

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 14, 2025

Jeffrey T. Wooten, PE
Wooten Engineerin
P.O Box 15814
Rio Rancho, NM 87174

**Re: Route 66 Flats/ 7600 Central Ave SW
Request for Certificate of Occupancy
Transportation Development Final Inspection**
Engineer's Stamp dated 03-05-24 (K10-D065)
Certification dated 09-23-25
TRANS-2025-00273

Dear Mr. Wooten,

PO Box 1293

Based upon the information provided in your submittal received 09-23-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Sertil Kanbar at (505)-924-3909 skanbar@cabq.gov

NM 87103

Sincerely,

www.cabq.gov

Sertil A Kanbar

Sertil A. Kanbar
Sertil Kanbar, PhD,PE,CFM
Sr. Engineer, Planning Dept.
Development Review Services

\SK via: email
C: CO Clerk, File

CENTRAL AVE SW
(U.S. HIGHWAY 66)
(200' R/W)

TRAFFIC CIRCULATION LAYOUT (TCL) CERTIFICATION

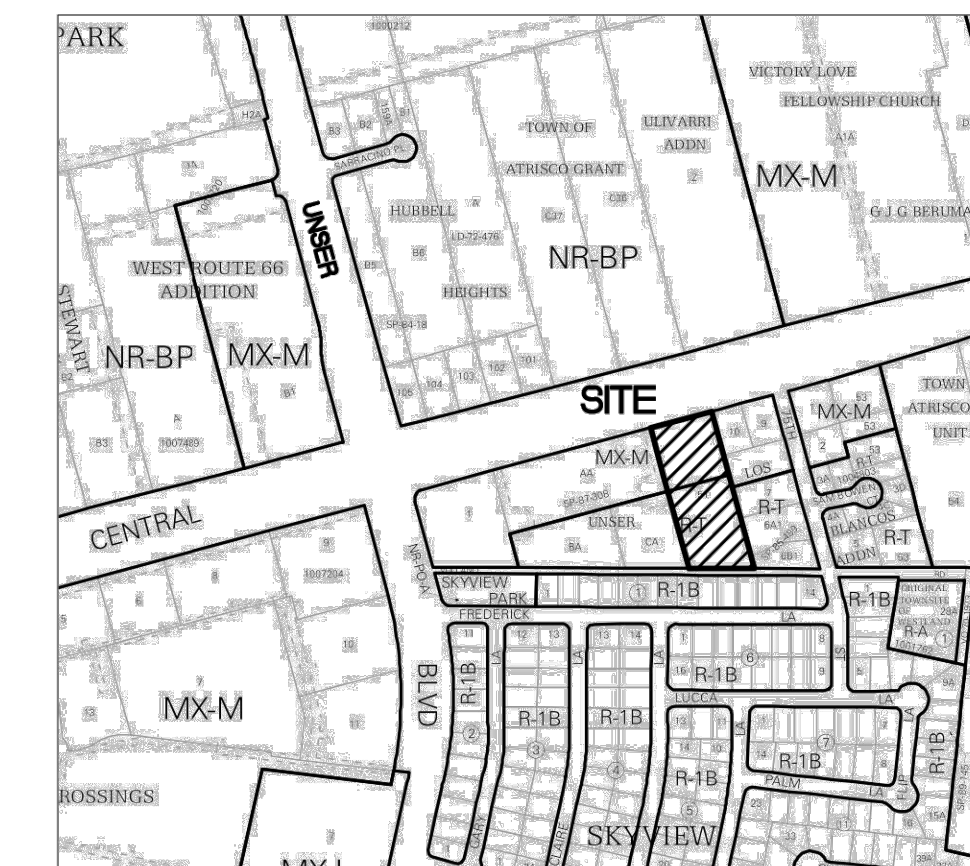
I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3/5/2024. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY MYSELF, JEFFREY T. WOOTEN OF THE FIRM WOOTEN ENGINEERING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/9/2025 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892

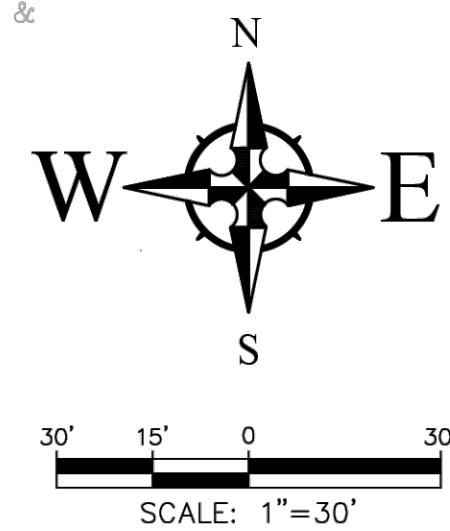
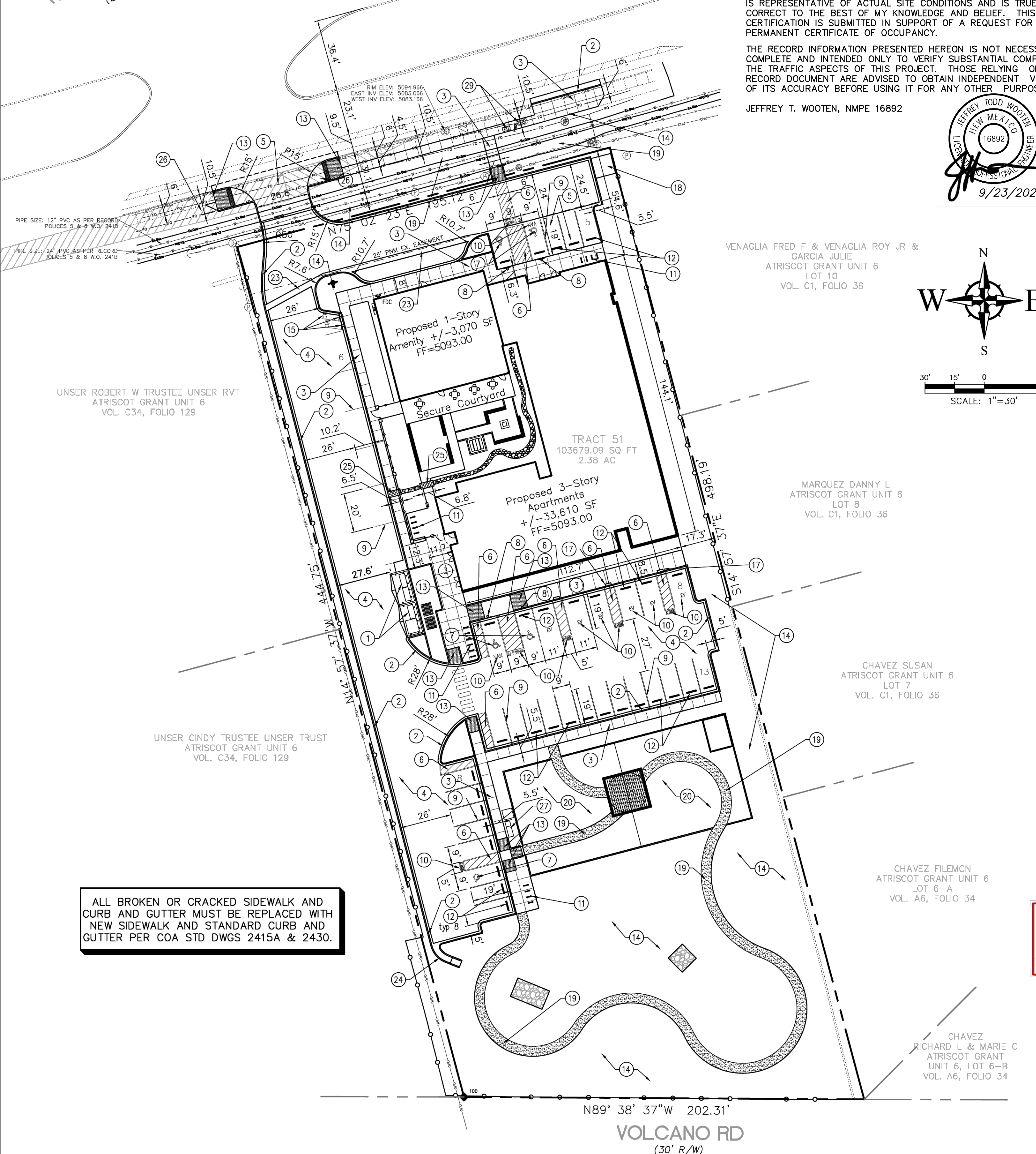


PARKING CALCULATIONS		
BUILDING AREA:	AREA (SQUARE FEET)	
DWELLING, MULTI-FAMILY	+/- 36,680 SF	
PARKING REQUIREMENTS:	REQUIRED	PROVIDED
1.2 / UNIT 1 BEDROOM: 47 UNITS	56 spaces	
1.6 / UNIT 2 BEDROOM: 1 UNIT	1 spaces	
AMENITY 3 / 1,000 SF: 3,070 SF	9 spaces	
TOTAL	66 spaces	
PARKING REDUCTIONS		
EV STALLS (1 CAR REDUCTIONS PER STALL)	-6 spaces	
TRANSIT CORRIDOR (30% REDUCTIONS)	-20 spaces	
GRAND TOTAL	40 spaces	40 spaces
	REQUIRED	PROVIDED
HANDICAP PARKING	2 spaces	5 spaces
MOTORCYCLE PARKING	2 spaces	2 spaces
BICYCLE PARKING	6 spaces	36 spaces



VICINITY MAP - Zone Atlas K-10-Z

LEGAL DESCRIPTION:
The West One-Half of Tract 52, Unit No. 6 of Plat of Town of Atrisco Grant, Bernalillo County, NM.



KEYED NOTES

- PROPOSED TRASH ENCLOSURE TO COMPLY WITH MINIMUM COA SOLID WASTE STANDARDS. CONTRACTOR SHALL COORDINATE WITH THE SOLID WASTE DEPARTMENT FOR THE REQUIRED INSPECTIONS DURING CONSTRUCTION. REF. ARCHITECTURAL DETAILS.
- INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B. GUTTER PAN SHALL BE SLOPED TO MATCH THE ADJACENT PAVEMENT.
- INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430. SIDEWALK CROSS SLOPE SHALL BE 2% MAX AND SLOPE AWAY FROM CURB.
- INSTALL ASPHALT PAVEMENT PER GEOTECHNICAL REPORT. RECOMMENDATIONS & DETAIL ON SHEET C102.
- INSTALL CONCRETE PAVEMENT PER GEOTECHNICAL REPORT. RECOMMENDATIONS & DETAIL ON SHEET C102.
- INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES OR DRIVEWAY, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS.
- PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS. INDICATE VAN ONLY SPACE AS SHOWN ON PLAN.
- INSTALL H/C SIGNAGE PER DETAIL, SHEET C102. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING." REF DETAIL ON SHEET C102.
- INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES. MIN. TWO COATS.
- PAINT WORDS "NO PARKING", "VAN" & "EV" WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. MIN. TWO COATS.
- INSTALL BIKE RACK(S) PER DETAIL, SHEET C-102.
- INSTALL PRE-CAST WHEEL STOP PER DETAIL, SHEET C-102.
- INSTALL PARALLEL CURB RAMP PER COA STD DWGS 2440-2446. TRUNCATED DOMES SHALL BE INSTALLED PER COA STD DWG 2446.
- LANDSCAPE AREA. REF. LANDSCAPE PLANS.
- MOTORCYCLE PARKING; 2 SPACES. ADD PAINT LABEL (2 COATS) AND SIGNAGE PER COA CODE. SIGN DETAIL ON SHEET C102.
- INSTALL STAMPED CONCRETE CROSSWALK PER DETAIL, SHEET C102.
- INSTALL ELECTRIC VEHICLE CHARGING STATIONS. REF. ARCHITECTURAL PLANS FOR DETAILS.
- INSTALL TRANSFORMER. REF. MEP PLANS FOR DETAILS.
- NATURE TRAIL. REF. LANDSCAPE PLANS FOR DETAILS.
- COMMUNITY GARDEN AREA. REF. LANDSCAPE PLANS FOR DETAILS.
- BIKE STORAGE RACK. REF. ARCHITECTURAL PLANS FOR DETAILS.
- NOT USED.
- INSTALL 3' WIDE VALLEY GUTTER. DETAIL ON SHEET C102.
- INSTALL 3' WIDE CONCRETE FLUME. DETAIL ON SHEET C102.
- INSTALL 24" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
- CLEAR SIGHT TRIANGLES (15'x590' LEFT, 15'x480' RIGHT). LANDSCAPING, FENCING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- GARDEN WASTE & COMPOST AREA. REF. LANDSCAPE PLANS FOR DETAILS.
- INSTALL ADD'L 4.5' WIDE CONCRETE SIDEWALK ADJACENT TO EXISTING SIDEWALK FOR 10' TOTAL BETWEEN EXISTING BACK OF CURB AND EDGE OF NEW SIDEWALK. SIDEWALK CROSS SLOPE SHALL BE 2% MAX TO MATCH EXISTING. SIDEWALK PER COA STD DWG 2430. INSTALL DOWELS PER CONCRETE SIDEWALK BUTT JOINT DETAIL, SHEET C102. TOOLED JOINTS SHALL MATCH EXISTING.
- ADJUST EXISTING UTILITY BOXES TO GRADE IN NEW SIDEWALK AS MAY BE REQUIRED.

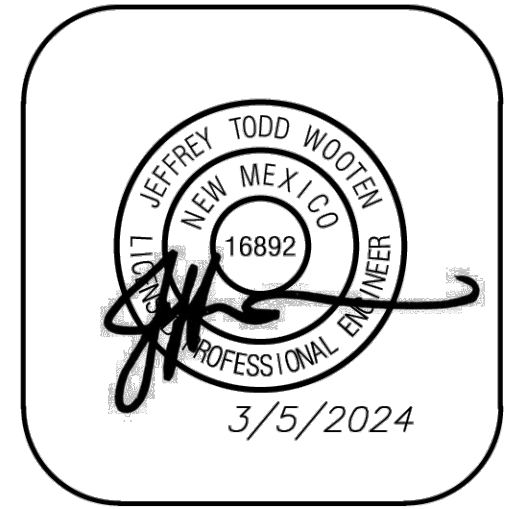
ALL BROKEN OR CRACKED SIDEWALK AND CURB AND GUTTER MUST BE REPLACED WITH NEW SIDEWALK AND STANDARD CURB AND GUTTER PER COA STD DWGS 2415A & 2430.

TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Amijo 3/5/2024
Signed: _____ Date: _____

NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	

DESIGNED BY: JW
DRAWN BY: RG
CHECKED BY: JW

DATE: Nov 1, 2023
DATE: Nov 1, 2023
JOB NO.: 2023021
DATE: Nov 1, 2023



Wooten Engineering
PO Box 15814
Rio Rancho, N.M. 87174
Phone: (505) 980-3560

Route 66 Flats
7600 Central Ave SW
Albuquerque, NM 87121

Site Plan

C-101