

CENTRAL AVE SW
(U.S. HIGHWAY 66)
(200' R/W)

NOTE: CONTRACTOR SHALL REMOVE
SEDIMENT AND DEBRIS ON ADJACENT
ROADWAYS DAILY.

NOTE:
PRE-CONSTRUCTION RUNOFF COEFFICIENT: 0.63
POST-CONSTRUCTION RUNOFF COEFFICIENT: 0.78

NOTE: TOTAL DISTURBED AREA IS ABOUT
2.30 ACRES. PLEASE SEE THE LANDSCAPE
AND SITE PLAN FOR AREAS TO BE
STABILIZED VEGETATIVELY AND
PAVED/ROOFED

NOTE: INSTALL SILT FENCE TO
TEMPORARY CONSTRUCTION FENCING
TO PROTECT AGAINST BLOWING DUST.

NOTE: PRE-MANUFACTURED INLET PROTECTION
DEVICES SHALL BE USED TO PROTECT ALL
INLETS. DEVICES INSTALLED IN THE
ROADWAYS SHALL NOT IMPEDE TRAFFIC FLOW.

Concrete Washout Area
Alternate Location shall
be on the High Side of
the site.

Ponds Shall be excavated prior to
major earthwork operations in
order to provide 'Stilling' of
Sediment prior to leaving the Site.

CAUTION!!!!

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION
AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS
IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND,
WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE
INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT
LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD
LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE
CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH
THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

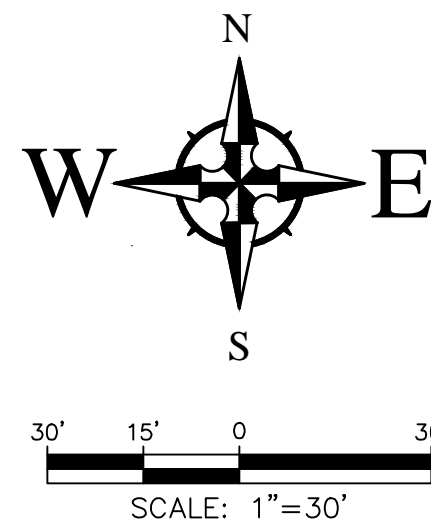
VENAGLIA FRED F & VENAGLIA ROY JR &
GARCIA JULIE
ATRISCOT GRANT UNIT 6
LOT 10
VOL. C1, FOLIO 36

MARQUEZ DANNY L
ATRISCOT GRANT UNIT 6
LOT 8
VOL. C1, FOLIO 36

CHAVEZ SUSAN
ATRISCOT GRANT UNIT 6
LOT 7
VOL. C1, FOLIO 36

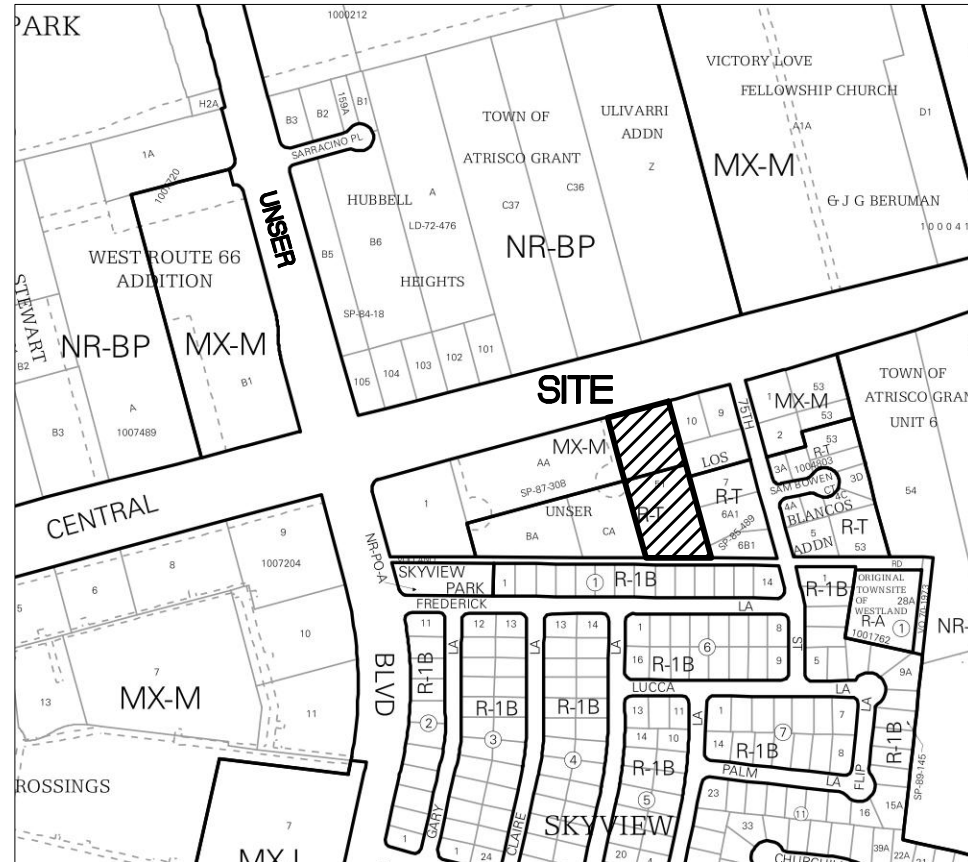
CHAVEZ FILEMON
ATRISCOT GRANT UNIT 6
LOT 6-A
VOL. A6, FOLIO 34

CHAVEZ
RICHARD L & MARIE C
ATRISCOT GRANT
UNIT 6, LOT 6-B
VOL. A6, FOLIO 34



LEGEND

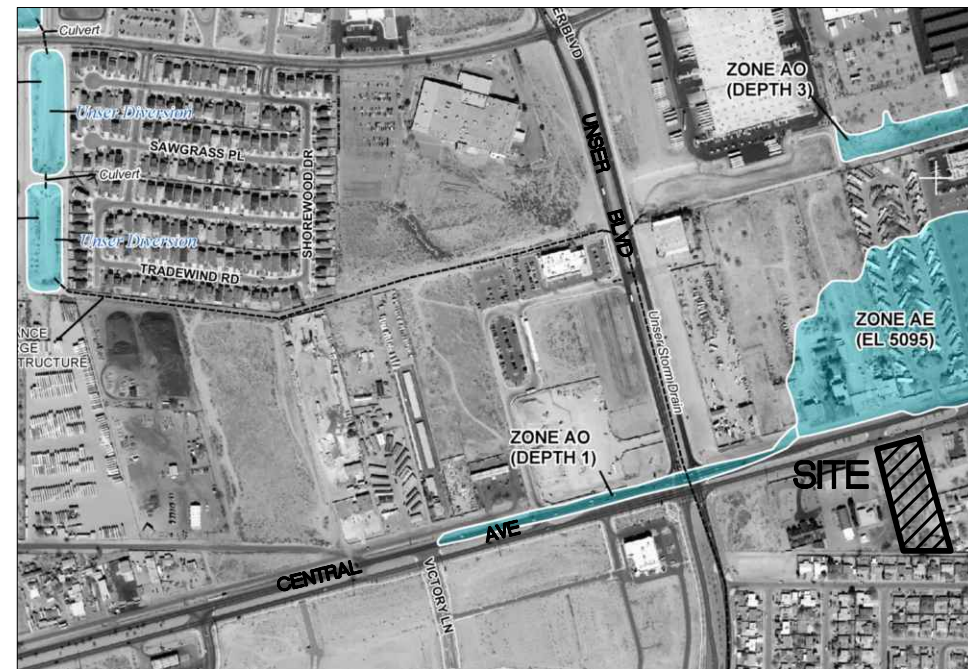
- STABILIZED CONSTRUCTION ENTRANCE
- ROCK RIP-RAP (REF GRADING / LANDSCAPE PLAN)
- DISTURBED AREA BOUNDARY / SILT FENCE
- 12" DIAMETER WATTLLES
- INLET PROTECTION
- PROPOSED STORM DRAIN
- FLOW ARROW



VICINITY MAP - Zone Atlas K-10-Z

LEGAL DESCRIPTION:

The West One-Half of Tract 52, Unit No. 6 of Plat of Town of Atrisco Grant,
Bernalillo County, NM.



FIRM MAP 35001C0328J

Per FIRM Map 35001C0328J, dated November 04, 2016, the site is not
located in the Floodplain and determined to be outside the 0.2% chance
Annual Floodplain.

Erosion Control Standard Notes

- All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:
 - The City Ordinance § 14-5-2-11, the ESC Ordinance,
 - The EPA's 2017 Construction General Permit (CGP), and
 - The City Of Albuquerque Construction BMP Manual.
- All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMPs and prior to beginning construction.
- Self-inspections - At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site.
- BMPs shall be inspected and maintained until all disturbed areas are stabilized in accordance with the Final Stabilization Criteria (CGP 2.2.14.b). Generally, all disturbed areas, other than structures, must have uniform perennial vegetation that provides 70 percent or more of the cover provided by native vegetation or seed the disturbed area and provide non-vegetative mulch that provides cover for at least three years without active maintenance. Final stabilization must be documented on self-inspection reports and approved by the City of Albuquerque prior to removal of BMPs and discontinuation of inspections.

SUGGESTED SEQUENCE OF CONSTRUCTION

- PHASE I
- PREPARE TEMPORARY PARKING AND STORAGE AREAS
 - INSTALL TEMPORARY SITE FENCING AND SILT FENCES
 - CUT GRADES IN LANDSCAPE ISLAND FOR TEMPORARY PONDING
 5. SAWCUT AND DEMOLISH EXISTING PAVEMENT
 - CLEAR AND GRUB THE SITE
 - ROUGH GRADE THE SITE
 - START CONSTRUCTION OF BUILDING PAD AND STRUCTURES

- PHASE II
- INSTALL UTILITIES & STORM DRAIN
 - INSTALL INLET PROTECTION
 - PREPARE SITE FOR PAVING
 - PAVE SITE
 - INSTALL LANDSCAPE FABRIC, LANDSCAPE, GRAVEL, AND RIP RAP PER LANDSCAPE PLAN
 - STABILIZE THE SITE PER THE CGP (CONSTRUCTION GENERAL PERMIT) AND NMDOT SPEC SECTION 632. SEE SITE STABILIZATION NOTES THIS SHEET.
 - REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY ONCE THE SITE IS STABILIZED).

SITE STABILIZATION NOTES

- PRIOR TO REMOVING BMPs FROM THE SITE, THE ENTIRE SITE DISTURBED AREA MUST BE STABILIZED IN ACCORDANCE WITH THE CGP (CONSTRUCTION GENERAL PERMIT) SECTION 2.2.14 AND NMDOT SPEC SECTION 632 (2019 EDITION). BOTH THE CGP AND NMDOT SPEC SECTION 632 IS TO BE INCLUDED IN THE SWPPP MANUAL.
- ALL DISTURBED AREAS THAT ARE NOT TO BE PERMANENTLY STABILIZED WITH PAVEMENT, PERMANENT LANDSCAPING, OR ROCK SHALL BE STABILIZED IN ACCORDANCE WITH THE ABOVE. CLASS A SEEDING SHALL BE USED FOR AREAS WITH SLOPES FLATTER THAN OR EQUAL TO 3:1. CLASS C SEEDING SHALL BE USED FOR ANY SLOPES GREATER THAN 3:1 BUT NOT MORE THAN 2:1.
- THE SEED USED SHALL MATCH THE PRE-DEVELOPED CONDITIONS AND THE SEED MIX SHALL CONSIST OF PLANTS NATIVE TO THE AREA.
- PER THE CGP SECTION 2.2.14 (ARID, SEMI-ARID, AND DROUGHT STRICKEN AREAS), FINAL STABILIZATION IS MET IF THE AREA HAS BEEN SEEDED OR PLANTED TO ESTABLISH VEGETATION THAT PROVIDES 70 PERCENT OR MORE OF THE COVER THAT IS PROVIDED BY VEGETATION NATIVE TO LOCAL UNDISTURBED AREAS WITHIN THREE (3) YEARS AND, TO THE EXTENT NECESSARY TO PREVENT EROSION ON THE SEEDED OR PLANTED AREA, NON-VEGETATIVE EROSION CONTROLS HAVE BEEN APPLIED THAT PROVIDE COVER FOR AT LEAST THREE YEARS WITHOUT ACTIVE MAINTENANCE.

Route 66 Flats

7600 Central Ave SW
Albuquerque, NM 87121

Erosion Control Plan

C-201