

AS BUILT PLANIMETRIC SURVEY
TRACT 10, UNSER CROSSING
WITHIN THE TOWN OF ATRISCO GRANT
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY 2024

VICINITY MAP



ZONE ATLAS MAP NO. K-10

NO SCALE
ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO

- LEGEND:
- UTILITIES
 - CABLE UTILITY BOX
 - FIRE HYDRANT
 - SEWER MANHOLE
 - TRASH ENCLOSURE
 - LIGHT POLE
 - WATER METER
 - CLEAN OUT
 - GAS
 - TRANSFORMER
 - POWER POLE
 - COVERED AREA

PARKING INFORMATION

- 13 PARKING SPACES
- 2 HANDICAPPED SPACES
- 1 MOTORCYCLE SPACE
- 16 TOTAL PARKING SPACES

NOTES & SURVEY RELATED ITEMS

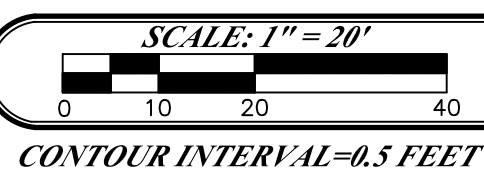
- THIS SURVEY WAS COORDINATED BY 7B DEVELOPMENT LLC., AND PERFORMED AND CERTIFIED BY THE LAND SURVEYOR LICENSED IN THE STATE WHERE THE PROPERTY IS LOCATED.
- PROPERTY IS SHOWN AS TRACT 10, UNSER CROSSING, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
- MEASURED AREA = 81,110.523 SQ. FT., 1.862 ACRES
- UNDERGROUND UTILITIES WHERE SHOWN, ARE BASED ON INFORMATION ON DRAWINGS GIVEN TO SURVEYOR. HOWEVER, BEFORE ANY EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE FIELD VERIFIED BY THE PROPER UTILITY COMPANIES AND NEW MEXICO ONE-CALL BLUESTAKE PROCEDURE.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONSTRUCTION SURVEYING SERVICES, CONSTRUCTION DRAWINGS BY BURKHARDT ENGINEERS + SURVEYORS, AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- IMAGE, IF SHOWN, IS FROM PHOTOGRAMMETRY PERFORMED ON APRIL 27, 2024.

FLOOD INFORMATION

By graphic plotting only, this property is located in Zone "X" of the Flood Insurance Rate Map, Community Panel No. 35001C0328J, which bears an effective date of NOVEMBER 4, 2016. Zone "X": Areas determined to be outside the 0.2% annual chance floodplain



SCALE

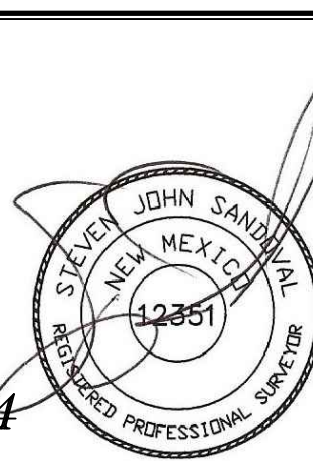


SURVEY NOTES

- The entire site has observable evidence of earth moving work, building construction and building additions within recent months, as the improvements shown hereon have been recently constructed.
- There is no observable evidence of changes in street right of way lines. There is observable evidence of recent street or sidewalk construction or repairs.
- Property have physical access to two access roads, the west connecting to CENTRAL AVE SW, a public street, and at the east connecting to UNSER BLVD SW, a public street.
- All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, party walls, parking, easements, servitudes, and encroachments; are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.
- No Party Walls were observed and no buildings have been built on or near property lines.
- There was no observable wetland area and no wetland markers were observed.

SURVEYORS CERTIFICATE

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE IMPROVEMENTS DEPICTED HEREON ARE BASED ON FIELD MEASUREMENTS PERFORMED BY ME OR UNDER MY DIRECTION ON APRIL 27, 28, MAY 1 & 2, 2024; THAT THE PERIMETER SHOWN IS WITH RESPECT TO FOUND MONUMENTS AND AVAILABLE INFORMATION; AND THAT THIS MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.



STEVEN J. SANDOVAL NMPS NO. 12351 DATE: May 5, 2024