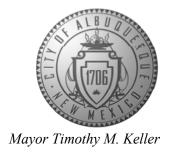
CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



May 13, 2024

Ryan Morrissey, P.E. Burkhardt Engineering 28 North Cherry St. Germantown, OH, 45327

RE: Champion Xpress Car Wash
211 Unser Blvd SW
Permanent C.O. – Not Accepted
30-day Temporary C.O. - Accepted
Engineer's Certification Date: 05/08/24
Engineer's Stamp Date: 02/23/23
Hydrology File: K10D064

Dear Mr. Morrissey:

PO Box 1293

Based **solely** on the Certification received 05/09/2024, this letter serves as a "green tag" from Hydrology Section for a **30-day** Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY:

NM 87103

- 1. Please Resubmit to PLNDRS@cabq.gov when ready.
- 2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for \$25.00 made out to "Bernalillo County" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology

Renée C. Brissette

Planning Department



City of Albuquerque

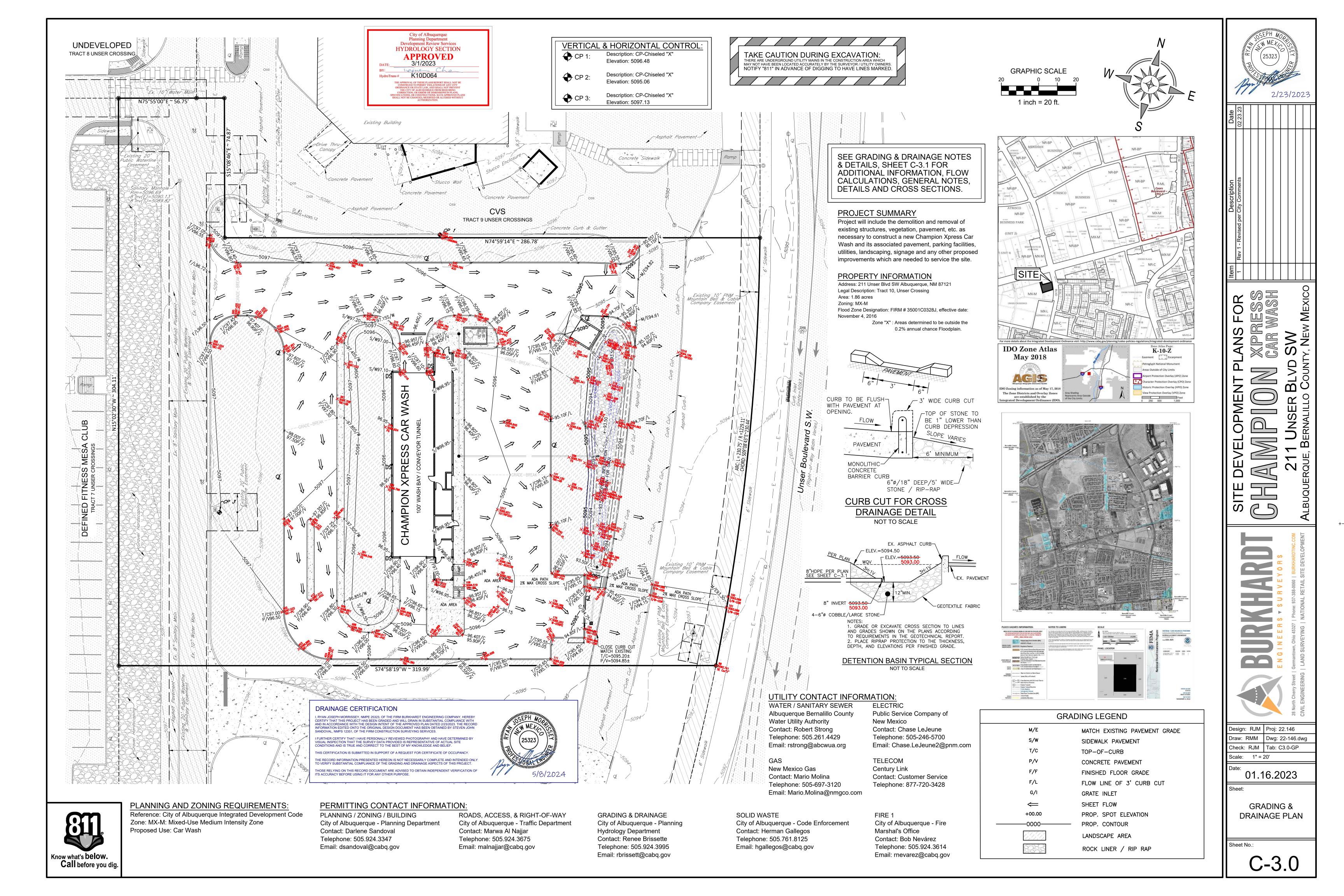
Planning Department

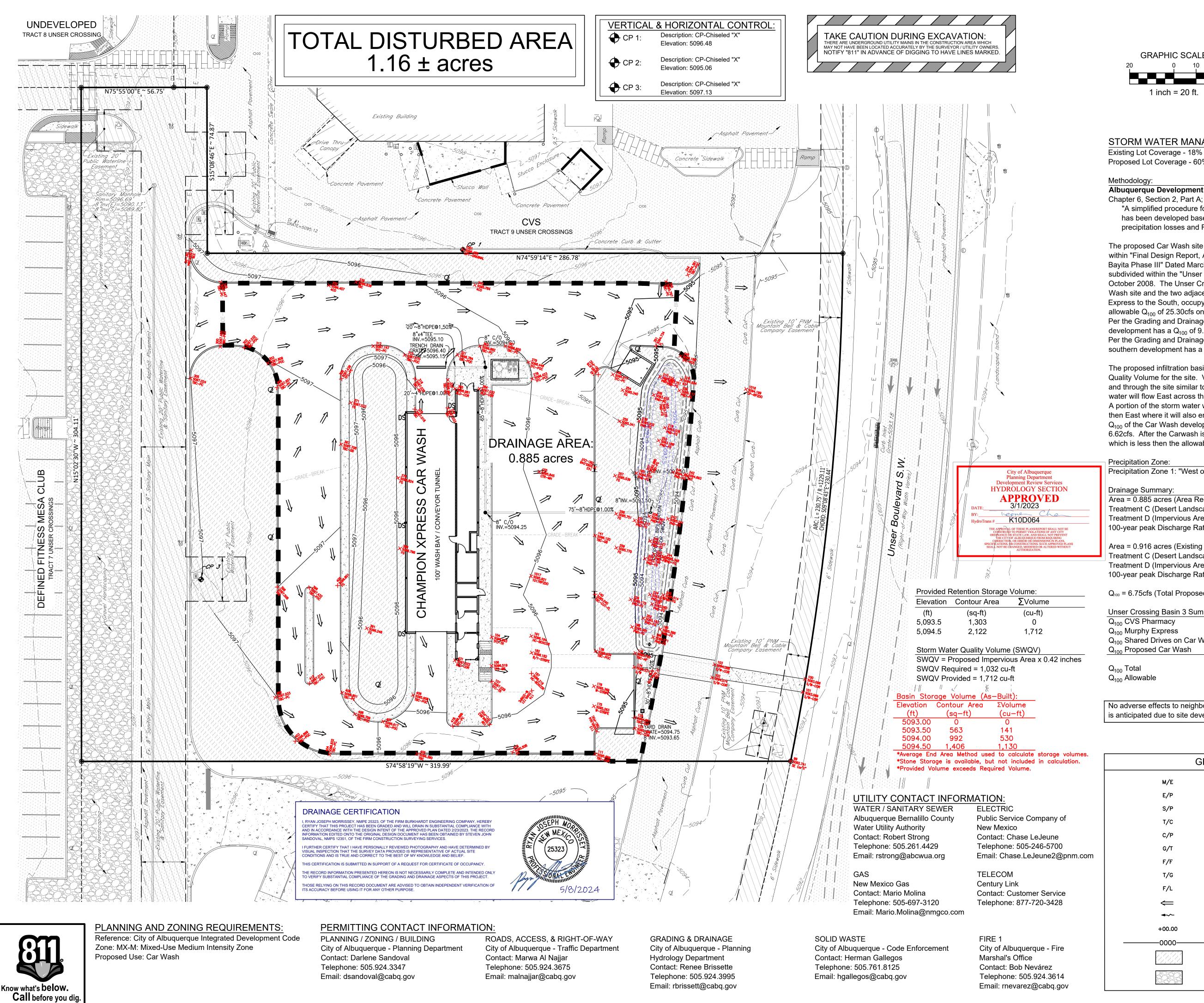
Development & Building Services Division

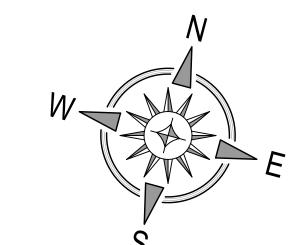
DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Champion Xpress Car Wash	Building Permit #: BP-2022-10392	Hydrology File #: K10D064	
DRB#:	_ EPC#:	Work Order#:	
Legal Description: Tract 10 Unser Crossing	gs .		
City Address: 211 Unser Blvd SW			
Applicant: Burkhardt Engineering Address: 28 North Cherry Street Germantov	vn, OH 45327	Contact: Ryan Martini	
Phone#: 937-895-4488		E-mail: rmartini@burkhardtinc.com	
Other Contact: Modulus Architects Address: 100 Sun Ave. NE, suite 600, Alb	uguergue NM 97100		
		5 1 rokova@modulusarchitacts.com	
Phone#: 505-267-7686	_ Fax#:	E-mail: 10koye@iilodulusaiciiilects.coi	
TYPE OF DEVELOPMENT:PLAT	(# of lots) RESIDENCE	DRB SITE X ADMIN SITE	
IS THIS A RESUBMITTAL? Yes	XNo		
DEPARTMENT TRANSPORTATION	X HYDROLOGY/DRAINAGE		
Check all that Apply: TYPE OF SUBMITTAL: X ENGINEER/ARCHITECT CERTIFICATION PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE REPORT DRAINAGE MASTER PLAN FLOODPLAIN DEVELOPMENT PERMIT A ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) STREET LIGHT LAYOUT OTHER (SPECIFY) PRE-DESIGN MEETING?	BUILDING PE X CERTIFICATI PRELIMINAR SITE PLAN F SITE PLAN F FINAL PLAT APPLIC SIA/ RELEAS FOUNDATION GRADING PE SO-19 APPRO PAVING PER GRADING/ PA WORK ORDER CLOMR/LOM FLOODPLAIN OTHER (SPEC	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL PAVING PERMIT APPROVAL GRADING/ PAD CERTIFICATION WORK ORDER APPROVAL CLOMR/LOMR FLOODPLAIN DEVELOPMENT PERMIT OTHER (SPECIFY)	
DATE SUBMITTED: May 8, 2024	By: Ryan Martini		
COA STAFF:	ELECTRONIC SUBMITTAL RECEIVED:		

FEE PAID:_____







STORM WATER MANAGEMENT NOTES:

Existing Lot Coverage - 18% impervious / 82% pervious Proposed Lot Coverage - 60% impervious / 40% pervious

Albuquerque Development Process Manual

"A simplified procedure for projects with sub-basins smaller than 40 acres has been developed based on initial abstraction / uniform infiltration precipitation losses and Rational Method procedures."

The proposed Car Wash site is governed by a master drainage plan described within "Final Design Report, Amole Del Norte Storm Diversion Facilities Tierra Bayita Phase III" Dated March 1998. A 50 acre portion of this area was further subdivided within the "Unser Crossing Drainage Management Plan" dated October 2008. The Unser Crossing plan established 13 basins with the Car Wash site and the two adjacent developments, CVS to the North and Murphy Express to the South, occupying Basin 3. Basin 3 was determined to have an allowable Q₁₀₀ of 25.30cfs once fully developed.

Per the Grading and Drainage Plan developed for the CVS, the northern development has a Q₁₀₀ of 9.64cfs.

Per the Grading and Drainage Plan developed for the Murphy Express, the southern development has a Q_{100} of 5.59cfs.

The proposed infiltration basin is intended to provide the required Storm Water Quality Volume for the site. Volumes in excess of the SWQV will flow across and through the site similar to the existing conditions. A majority of the storm water will flow East across the site into the Unser Boulevard S.W. Right of Way. A portion of the storm water will flow South within the Western shared drive and then East where it will also enter the Unser Boulevard S.W. Right of Way. The Q₁₀₀ of the Car Wash development and the shared drives within the lot will be 6.62cfs. After the Carwash is developed the Q_{100} for Basin 3 will be 21.85cfs which is less then the allowable 25.30cfs described in the Master Drainage Plan.

Precipitation Zone:

Precipitation Zone 1: "West of the Rio Grande"

Drainage Summary:

Area = 0.885 acres (Area Requiring SWQV) Treatment C (Desert Landscaping Area) - 24% = 0.21 acres Treatment D (Impervious Area) - 76% = 0.68 acres 100-year peak Discharge Rate = 3.83 cfs/acre (Table 6.2.14)

Area = 0.916 acres (Existing Shared Drives) Treatment C (Desert Landscaping Area) - 65% = 0.64 acres Treatment D (Impervious Area) - 35% = 0.35 acres 100-year peak Discharge Rate = 3.31 cfs/acre (Table 6.2.14)

$Q_{100} = 6.75cfs$ (Total Proposed)

Unser Crossing Basin 3 Summary Table:		
9.64 cfs		
5.59 cfs		
3.23 cfs		

3.39 cfs 21.85 cfs 25.30 cfs

No adverse effects to neighboring properties or public right-of-way is anticipated due to site development.

GRADING LEGEND

M/E	MATCH EXISTING PAVEMENT GRADE
E/P	EDGE-OF-PAVEMENT (NO CURB)
S/P	SIDEWALK PAVEMENT
T/C	TOP-OF-CURB
C/P	CONCRETE PAVEMENT
G/T	GUTTER FLOW LINE
F/F	FINISHED FLOOR GRADE
T/G	CONVEYOR TRENCH GRATE ELEVATION
F/L	FLOW LINE OF 3' CURB CUT
\Leftarrow	SHEET FLOW
~~	GUTTER FLOW
+00.00	PROP. SPOT ELEVATION
0000	PROP. CONTOUR
	LANDSCAPE AREA
D20~0~0	

ROCK LINER / RIP-RAP



01.16.2023

Design: RJM Proj: 22.146

Draw: RMM Dwg: 22-146.dwg

Check: RJM Tab: C3.1-GD

Scale: 1" = 20'

GRADING & DRAINAGE DETAILS

Sheet No.:

C-3.