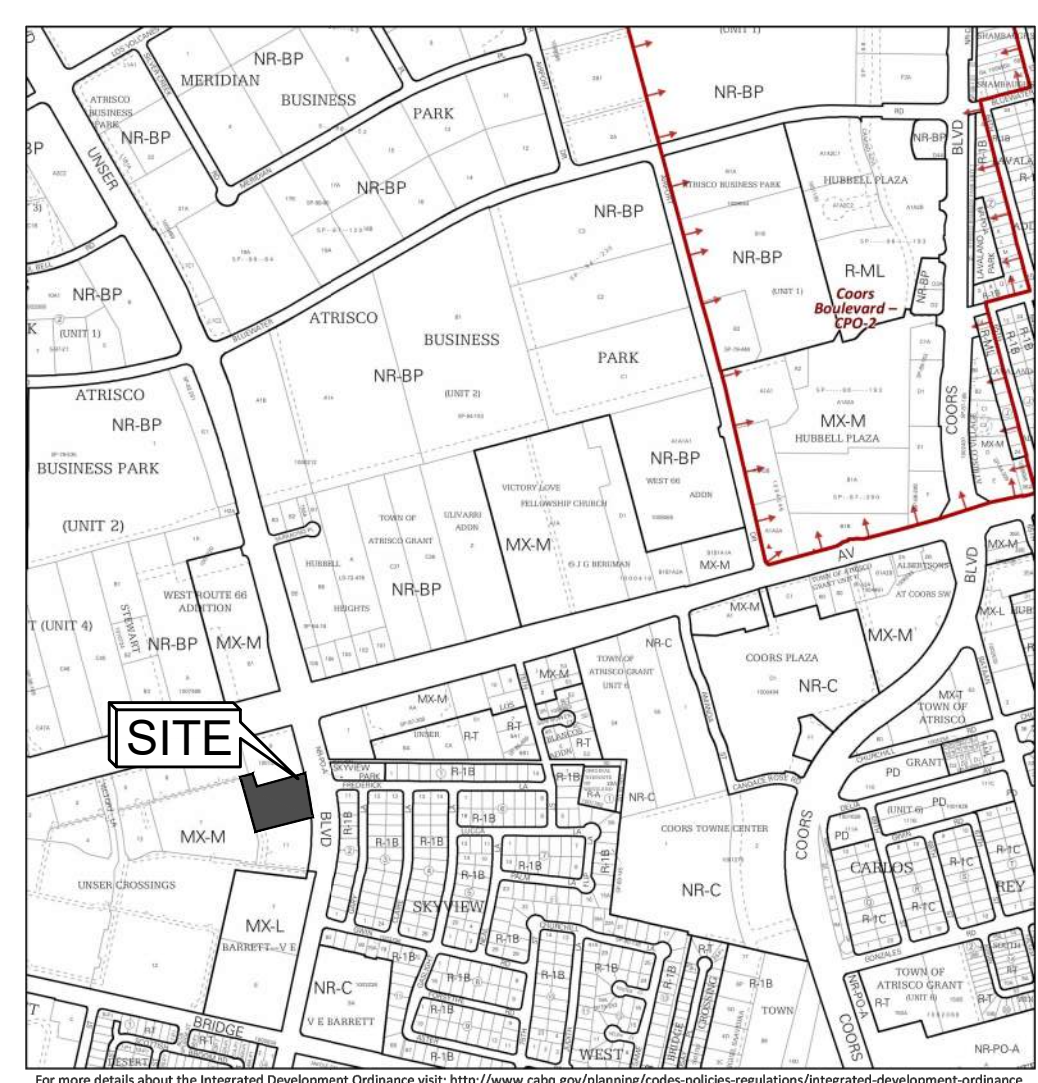
- See Fire 1 Plan, sheet C-2.1 for Fire Marshal's Office Hydrant and fire Access approval
- See Site Plan, sheet C-2.0 for detailed site installations.
- See Grading and Drainage Plan, sheet C-3.0 for pavement slope details.
 - *Access Drive area slope range = 1.0%minimum to 6.0%maximum
 - *Parking area slope range = 1.0%minimum to 8.0%maximum
 - *Handicap area slope range = 1.0%minimum to 2.0%maximum

ACCESSIBLE PARKING SYMBOL & MARKING NOTES

A paved accessible parking space must include:
-The International Symbol of Accessibility conspicuously on the surface in a color that contrasts the pavement.
-The words "NO PARKING" painted on any access aisle adjacent to the parking space.
Words must be painted in all capital letters with a letter height of at least twelve inches, a stroke width of at least two inches, and centered within each access aisle adjacent to the parking space.

SITE AND PAVEMENT LEGEND

(B/C)	BACK-OF-CURB
(TYP)	TYPICAL PARKING STALL WIDTH
R	RADIUS - FACE OF CURB
	CONCRETE WHEEL STOP
	ADA PARKING SYMBOL
	PROPOSED LIGHT POLE
	DIRECTIONAL PARKING LOT ARROW
	TRUNCATED DOMES
	CONCRETE SIDEWALK
	LIGHT DUTY ASPHALT
	CONCRETE PAVEMENT
	HEAVY DUTY ASPHALT



CONCRETE PAVEMENT SECTION	
KEY	
A	6\"/>
B	4\"/>
C	10\"/>

CONCRETE SIDEWALK PAVEMENT SECTION	
KEY	
A	6\"/>
B	4\"/>
C	10\"/>

HEAVY DUTY ASPHALT PAVEMENT SECTION	
KEY	
A	3\"/>
B	6\"/>
C	10\"/>

LIGHT DUTY ASPHALT PAVEMENT SECTION	
KEY	
A	2.5\"/>
B	4\"/>
C	10\"/>



Date	02/23/23
Description	Rev 1 - Revised per City Comments
Item	1

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
211 UNSER BLVD SW
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM	Proj: 22.146
Draw: RMM	Dwg: 22-146.dwg
Scale: RJM	Tab: C2.2-TP
Date:	01.11.2023
Sheet:	TRAFFIC CIRCULATION LAYOUT PLAN
Sheet No.:	

C-2.2