

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 13, 2024

Ryan Morrissey, P.E.
Burkhardt Engineering
28 North Cherry St.
Germantown, OH, 45327

**RE: Champion Xpress Car Wash
211 Unser Blvd SW
Permanent C.O. – Not Accepted
30-day Temporary C.O. - Accepted
Engineer's Certification Date: 05/08/24
Engineer's Stamp Date: 02/23/23
Hydrology File: K10D064**

Dear Mr. Morrissey:

PO Box 1293

Based **solely** on the Certification received 05/09/2024, this letter serves as a “green tag” from Hydrology Section for a **30-day** Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY:

NM 87103

1. Please Resubmit to PLNDRS@cabq.gov when ready.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to “**Bernalillo County**” for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Champion Xpress Car Wash **Building Permit #:** BP-2022-10392 **Hydrology File #:** K10D064
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract 10 Unser Crossings
City Address: 211 Unser Blvd SW

Applicant: Burkhardt Engineering **Contact:** Ryan Martini
Address: 28 North Cherry Street Germantown, OH 45327
Phone#: 937-895-4488 **Fax#:** _____ **E-mail:** rmartini@burkhardtinc.com

Other Contact: Modulus Architects **Contact:** Regina Okoye
Address: 100 Sun Ave. NE, suite 600, Albuquerque, NM 87109
Phone#: 505-267-7686 **Fax#:** _____ **E-mail:** rokoye@modulusarchitects.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes X No

DEPARTMENT _____ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

- TYPE OF SUBMITTAL:**
X ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ____ BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: May 8, 2024 **By:** Ryan Martini

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

