

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

January 18, 2024

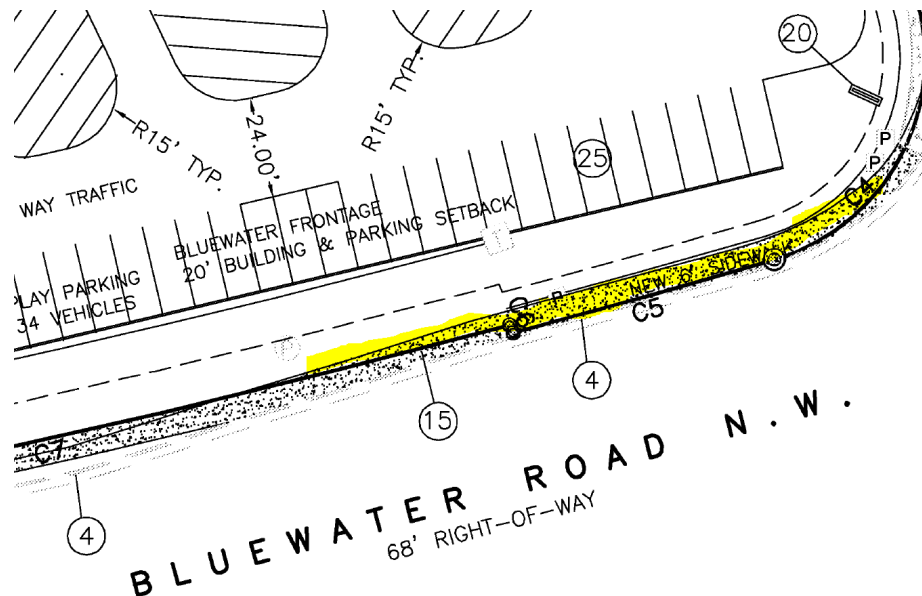
Shawn Biazar  
SBS Construction and Engineering, LLC  
7632 William Moyers Ave. NE  
Albuquerque, NM 87122

**Re: D & B U-SELL-IT**  
**8531 Bluewater Rd. NW**  
**Traffic Circulation Layout**  
Engineer's Stamp 12-03-24 (K10-D066)

Dear Mr. Biazar,

Based upon the information provided in your submittal received 01-08-24, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please revise Engineer stamped date.
2. Please clarify, is the sidewalk off Bluewater Rd. behind the property line? If so, a sidewalk easement is required.



3. Site access off Bluewater Rd:
  - Show on the site plan the proposed site access width.
  - Key note 24: provide proposed ramps details. 2440 is a city standard for Curb Access ramp general notes.

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4. Existing site access off Saul Bell Rd.:
  - Per the DPM, the minimum distance from the site access to the intersection of Unser and Saul Bell is 75 ft. Please show this dimension on the site plan.
  - Site access's ramps must be updated to current standards and have truncated domes installed.
5. Key note 20: ADA curb ramps at the corner of Unser Blvd. & Bluewater Rd. and Unser Blvd. & Saul Bell Rd. must be updated to current standards and have truncated domes installed.
6. Key note 15: a minimum 5-6 ft. buffer must be provided off Bluewater.
7. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
  8. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
9. Key note 11: Please provide Bike Rack details.
10. Site plan shows a 6 ft wide existing sidewalk off Saul Bell Rd. but a review of Google aerial imagery reveals no sidewalk off Saul Bell Rd. Please address this concern.
11. Key note 17: minimum ADA parking width is 8.5 ft.
12. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
13. Show the clear site triangle on the site access off Saul Bell Rd.
14. Provide a copy of Fire Marshal and Solid Waste approval.
15. Work within the public right of way requires a work order with DRC approved plans.
16. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
17. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
18. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: [mgrush@cabq.gov](mailto:mgrush@cabq.gov)**).
19. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)

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3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
  4. The \$75 re-submittal fee.
- for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

*Marwa Al-najjar*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

PO Box 1293

\ma via: email  
C: CO Clerk, File

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** D& B U-SELL-IT **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** TRACT B AND LOT 5, BLOCK 2, CLIFFORD WEST BUSINESS PARK, UNIT 1  
**City Address:** 8531 BLUEWATER RD., NW

**Applicant:** SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR  
**Address:** 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114  
**Phone#:** (505) 804-5013 **Fax#:** (505) 897-4996 **E-mail:** AECLLC@AOL.COM

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

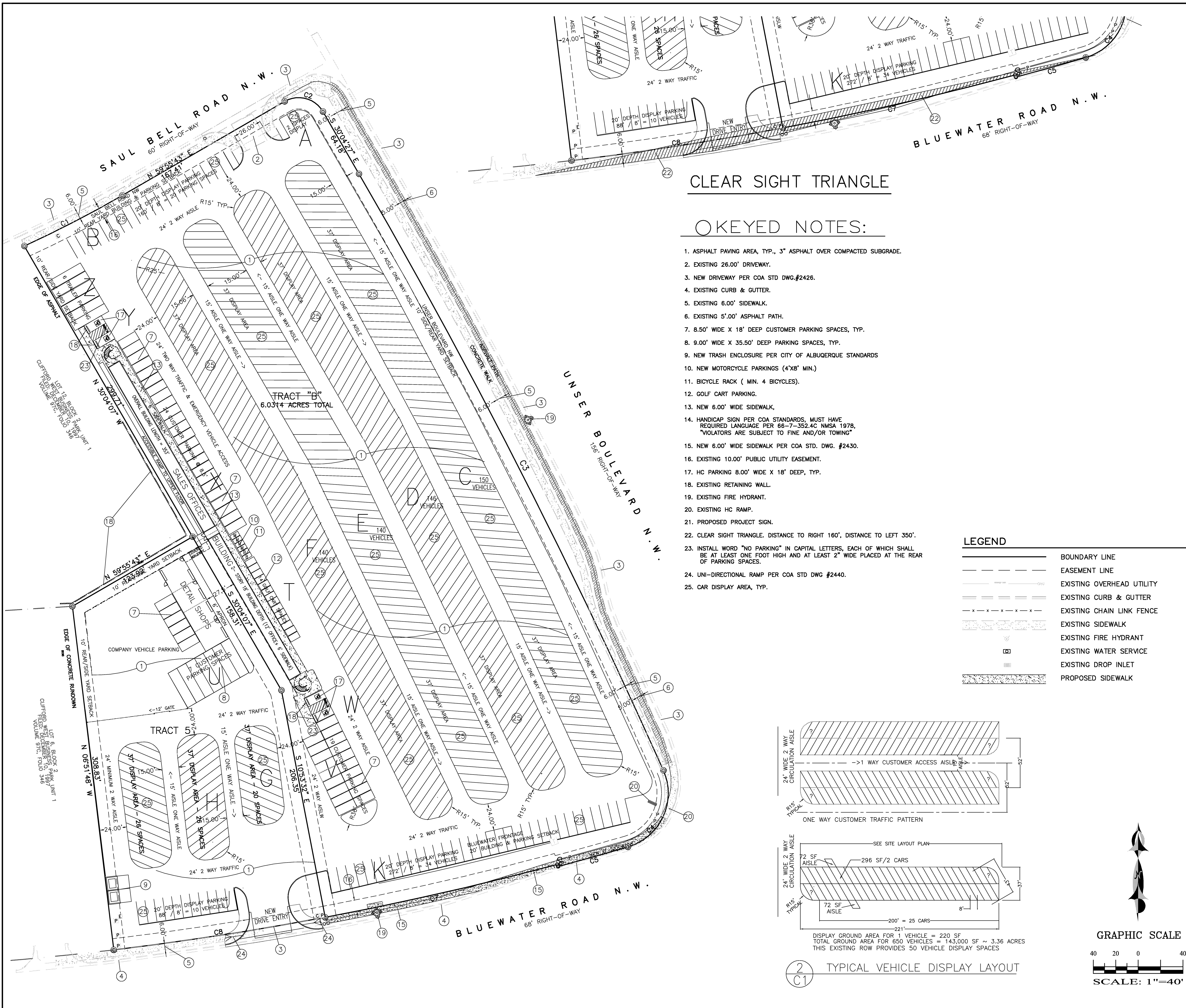
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 12-08-2024 **By:** SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



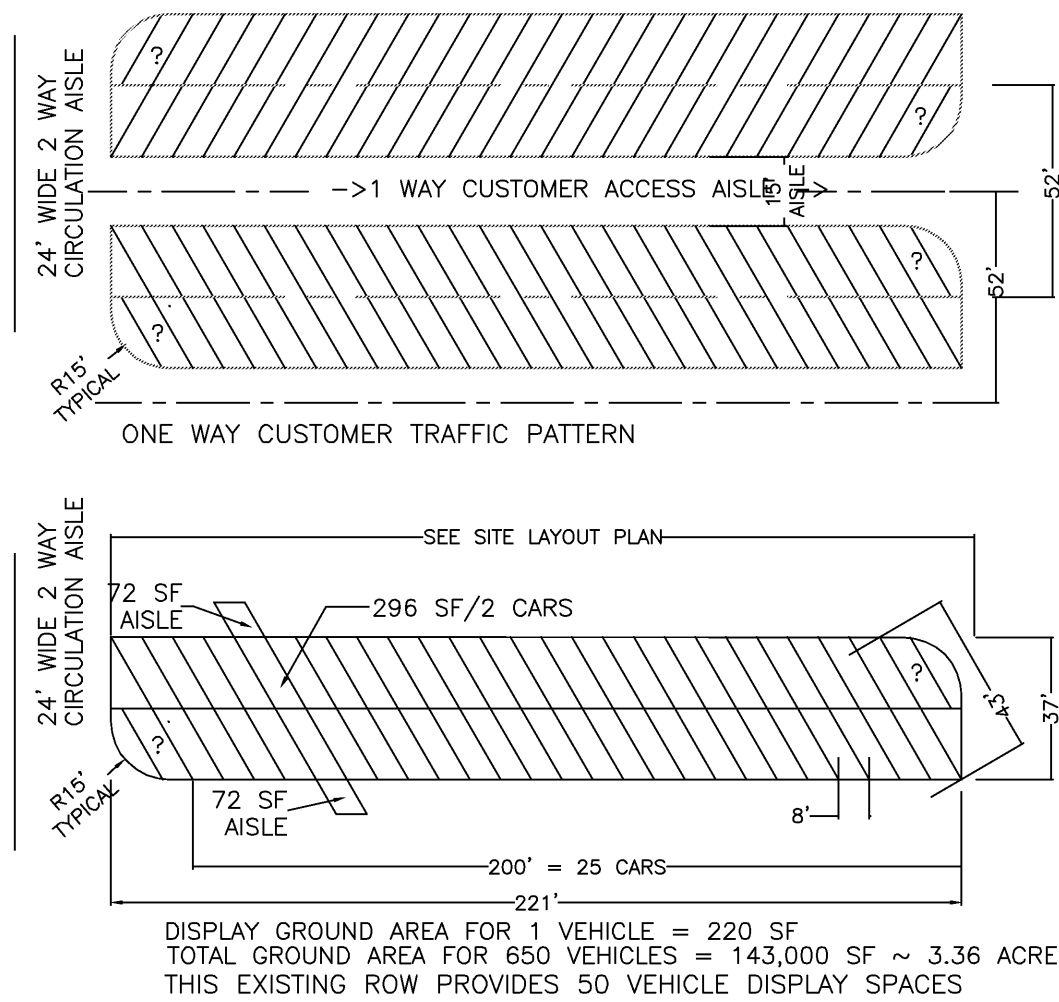
CLEAR SIGHT TRIANGLE

KEYED NOTES:

1. ASPHALT PAVING AREA, TYP., 3" ASPHALT OVER COMPACTED SUBGRADE.
2. EXISTING 26.00' DRIVEWAY.
3. NEW DRIVEWAY PER COA STD. DWG. #2426.
4. EXISTING CURB & GUTTER.
5. EXISTING 6.00' SIDEWALK.
6. EXISTING 5'.00' ASPHALT PATH.
7. 8.50' WIDE X 18' DEEP CUSTOMER PARKING SPACES, TYP.
8. 9.00' WIDE X 35.50' DEEP PARKING SPACES, TYP.
9. NEW TRASH ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS
10. NEW MOTORCYCLE PARKINGS (4'x8' MIN.)
11. BICYCLE RACK ( MIN. 4 BICYCLES).
12. GOLF CART PARKING.
13. NEW 6.00' WIDE SIDEWALK.
14. HANDICAP SIGN PER COA STANDARDS, MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978, "VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING"
15. NEW 6.00' WIDE SIDEWALK PER COA STD. DWG. #2430.
16. EXISTING 10.00' PUBLIC UTILITY EASEMENT.
17. HC PARKING 8.00' WIDE X 18' DEEP, TYP.
18. EXISTING RETAINING WALL.
19. EXISTING FIRE HYDRANT.
20. EXISTING HC RAMP.
21. PROPOSED PROJECT SIGN.
22. CLEAR SIGHT TRIANGLE. DISTANCE TO RIGHT 160', DISTANCE TO LEFT 350'.
23. INSTALL WORD "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST 2" WIDE PLACED AT THE REAR OF PARKING SPACES.
24. UNI-DIRECTIONAL RAMP PER COA STD DWG #2440.
25. CAR DISPLAY AREA, TYP.

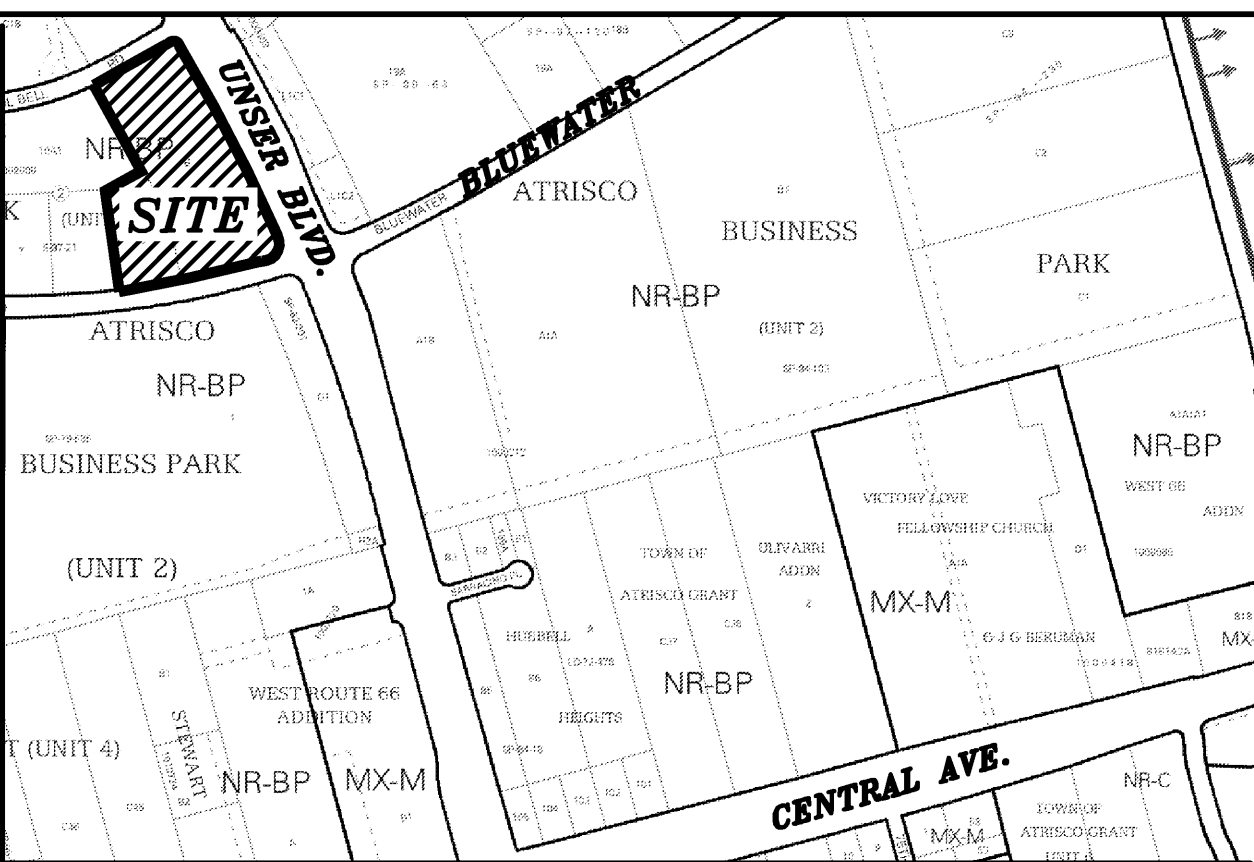
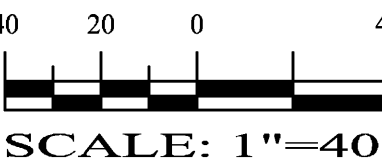
LEGEND

- BOUNDARY LINE
- EASEMENT LINE
- EXISTING OVERHEAD UTILITY
- EXISTING CURB & GUTTER
- EXISTING CHAIN LINK FENCE
- EXISTING SIDEWALK
- EXISTING FIRE HYDRANT
- EXISTING WATER SERVICE
- EXISTING DROP INLET
- PROPOSED SIDEWALK



TYPICAL VEHICLE DISPLAY LAYOUT

GRAPHIC SCALE



VICINITY MAP: K-10-Z

LEGAL DESCRIPTION:  
TRACT "B" & LOT 5 BLK 2, CLIFFORD WEST BUSINESS PARK - UNIT 1  
CONTAINING 7.3379 ACRES (319,639.80 SF)

ADDRESS  
8531 BLUEWATER RD., NW., ALBUQUERQUE, NM 87102

SITE DATA

PROPOSED USAGE: AUTO DEALER AND CAR REALTED SERVICES

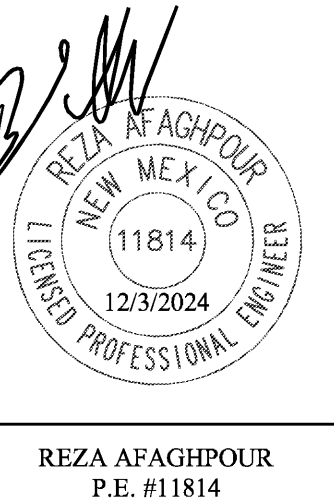
BUILDINGS		
TWO STORY OFFICE BUILDING		
40 PRIVATE OFFICES 11'x13'	5,720 SF	
ADMINISTRATIVE SUPPORT AREAS	2,032 SF	
OFFICE BUILDING FLOOR AREA		7,752 SF
SHOP BUILDING		
3 SERVICE BAYS 20'x24'	1,440 SF	
1 SERVICE BAYS 24'x24'	576 SF	
SHOP BUILDING FLOOR AREA		2,016 SF
TOTAL BUILDINGS FLOOR AREA		9,768 SF

PARKING CALCULATIONS			
BUILDINGS	I.D.O. REQUIRED	PROVIDED	KEYED AREAS
OFFICE BUILDING	26 VEHICLES	47 VEHICLES	Z, X, V
SHOP BUILDING	3 VEHICLES	7 VEHICLES	U
ACCESSIBLE SPACES	1 STANDARD	2 STANDARD	Y, W
	1 VAN	2 VANS	
TOTAL CUSTOMER SPACES		31 VEHICLES	58 VEHICLES
OTHER VEHICLES			
MOTORCYCLES	2 SPACES	4 SPACES	T
BICYCLES	3 SPACES	4 SPACES	
GOLF CARTS	-0-	14 SPACES	

DISPLAY PARKING COUNT		
EAST AREA		
CENTER DISPLAY AREA	576 VEHICLES	KEYED AREAS C, D, E, F
NORTH EDGE DISPLAY AREA	22 VEHICLES	A, B
SOUTH EDGE DISPLAY AREA	34 VEHICLES	K
WEST AREA		
CENTER DISPLAY AREA	72 VEHICLES	G, H, I
SOUTH WEST EDGE	11 VEHICLES	J
TOTAL DISPLAY VEHICLES		715 VEHICLES
DISPLAY SPACES REQUESTED		650 VEHICLES

GENERAL NOTE:

"LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA." PLEASE SEE SIGHT DISTANCE EXHIBIT AT STREET INTERSECTIONS FOR CLARIFICATION (THE DEVELOPMENT PROCESS MANUAL, CHAPTER 23, PART B, SECTION 5. A.



SBS CONSTRUCTION AND ENGINEERING, LLC

7632 WILLIAM MOYERS AVE. NE  
ALBUQUERQUE, NEW MEXICO 87122  
(505)804-5013

D&B U-SELL-IT  
SITE PLAN FOR TCL

DRAWING: 202332-SP.DWG  
DRAWN BY: SH-B  
DATE: 01-3-2024  
SHEET #