



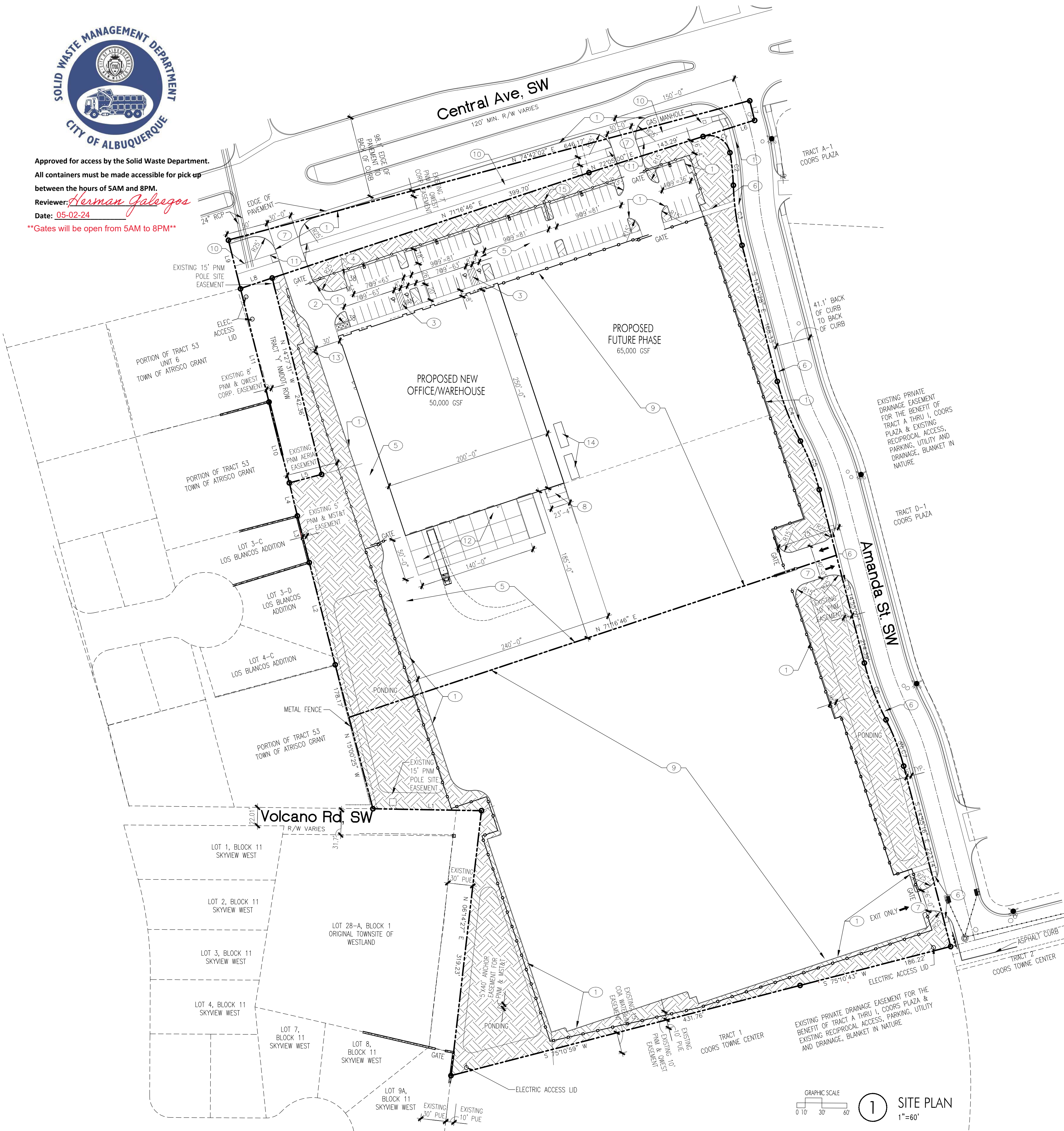
Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: *Herman Gallegos*

Date: 05-02-24

Gates will be open from 5AM to 8PM



PROJECT INFORMATION

PROJECT: NEW OFFICE/WAREHOUSE
LOCATION: 7226 CENTRAL AVE., SW
ALBUQUERQUE, NEW MEXICO
OWNER: BRUNACINI DEVELOPMENT
ARCHITECT: TATE FISHBURN ARCHITECT
LEGAL DESCRIPTION: TRACTS 54, 55 & 1 TOWN OF ATRISCO
GRANT UNIT 6

CURRENT ZONING CLASSIFICATION: NR-C
NET SITE AREA: 13.59 ACRES
BUILDING AREA: OFFICE 2,937 GSF
WAREHOUSE PHASE 1 47,063 GSF
WAREHOUSE PHASE 2 65,000 GSF
115,000 GSF

FAR: NR-C
PARKING ANALYSIS: OFF-STREET PARKING
OFFICE 2,937 GSF 3.5:1000 = 11 SPACES
WAREHOUSE 112,063 GSF NO REQUIREMENT

HANDICAP PARKING (50-100 PRVD) = REQUIRED 11 SPACES
TOTAL SPACES PROVIDED 77 SPACES
PROVIDED 4 SPACE TOTAL (1 VAN)
PROVIDED 4 SPACE TOTAL (1 VAN)

MOTORCYCLE PARKING (1-25 ROD) = REQUIRED 1 SPACE
PROVIDED 1 SPACE

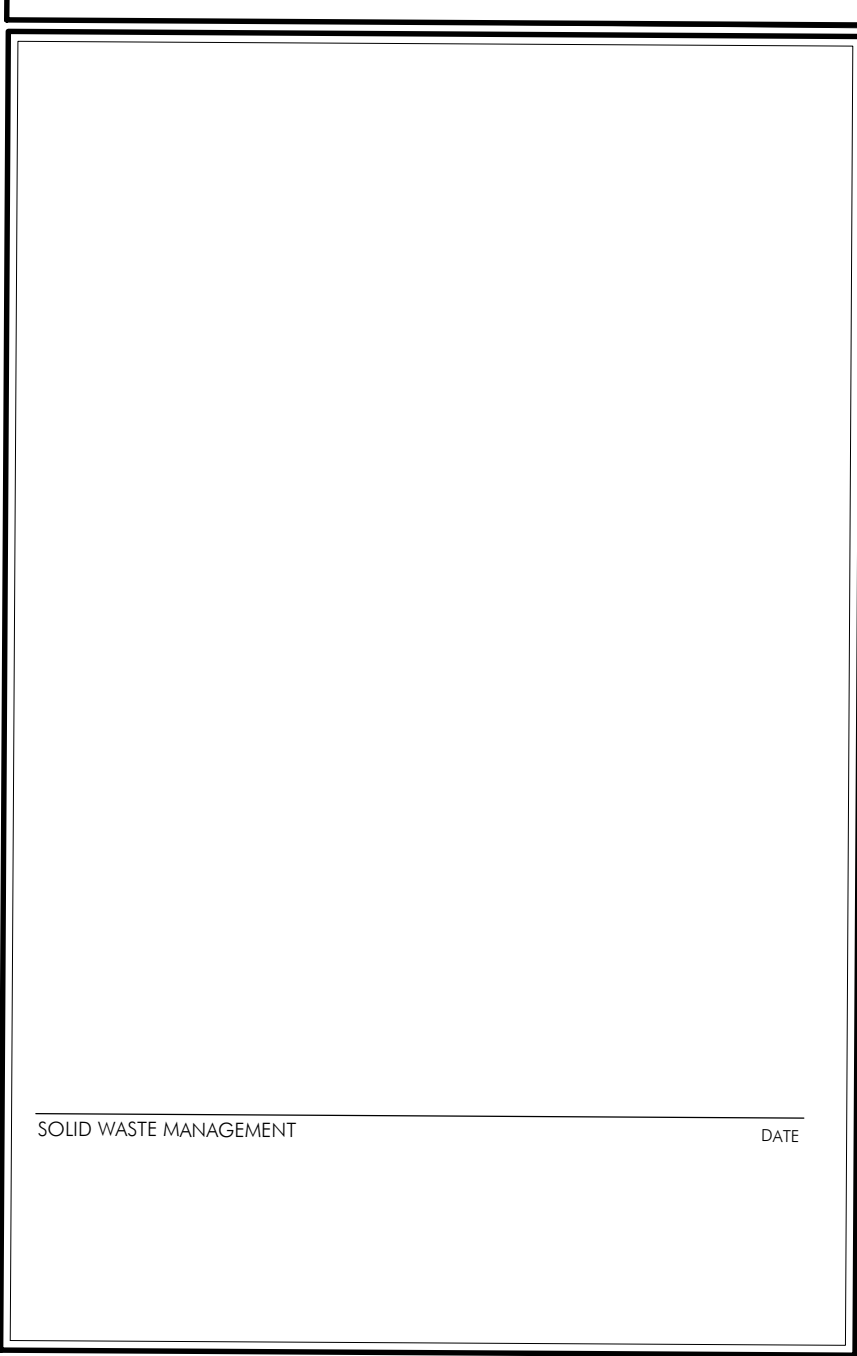
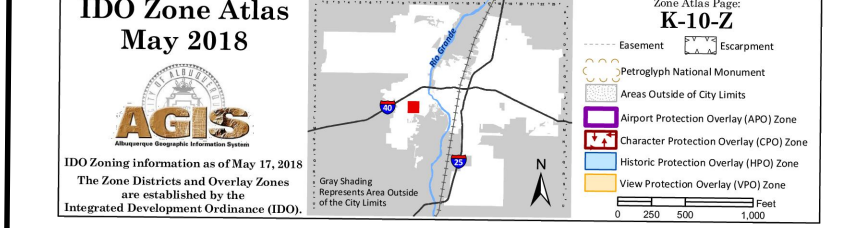
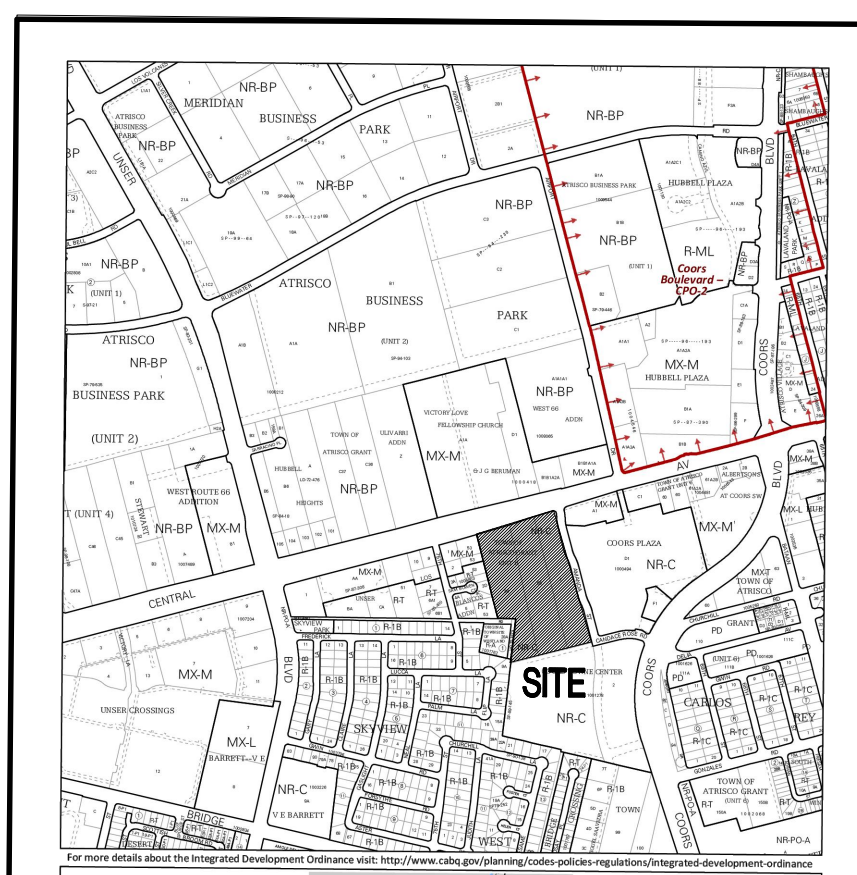
BICYCLE PARKING 10% OF REQ'D or 3 = REQUIRED 3 SPACES
PROVIDED 3 SPACES

Curve Table				
Curve #	Length	Radius	Delta	Chord Length
C1	42.49' {42.45'}	25.00'	97°22'49"	37.56'
C2	39.23' {39.30'}	270.00'	8°19'32"	39.20'
C3	72.75' {72.68'}	330.00'	12°37'50"	72.60'
C4	76.76' {76.39'}	330.00'	13°19'36"	76.58'
C5	62.50' {62.50'}	270.00'	13°15'47"	62.36'
C6	72.89' {72.68'}	330.00'	12°39'18"	72.74'
C7	59.49' {59.47'}	270.00'	12°37'24"	59.37'

Line Table		
Line #	Direction	Length (ft)
L1	N 89°18'08" W ((N 89°48'32" W))	129.99' (130.4')
L2	N 14°33'44" W *(N 14°34'27" W)*	126.15'
L3	N 14°41'34" W *(N 14°34'27" W)*	57.64' *(55.40')*
L4	N 14°03'07" W *(N 15°06' W)*	40.73'
L5	N 74°53'24" E *(N 74°53'24" E)*	40.01' *(40.00')*
L6	S 72°06'00" W *(S 71°44'20" W)*	64.65'
L7	N 14°20'05" W *(N 15°02'48" W)*	24.13' *(24.13')*
L8	S 71°16'46" W *(S 71°44'20" W)*	40.11' *(40.06')*
L9	N 14°20'05" W *(S 15°02'48" E)*	59.86' *(60.00')*
L10	N 14°27'22" W *(N 15°06' W)*	100.08'
L11	N 14°27'31" W	139.76'

KEYED NOTES

- CONCRETE CURB, TYP.
- (3) BICYCLE PARKING STALLS W/ 1' CLEAR ZONE AROUND STALL
- HC PARKING, RAMP, SIGN & PATHWAY
- (1) 4'X20' MOTORCYCLE PARKING SPACE & SIGN, REFER DETAIL 4/SDP-1, PARKING SPACE SHALL HAVE THE LETTERS "MC" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST 2' WIDE PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE VEHICLES REAR TIRE WOULD BE PLACED
- 2" ASPHALT PAVING OVER 4" BASE COURSE
- SIDEWALK & RAMPS PER COA STD DWG 2430 & 2415
- ENTRANCE DRIVE PER COA STD DWG 2426
- REFUSE ENCLOSURE
- 4" CRUSHED ASPHALT
- 10' ASPHALT SIDEWALK
- RAMPS PER COA STD DWG 2430 & 2415
- CONCRETE DRIVE @ TRUCK DOCK
- ELEC. TRANSFORMER LOCATION
- 10'X30' CONCRETE PADS
- EXISTING BILL BOARD SIGN

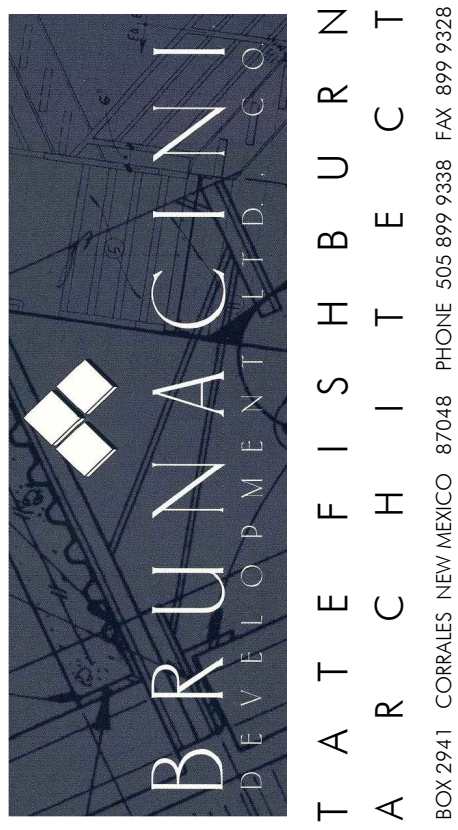


LEGEND

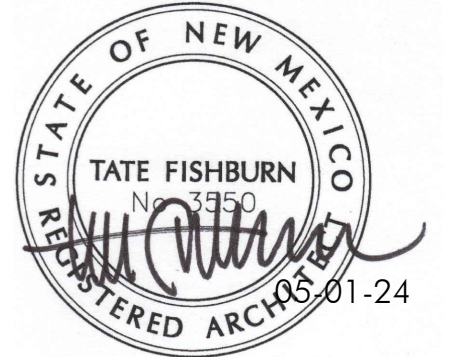
- PROPERTY LINE
- EASEMENT LINE
- LANDSCAPED AREA
- 6' DESIGNMASTER FENCING, CLASSIC AND GATES AS NOTED
- 8' TALL OPAQUE FENCING AND GATES AS NOTED
- PONDING PONDING AREA
- SITE DISTANCE AND SITE TRIANGLE BASED ON COA DPM 7-4(i)(5)(ii) and 7-4(i)(5)(iv), LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE
- HANDICAP PARKING PAVEMENT MARKING
- EXISTING FIRE HYDRANT

GENERAL NOTES

- THIS SITE PLAN MEETS THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE IDO.
- ALL SITE LIGHTING SHALL COMPLY WITH IDO SECTION 14-16-5-8. OUTDOOR AND SITE LIGHTING.
- PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE & LOCAL SAFETY & ILLUMINATION REQUIREMENTS.
- ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
- ROOF TOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDINGS BASIC MATERIALS. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHTS-OF-WAY AND THE SITE ACCESS EASEMENT.
- SITE HANDICAP RAMPS SHALL BE BUILT BY COA STANDARD DRAWING #2441.



ARCHITECT SEAL



ENGINEER SEAL

PROJECT

SKYVIEW WEST INDUSTRIAL
FOR BRUNACINI DEVELOPMENT
7226 CENTRAL AVE., SW
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE MAY 1, 2024

NORTH SCALE

1"=60'-0"
OR AS NOTED

DRAWING NAME

SITE DEVELOPMENT
PLAN

SHEET NUMBER

SDP-1