

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 15, 2024

Joshua Valenta, P.E.
MatkinHoover Engineering
8 Spencer Road, Suite 100
Boerne, Texas 78006

**RE: Quik Trip Store #7001
521 Unser Blvd NW
Conceptual Grading & Drainage Plans
Engineer's Stamp Date: No Date
Hydrology File: K10D071**

Dear Mr. Valenta:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 05/02/2024, the Conceptual Grading & Drainage Plans **are not** approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. Most of this information was provided on the Cover Sheet. However, per the DPM the following must be on the Grading Plan. Please note the Grading Plan must be a stand-alone construction document.
 - a. Please provide a Vicinity Map. Typically, this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.
 - b. Please provide the Benchmark information (location, description and elevation) for the survey contour information provided.
 - c. Please provide the FIRM Map and flood plain note with effective date.
 - d. Please provide a legal Description of the property.
2. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100 year-6 hour storm event.
3. Please note that this site is also within Clifford West Business Park Master Drainage Plan by Mark Goodwin & Associates dated 1997 (K09D023). Originally, this project area was allowed to discharge 3.60 cfs from 4.56 acers to the back of an existing inlet on Unser Blvd and 1.65 cfs from 2.09 acers to the back of an existing inlet on Unser Blvd.

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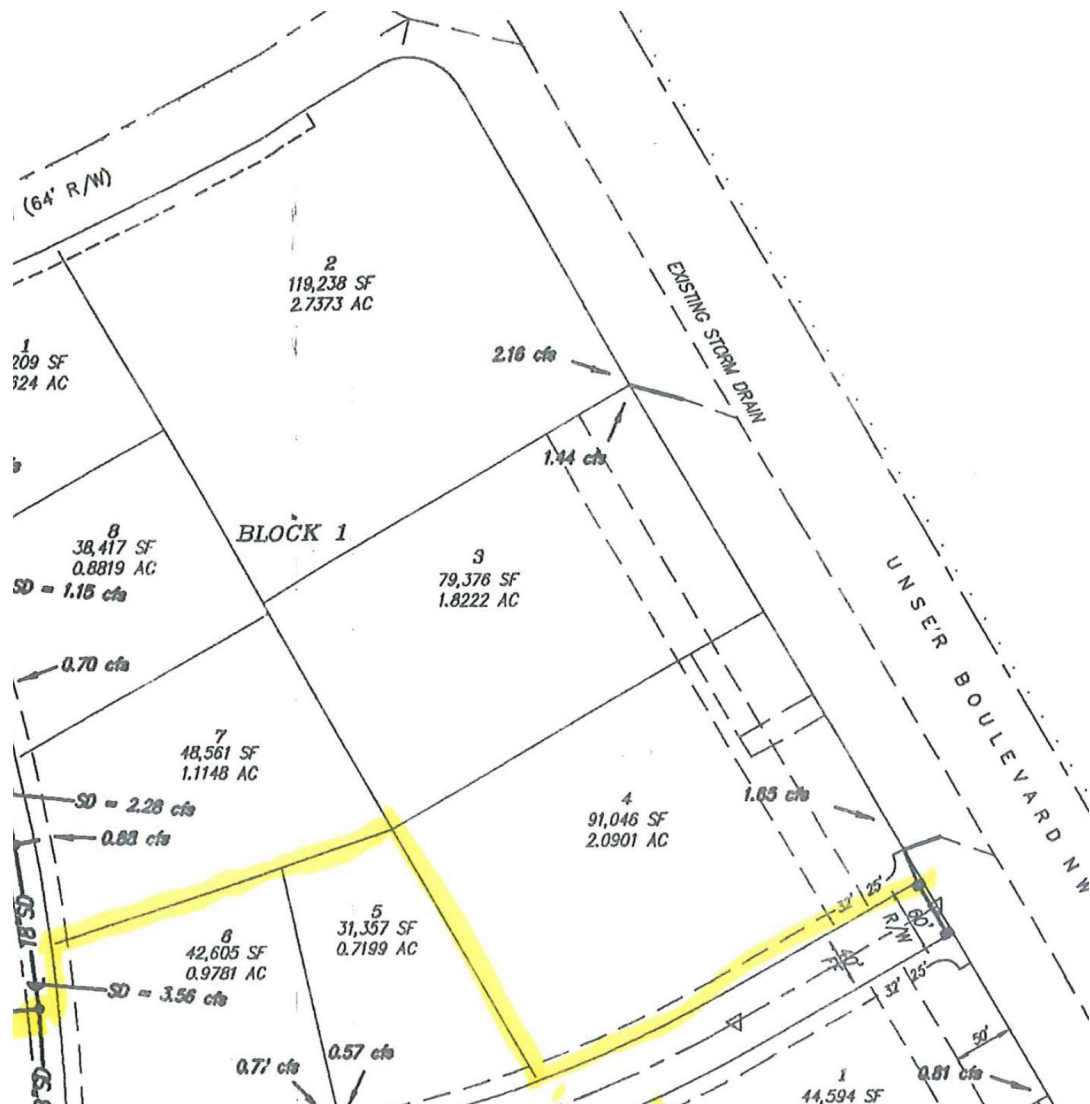
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Then in 2006, Jeff Mortensen & Associated revised this areas drainage so that now a portion of this projects site will drain to Unser Blvd and a portion is to drain to an existing detention pond. However, this revised drainage plan only took this project's site as native vegetative (Type A land type per the City's DPM). It also stated that if this track was to be developed, then the detention pond would have to be resize to handle the developed condition of the site.

It is up to you to either just follow the original Master Drainage Plan that has the allowable rate to Unser's storm drain system or revise the existing detention pond to handle this site's developed conditions.

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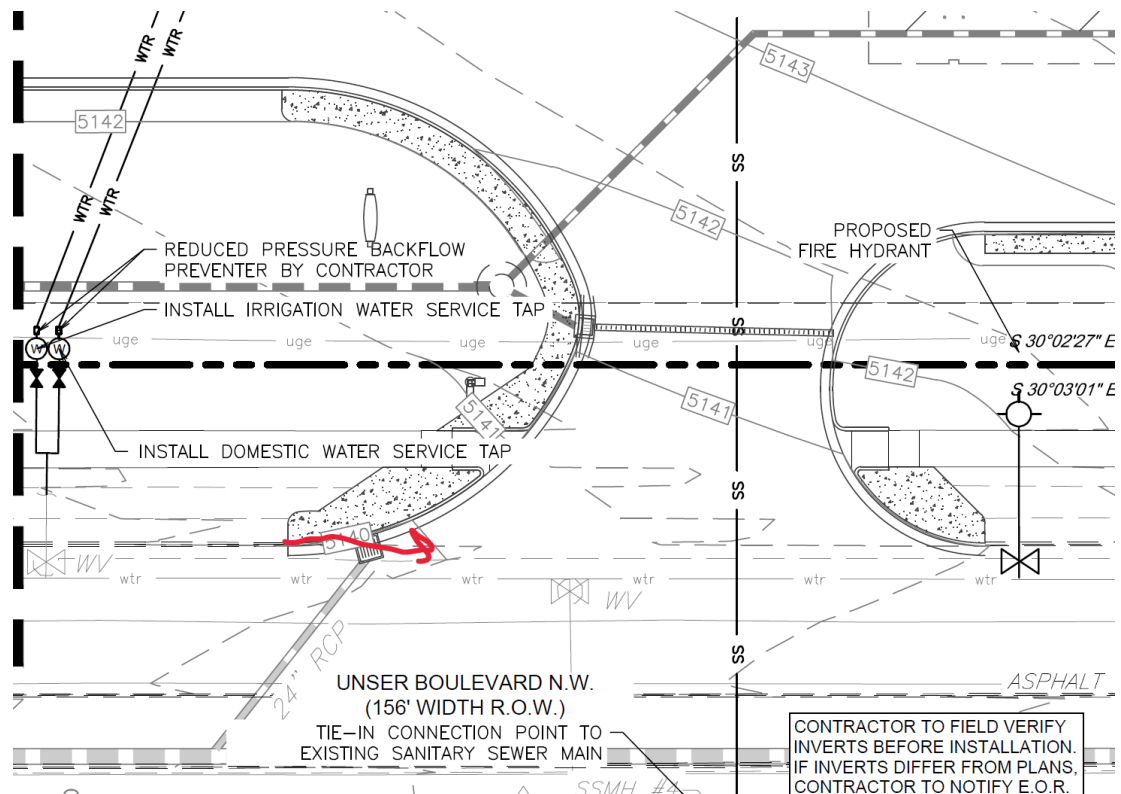
4. Please follow the DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the impervious area by 0.42 inches for new development sites.
5. Please number the ponds and include a label on each with the SWQV and elevation, the 100-year volume and elevation, the peak 100-year inflow and outflow, the spillway crest elevation, the spillway flow depth, and the dam top elevation.
6. All gas stations must drain to an oil/water separator (the Owner's choice) prior to discharge. This is mainly for the area around the pumps so some previous stations have placed this prior the remainder of the runoff going into the Stormwater quality pond. Since this site appears to be collected in a pipe system, instead of a manhole, this can be an oil/water separator.
7. Please include the proposed pipe sizes on the Conceptual Grading & Drainage Plans.
8. There is an existing inlet at the driveway location. The entrance needs to be shifted over about 15 feet to ensure that the back of curb radius is tangent at the inlet's transition section.

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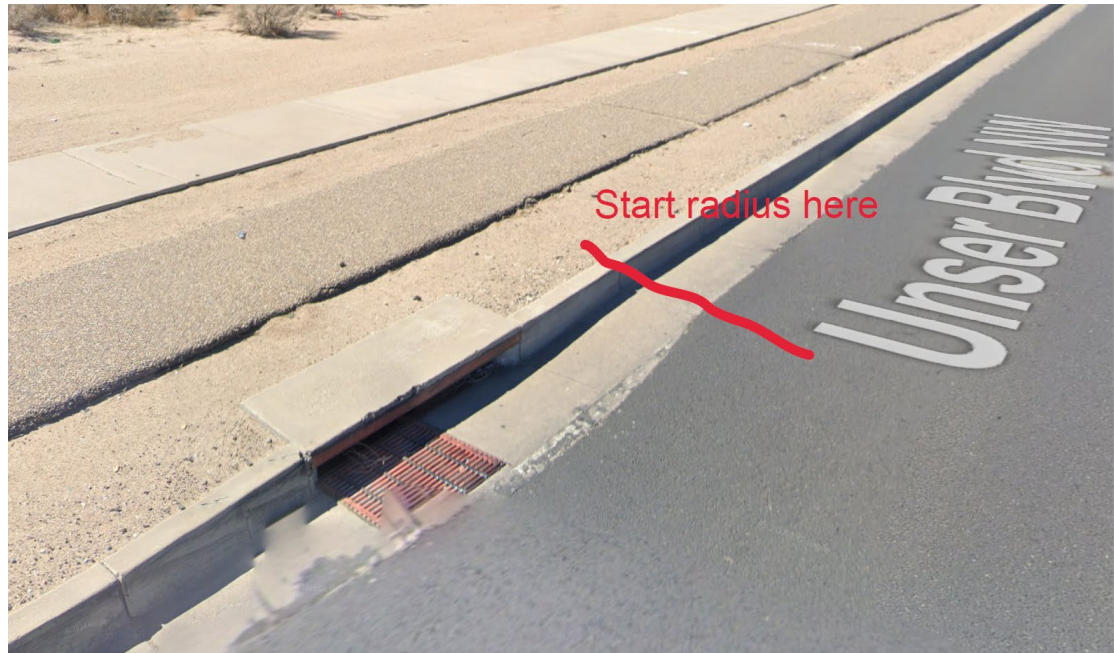


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As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

FILE LOCATION:z:\PROJECTS\QUIKTRIP\7001 - unsr & los volcanes - albuquerque mm\0369-7001 Civi.dwg TAB NAME:89-7001 Civil - Cover Sheet USER:gscock SAVED:4/24/2024 11:19 AM PLOTTED:4/24/2024 11:20 AM

GENERAL NOTES:

- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED FROM THE GOVERNING AGENCIES AND COORDINATING ALL GOVERNING AGENCY INSPECTIONS REQUIRED THROUGHOUT THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. REFERENCE SITE WORK SPECIFICATIONS.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGE TO ADJACENT PROPERTIES AND NEW CONSTRUCTION IN PLACE DURING THE CONSTRUCTION PHASES OF THIS PROJECT. ANY DISTURBED IMPROVEMENTS SHALL BE REPLACED IN KIND AT THE CONTRACTORS EXPENSE.
- ANY QUANTITIES PROVIDED ON THESE PLANS ARE FOR GENERAL REFERENCE PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITIES REQUIRED FOR CONSTRUCTION.
- THE EXISTING FEATURES SHOWN ON THESE PLANS ARE THOSE NOTED IN THE FIELD AND THOSE TAKEN FROM RECORD DRAWINGS. THERE IS NO GUARANTEE THAT ALL FEATURES (ABOVE OR BELOW GROUND) ARE SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING FEATURES PRIOR TO BIDDING THE PROJECT.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION BY CONTACTING THE LOCAL UTILITY COMPANIES AND/OR UTILIZING THE LOCAL ONE-CALL SYSTEM. ANY DAMAGE DONE TO EXISTING UTILITIES (THAT ARE TO REMAIN IN PLACE) DURING CONSTRUCTION OPERATIONS WILL BE THE CONTRACTOR'S RESPONSIBILITY AND REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNERS CONTRACT DOCUMENTS AND SPECIFICATIONS. ALL WORK SHALL MEET OR EXCEED THE RELEVANT UTILITY COMPANIES AND REGULATORY AGENCIES' CONTRACT DOCUMENTS AND SPECIFICATIONS. ALL WORK WITHIN PUBLIC AND STATE RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCIES STANDARDS AND SPECIFICATIONS.
- TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER TRAFFIC CONTROL IS IN PLACE FOR EACH PHASE OF CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROPERLY MAINTAINING TRAFFIC CONTROL DEVICES THROUGHOUT THE DURATION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PLANS TO THE CITY AND DEPARTMENT OF TRANSPORTATION AS REQUIRED.

WETLANDS NOTICE:

ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/ DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

WARRANTY/DISCLAIMER:

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION REPRESENTATIVE. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

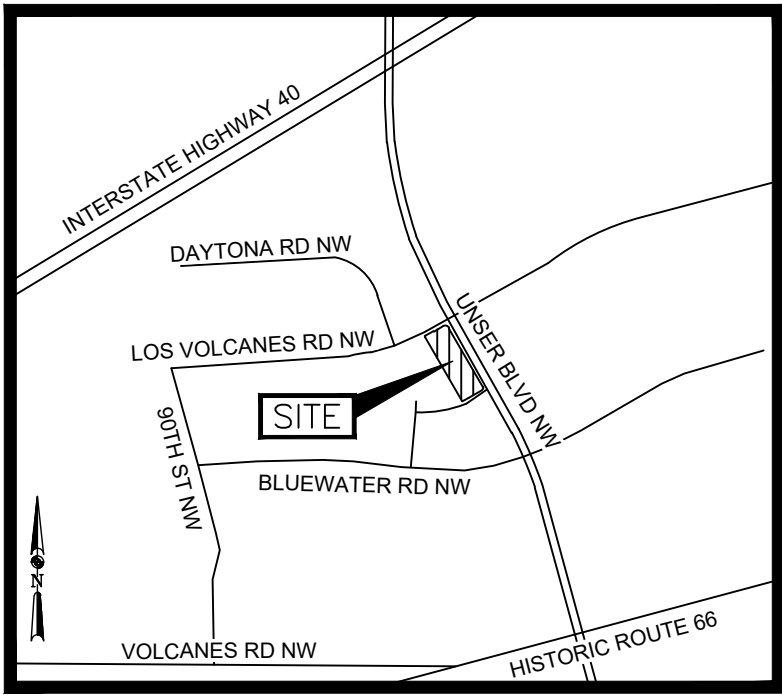
FLOOD CERTIFICATION:

THIS PROPERTY LIES IN ZONE "X" AND DOES NOT LOCATE WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AS INDICATED ON FEMA PANEL NO. 328 OF 825, MAP NUMBER 35001C0328J, DATED NOVEMBER 4, 2016.

BENCHMARKS:

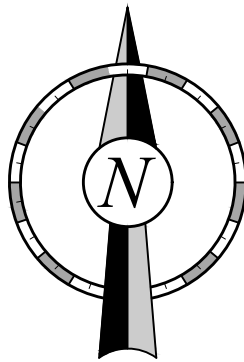
- BM#100 A SET MAGNAIL IN CONCRETE CURB BEARS, S39° 03' 20"W 65.54' FROM WEST PROPERTY CORNER OF THE SUBJECT TRACT. ELEVATION=531.87'
- BM#200 A SET MAGNAIL IN CONCRETE BEARS, N29° 19' 28"W 215.14' FROM THE SOUTH PROPERTY CORNER OF THE SUBJECT TRACT. ELEVATION=521.29'

SITE PLAN PACKET
QUIKTRIP STORE #7001
521 UNSER BLVD. NW
ALBUQUERQUE, NEW MEXICO



Vicinity Map

Not to Scale



MUNICIPAL CONTACT LIST:

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
600 2ND NW
ALBUQUERQUE, NM 87102
TEL: (505) 924-3860
FAX: (505) 924-3339
CONTACT: ALAN VARELA

INSPECTOR GENERAL'S OFFICE
1 CIVIC PLZ NW
ALBUQUERQUE, NM 87102
TEL: (505) 768-3150
CONTACT: MELISSA R. SANTISTEVAN

FIRE RESCUE
11500 SUNSET GARDENS SW
ALBUQUERQUE, NM 87121
TEL: (505) 768-9300
FAX: (505) 768-9340
CONTACT: EMILY JARAMILLO
(CHIEF)

MUNICIPAL DEVELOPMENT DEPARTMENT
1 CIVIL PLZ NW
ALBUQUERQUE, NM 87102
TEL: (505) 768-3830
FAX: (505) 768-2310
CONTACT: PATRICK MONTOYA

TRANSIT DEPARTMENT
100 1ST SW
ALBUQUERQUE, NM 87102
TEL: (505) 724-3100
FAX: (505) 724-3189
CONTACT: LESLIE KEENER

CITY OF ALBUQUERQUE WATER AUTHORITY
TEL: (505) 842-9287

PNM ELECTRIC SERVICE
TEL: (888) 342-7968

NEW MEXICO GAS COMPANY
TEL: (888) 664-2726

TELEPHONE COMPANY
US WEST: (505) 242-1044
UNITE NETWORKS: (505) 510-4955
MCI/VERIZON: (800) 880-1077
SWB/AT&T: (505) 830-2720

PROJECT CONTACT LIST:

SURVEYOR OF RECORD
OPEN RANGE FIELD SERVICES, LLC.
JANSEN M. ROBICHAUX
1503 S BARNES ST.
PAMPA, TX 79065
TEL: (806) 665-0770

ENGINEER OF RECORD
MATKINHOOVER ENGINEERING & SURVEYING
JOSHUA VALENTA, P.E.
8 SPENCER ROAD, SUITE 100
BOERNE, TEXAS 78006
TEL: (830) 249-0600
FAX: (830) 249-0099

QT REAL ESTATE PROJECT MANAGER
QUIKTRIP CORPORATION
DANIEL CHAMBERS
1116 EAST BROADWAY ROAD
TEMPE, AZ 85282
TEL: (480) 446-6321

QT CIVIL PROJECT MANAGER
QUIKTRIP CORPORATION
WADE RICHARDSON
4705 S. 129TH E. AVE.
TULSA, OK 74134
TEL: (918) 615-5116

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PRELIMINARY SET
NOT FOR CONSTRUCTION

PROJECT NO.: 7001.01

MATKINHOOVER
ENGINEERING & SURVEYING
8 SPENCER ROAD, SUITE 100
BOERNE, TEXAS 78006
CONTACT: JAM@MATKINHOOVER.COM

TEXAS REGISTERED ENGINEERING FIRM
F-004612-00 SURVEYING FIRM F-00369000

QuikTrip No. 7001
521 UNSER BLVD. NW
ALBUQUERQUE, NEW MEXICO



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VERSION: 001
DESIGNED BY: GSC
DRAWN BY: MJM
REVIEWED BY: CGW

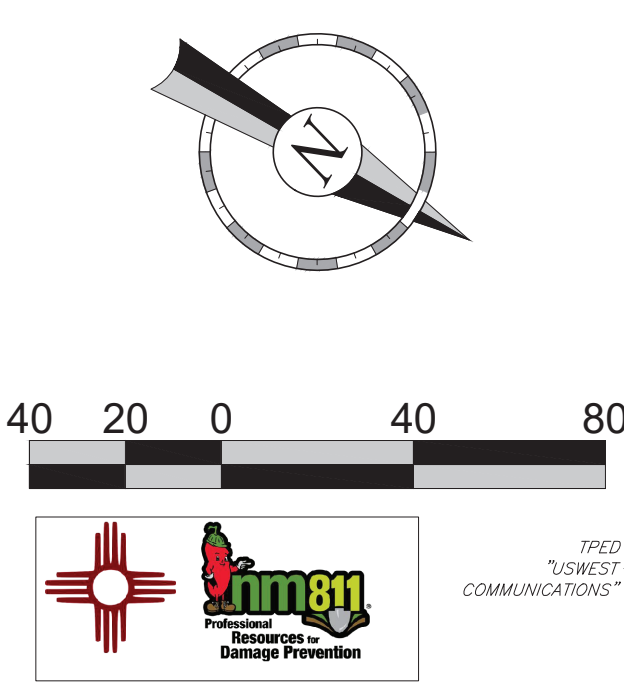
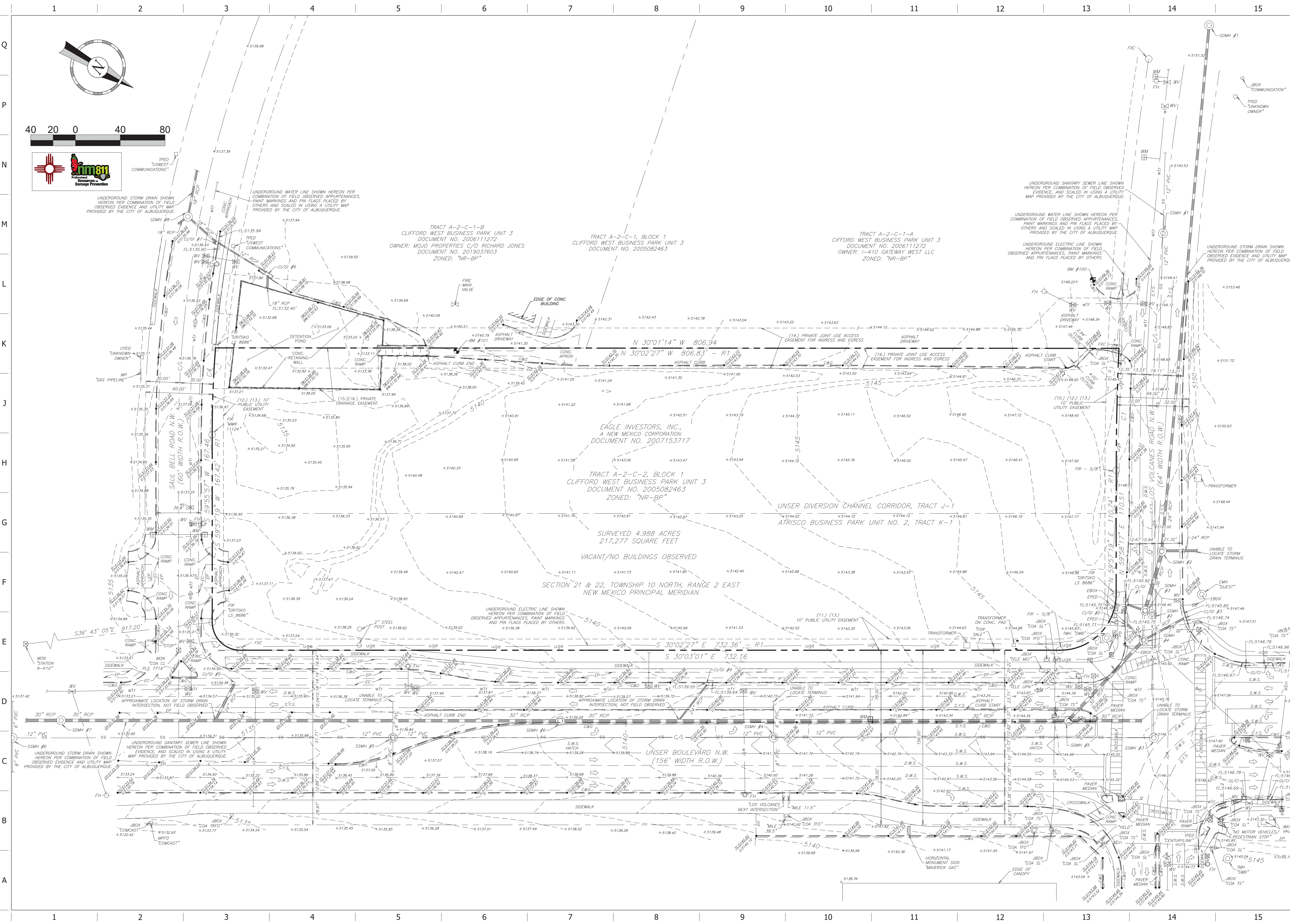
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ORIGINAL ISSUE DATE: 04.19.24

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COVER SHEET

SHEET NUMBER:

C001
01 OF 20



PROJECT NO.: 23-4114



QuikTrip No. 7001

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VERSION: 001
DESIGNED BY:
DRAWN BY: JSO
REVIEWED BY: KP

REV	DATE	DESCRIPTION

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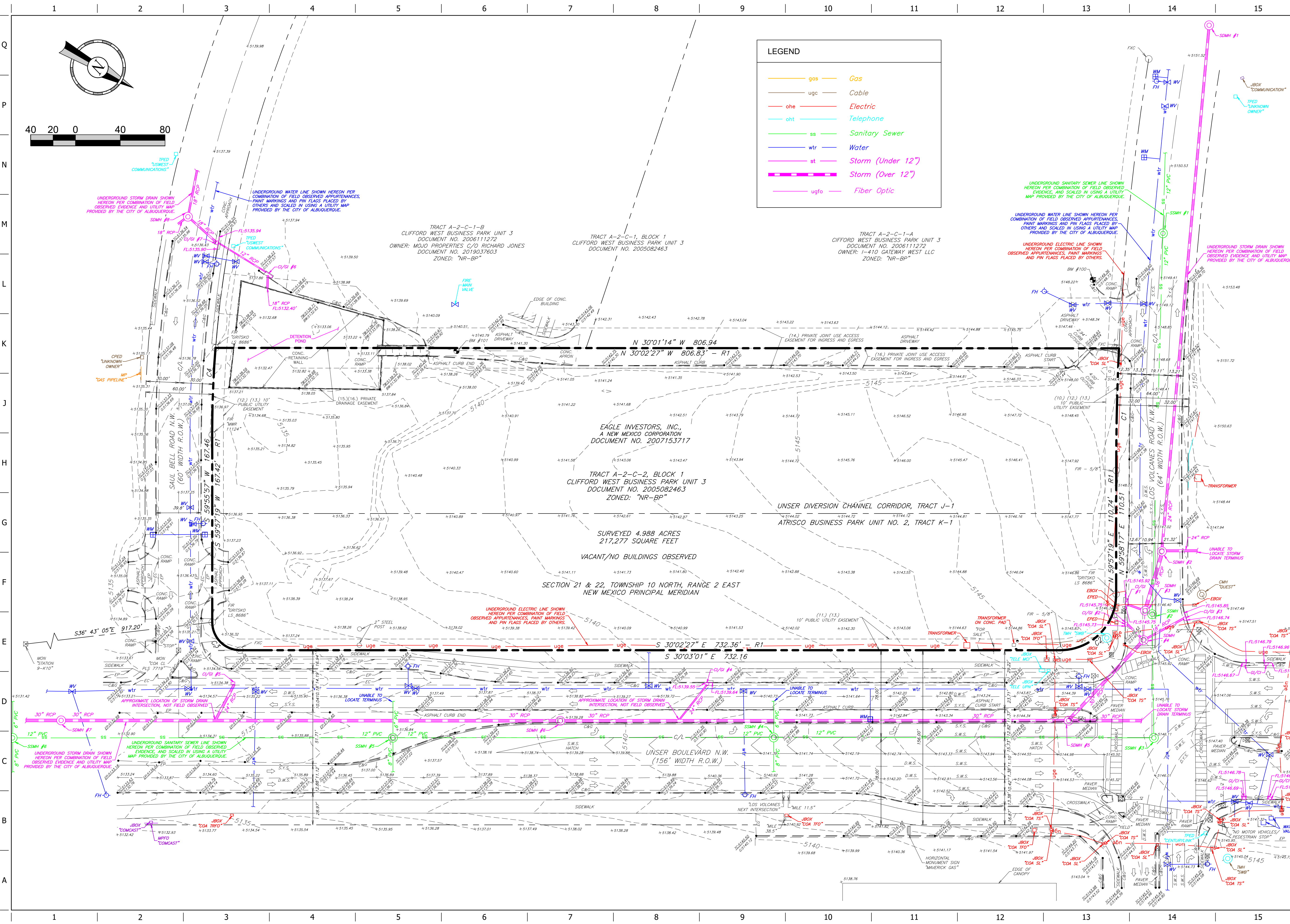
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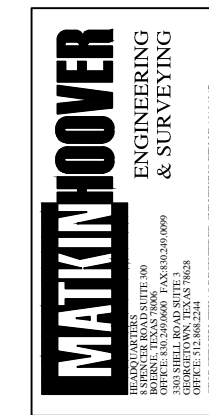
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C020





PROJECT NO.: 23-4114



QuikTrip No. 7001
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DRAWN BY: JSO
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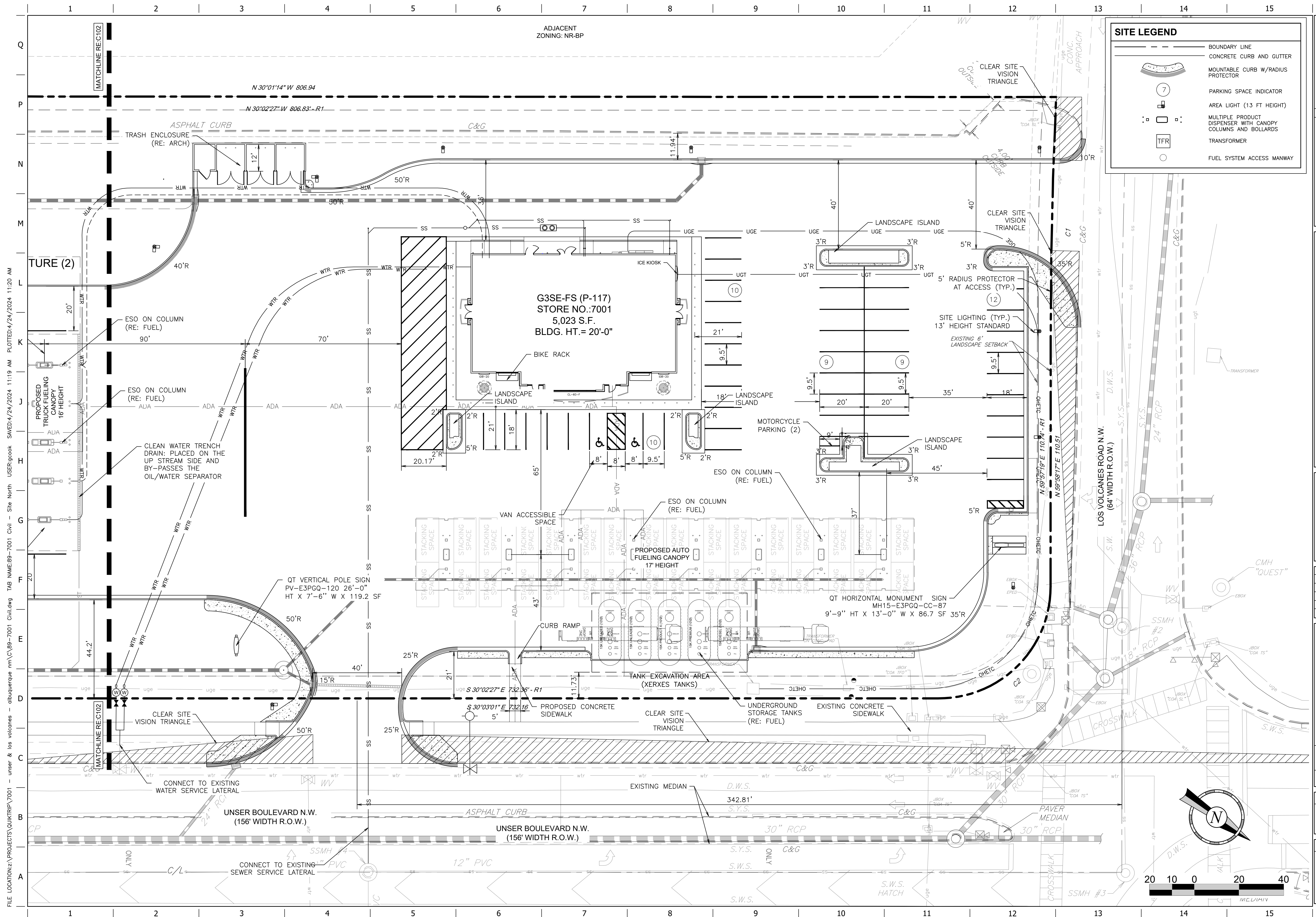
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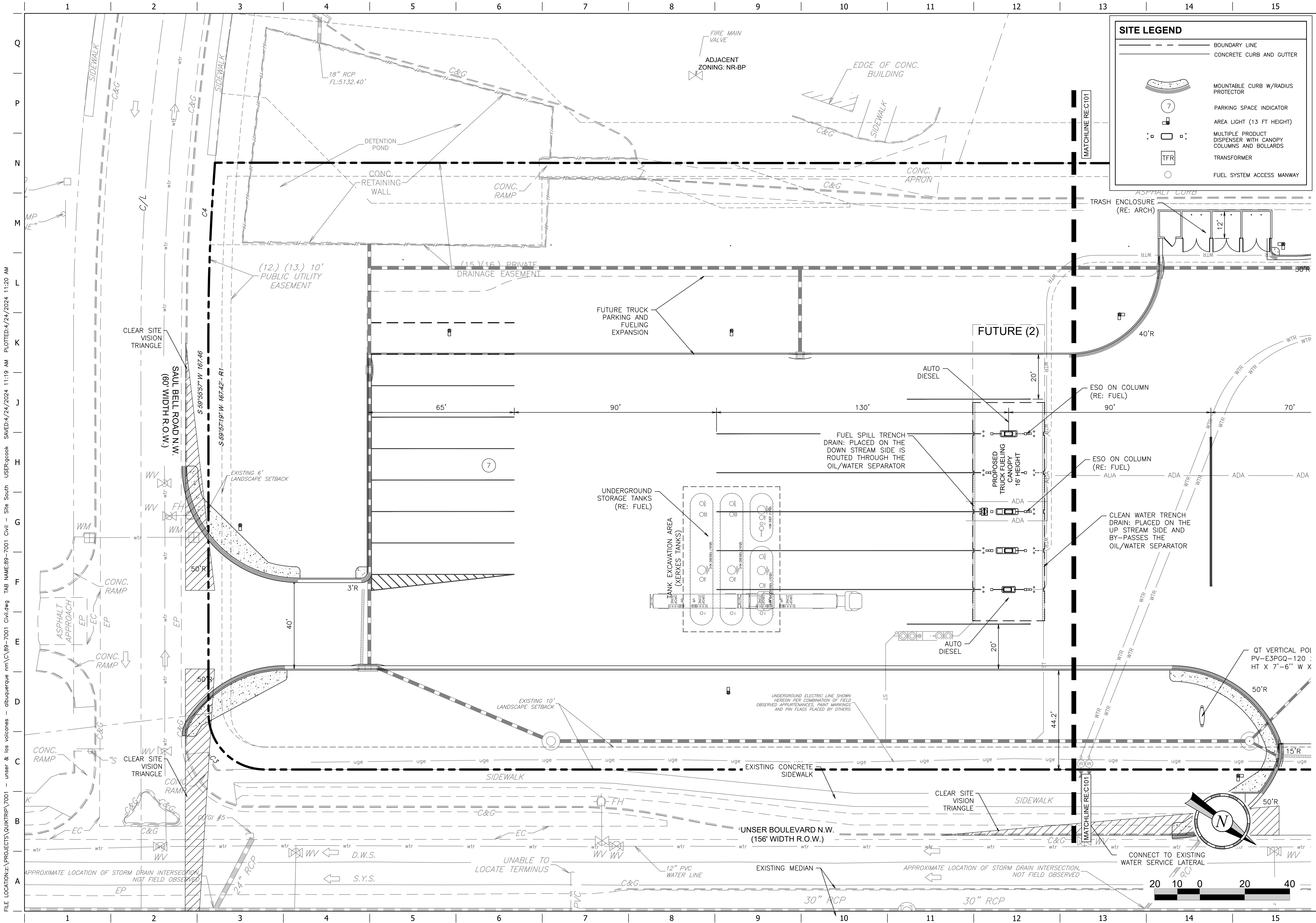
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SHEET NUMBER:

C020



FILE LOCATION:z:\PROJECTS\QUICKTRIP\7001 - unser & los volcanes - albuquerque mm\039-7001 Civi.dwg TAB NAME:89-7001 Civil - Site South USER:gcocok SAVED:4/24/2024 11:19 AM PLOTTED:4/24/2024 11:20 AM



PRELIMINARY SET
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PROJECT NO.: 7001.01
MATKINHOVER
ENGINEERING
& SURVEYING
8 SPENCER ROAD, SUITE 100
BRIEN, TEXAS 76006
CONTACT: @MATKINHOVER.COM
TEXAS REGISTERED ENGINEERING FIRM
P-50465 SURVEYING FIRM P-0084900

QuikTrip No. 7001
521 UNSER BLVD. NW
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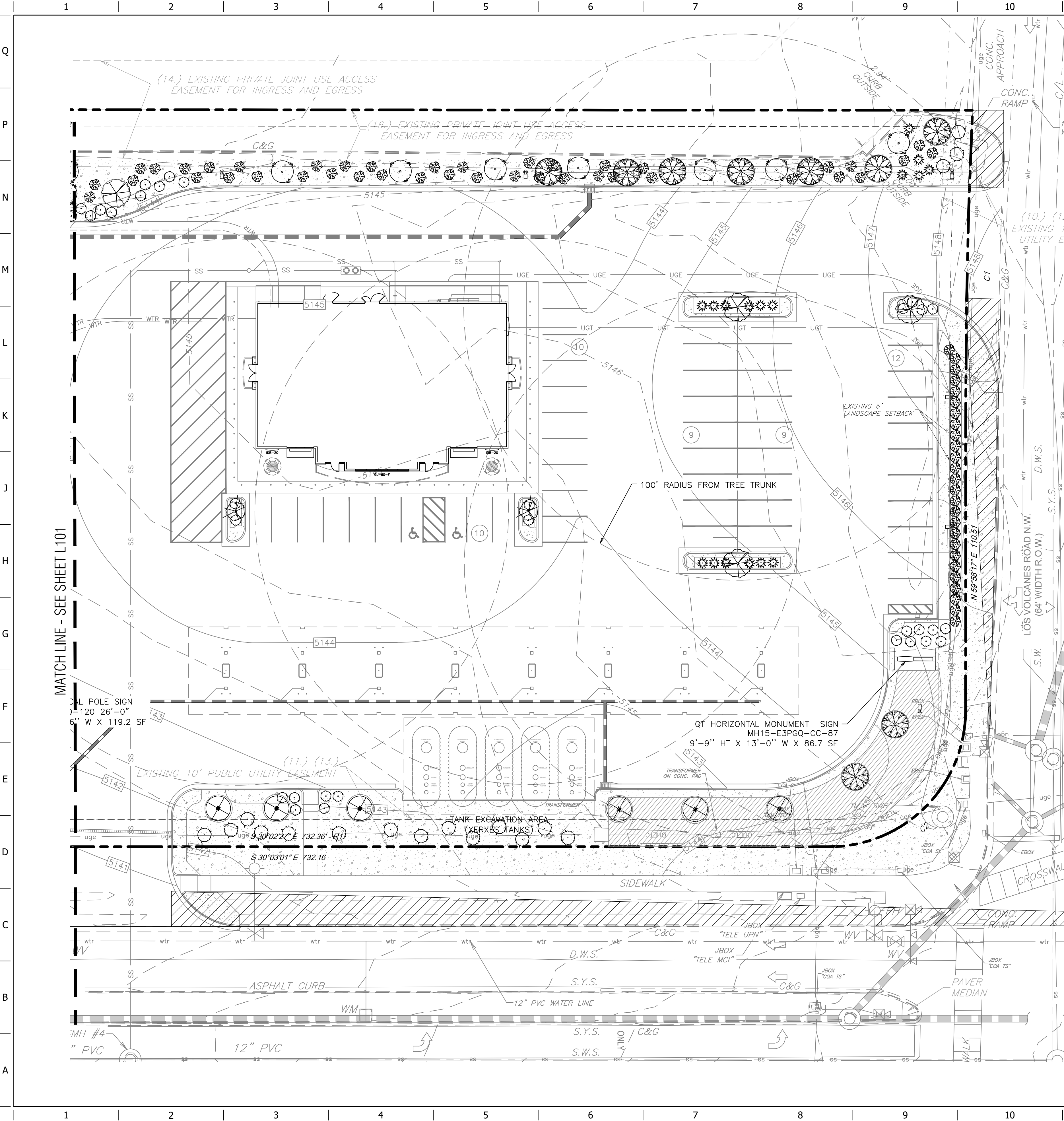
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SHEET TITLE:
SITE PLAN SOUTH

SHEET NUMBER:
C102
07 OF 20

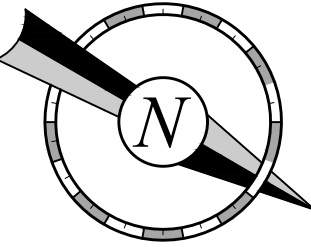
ORIGINAL ISSUE DATE: 04.19.24

FILE LOCATION: C:\Users\doray\Documents\DBA\PROJECTS\2024\Matkin Hoover\QT 7001 - Unser - Albuquerque, NM\Received\2024-04-19\ACAD-89-7001 Landscape Store USER: doray SAVED: 4/19/2024 4:58 PM PLOTTED: 4/19/2024 4:58 PM



Landscape Schedule						
USE	SYMBOL	COMMON NAME <i>Botanical Name</i>	MINIMUM SIZE/ HEIGHT/SPREAD	QUANTITY	WATER USE	COMMENTS
SHRUBS		BLACK DALEA <i>Dalea frutescens</i>	1 GALLON 10" HT X 15" MIN	57 EA.	LOW	SEE LANDSCAPE PLAN AND ASSOCIATED DETAILS FOR LANDSCAPE BED LOCATIONS AND SHRUB SPACING
		DESERT SPOON <i>Dasyliion wheeleri</i>	1 GALLON 16" HT X 24" MIN	57 EA.	LOW	
		RED YUCCA <i>Hesperaloe parviflora</i>	HEIGHT/SPREAD RATIO = 3:2 16" HT X 24" MIN	52 EA.	LOW	
		LYNN'S LEGACY TEXAS SAGE <i>Leucophyllum langmaniae</i>	HEIGHT/SPREAD RATIO = 3:2 16" HT X 24" MIN	130 EA.	LOW	
		EVERGREEN SUMAC <i>Rhus virens</i>	HEIGHT/SPREAD RATIO = 3:2 16" HT X 24" MIN	49 EA.	LOW	
TREES		LACEBARK ELM <i>Ulmus parvifolia</i>	2" CALIPER 10'-12' HT	14 EA.	MEDIUM	• SEE LANDSCAPE PLAN AND ASSOCIATED DETAILS FOR TREE PLACEMENT, AND PLANTING SPECIFICATIONS • CONTRACTOR TO VERIFY TREE TYPE, LOCATION, SIZE, HEIGHT, AND SPREAD WITH QT REPRESENTATIVE PRIOR TO INSTALLATION
		SENSATION BOX ELDER <i>Acer negundo 'Sensation'</i>	2" CALIPER 10'-12' HT	20 EA.	MEDIUM	
		SWEET BUBBA SEEDLESS DESERT WILLOW <i>Chilopsis linearis 'Sweet Bubba Seedless'</i>	2" CALIPER 8'-10' HT	2 EA.	LOW-MED.	
		THORNLESS HONEY MESQUITE <i>Prosopis glandulosa 'Maverick'</i>	2" CALIPER 8'-10' HT	32 EA.	LOW	
MISC		TIF-TUF BERMUDA	SOD	2,795 SF	HIGH	
		WASHED GRANITE GRAVEL, 1" MINUS, LOCALLY SOURCED, PLACE OVER PERMEABLE WEED BARRIER FABRIC, 3" DEEP		54,427 SF 6,602 SF	ON SITE OFF SITE	
NOTE: ALL NEWLY PLANTED TREES AND SHRUBS, AND GROUND COVER WILL BE IRRIGATED BY A FULLY AUTOMATIC IRRIGATION SYSTEM.						

LANDSCAPE REQUIREMENTS	
REQUIRED ORDINANCE	PROVIDED
LANDSCAPE AREA A MIN. OF 15% OF THE NET LOT AREA SHALL CONTAIN LANDSCAPING GROSS AREA = 217,146.69 SF LESS EASEMENTS = 29,447.16 SF NET AREA = 187,699.53 SF LANDSCAPE AREA REQ. (15%) = 28,155 SF TREE & SHRUB CANOPY SHALL COVER 75% OF TOTAL LANDSCAPE AREA. 25% OF THAT SHALL BE PROVIDED W/ SHRUBS & GRASS. 54,945 x 75% = 41,209 SF SHRUBS & GRASS 54,945 x 25% = 13,736 SF	TOTAL LANDSCAPE AREA (31%) = 67,905.17 SF TTL LS AREAS (NOT IN ESMNTS) = 54,945.03 SF TREE CANOPY W/ NEW TREES ACER 'SENSATION': 7x707 SF = 4,949 SF DESERT WILLOW: 2x491 SF = 982 SF MESQUITE: 27x707 SF = 19,089 SF LACEBARK ELM: 14x1257 SF = 17,598 SF TREE TOTAL (77.5%): 42,618 SF SHRUB CANOPY AREA (17%): 9,355 SF TOTAL TREE & SHRUB CANOPY: (94.5% OF NET LANDSCAPE AREA) 51,973 SF REMAINDER OF LS AREA TO BE ROCK/GRAVEL
STREET FRONTAGE TREES ARE GENERALLY REQ. ALONG STREET FRONTAGE EVERY 25' O.C. & W/IN 20' OF BACK OF CURB. TREES IN AREAS OCCUPIED BY DRIVEWAYS SHALL BE PLANTED IN OTHER FRONT YARD SPACES. LOS VOLCANES RD. NW = ±259 LF (INCLUDES DRIVEWAYS) 259 LF / 25' = 10.36 (10) TREES UNSER BLVD. NW = ±791 LF (INCLUDES DRIVEWAYS) 791 LF / 25' = 31.64 (32) TREES SAUL BELL RD. NW = ±265 LF (INCLUDES DRIVEWAYS) 265 LF / 25' = 10.6 (11) TREES	3 TREES ALONG THE FRONTAGE & OUTSIDE OF EASEMENTS 28 TREES ALONG THE FRONTAGE & OUTSIDE OF EASEMENTS 4 TREES ALONG THE FRONTAGE & OUTSIDE OF EASEMENTS
PARKING LOT LANDSCAPING NO PARKING ALLOWED W/IN REQ. LANDSCAPE BUFFER AREA. LANDSCAPE BUFFER TO BE A MIN. OF 5' WIDE FRONT LOT EDGE PARKING W/IN 30' OF FRONT LOT LINE SHALL BE SCREENED FROM STREET BY A 10' WIDE LANDSCAPE BUFFER W/ 3' HIGH EVERGREEN SHRUBS AT LEAST 15% OF THE PARKING LOT AREA CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED PARKING LOT AREA = 111,471 SF 111,471 x 15% = 16,720.6 SF LANDSCAPE AREA 1 TREE REQ. PER 10 PARKING SPACES 56 PARKING SPACES 56 / 10 = 5.6 (6) TREES NO PARKING SPACE MAY BE MORE THAN 100' FROM A TREE TRUNK. 75% OF THE REQ. TREES SHALL BE DECIDUOUS CANOPY-TYPE SHADE TREES MIN. SIZE OF TREE PLANTERS SHALL BE 60 SF PER TREE.	LANDSCAPE BUFFER LOS VOLCANES RD NW 10' WIDE LANDSCAPE BUFFER W/ 3' HIGH EVERGREEN SHRUBS UNSER BLVD NW NOT APPLICABLE SAUL BELL RD. NW PARKING LOT INTERIOR 475.6 SF LANDSCAPING PROVIDED 6 TREES PROVIDED PROVIDED PROVIDED PROVIDED TREES & SHRUBS MUST BE SELECTED FROM OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER, DROUGHT TOLERANT, OR XERIC SPECIES. A MIN. OF 5 SPECIES MUST BE USED IN THE LANDSCAPE AREAS SHADE TREES REQUIRED AT 25' O.C. ALONG PEDESTRIAN WALKWAYS ORGANIC MULCH (3"-4" DEEP) REQ. UNDER TREES W/IN A 5' RADIUS OF THE TREE TRUNK. WEED BARRIER FABRIC IS PROHIBITED IN THESE AREAS.



PROJECT NO.: 7001.01

MATKINHOOVER
ENGINEERING
ARCHITECTURE
LANDSCAPE
8 SPENCER ROAD SUITE 100
BUEHNE, TEXAS 76008
CONTACT@MATKINHOOVER.COM
TEXAS REGISTERED ENGINEERING FIRM
F-000426 SUSTAINING FIRM F-0004000

QuikTrip No. 7001

521 UNSER BLVD. NW
ALBUQUERQUE, NEW MEXICO

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PROTOTYPE: P-116 (12/01/23)
DIVISION:
VERSION: 001
DESIGNED BY: GSC
DRAWN BY: MIM
REVIEWED BY: CGW

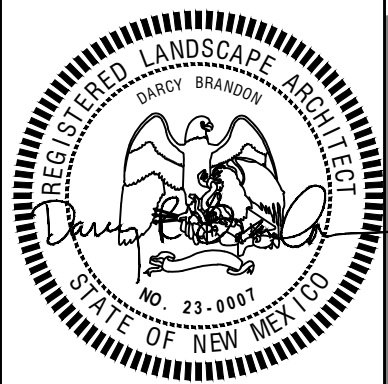
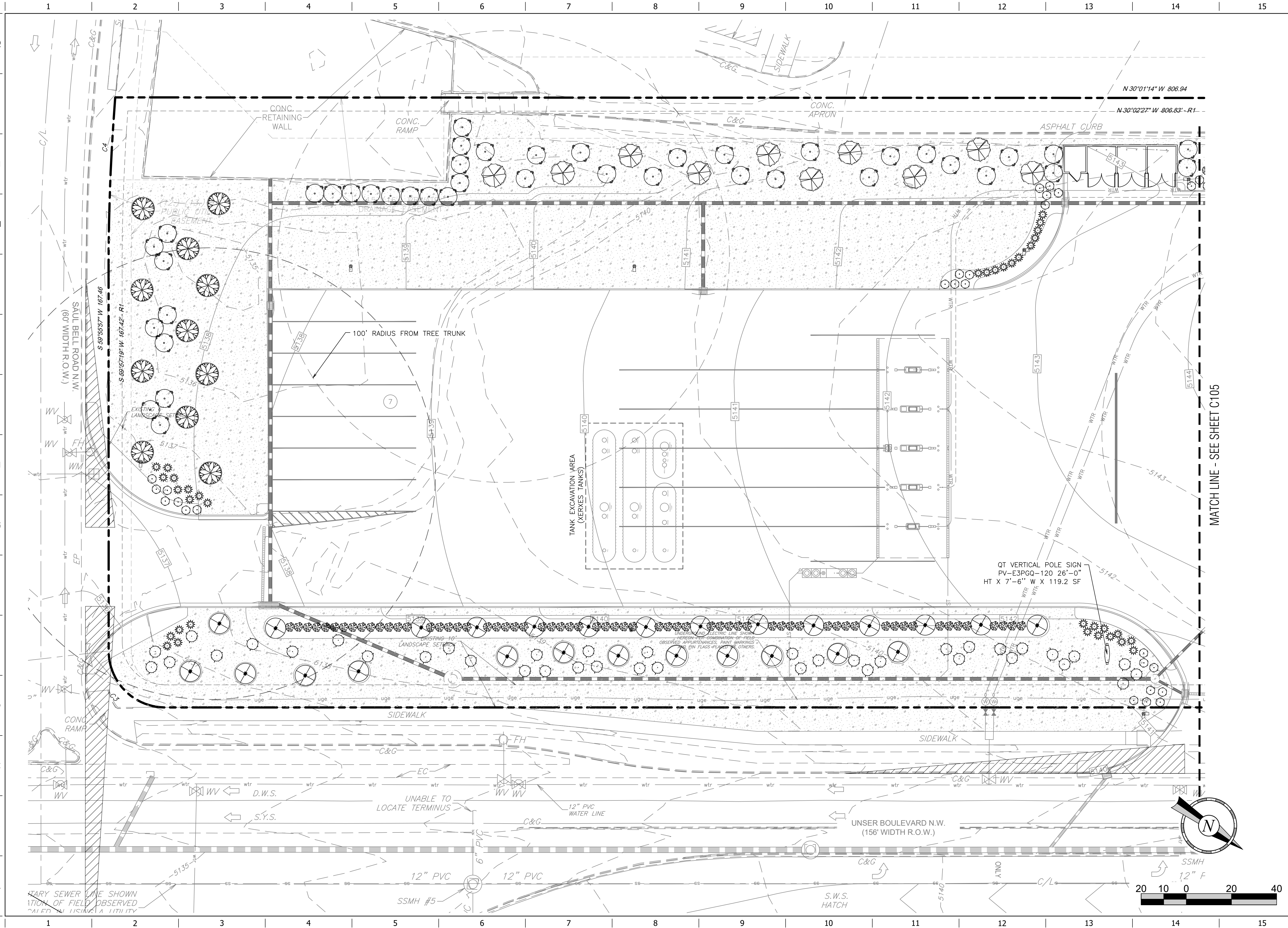
REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 04.19.24

SHEET TITLE:
PLANTING PLAN

SHEET NUMBER:
L100

FILE LOCATION: C:\Users\doray\Documents\DBA\PROJECTS\2024\Matkin Hoover\QT 7001 - Unser - Albuquerque, NM\Received\2024-04-23\89-7001 Civil.dwg TAB NAME: Landscape-Trucks USER: doray SAVER: 4/23/2024 12:00 PM PLOTTED: 4/23/2024 1:49 PM



PROJECT NO.: 7001.01

MATKINHOOVER
ENGINEERING
LANDSCAPE ARCHITECTURE

8 SPENCER ROAD SUITE 100
BURENE, TEXAS 76008
CONTACT: @MATKINHOOVER.COM
TEXAS REGISTERED ENGINEERING FIRM
F-0004912 SURVEYING FIRM F-0004900

QuikTrip No. 7001

521 UNSER BLVD. NW
ALBUQUERQUE, NEW MEXICO



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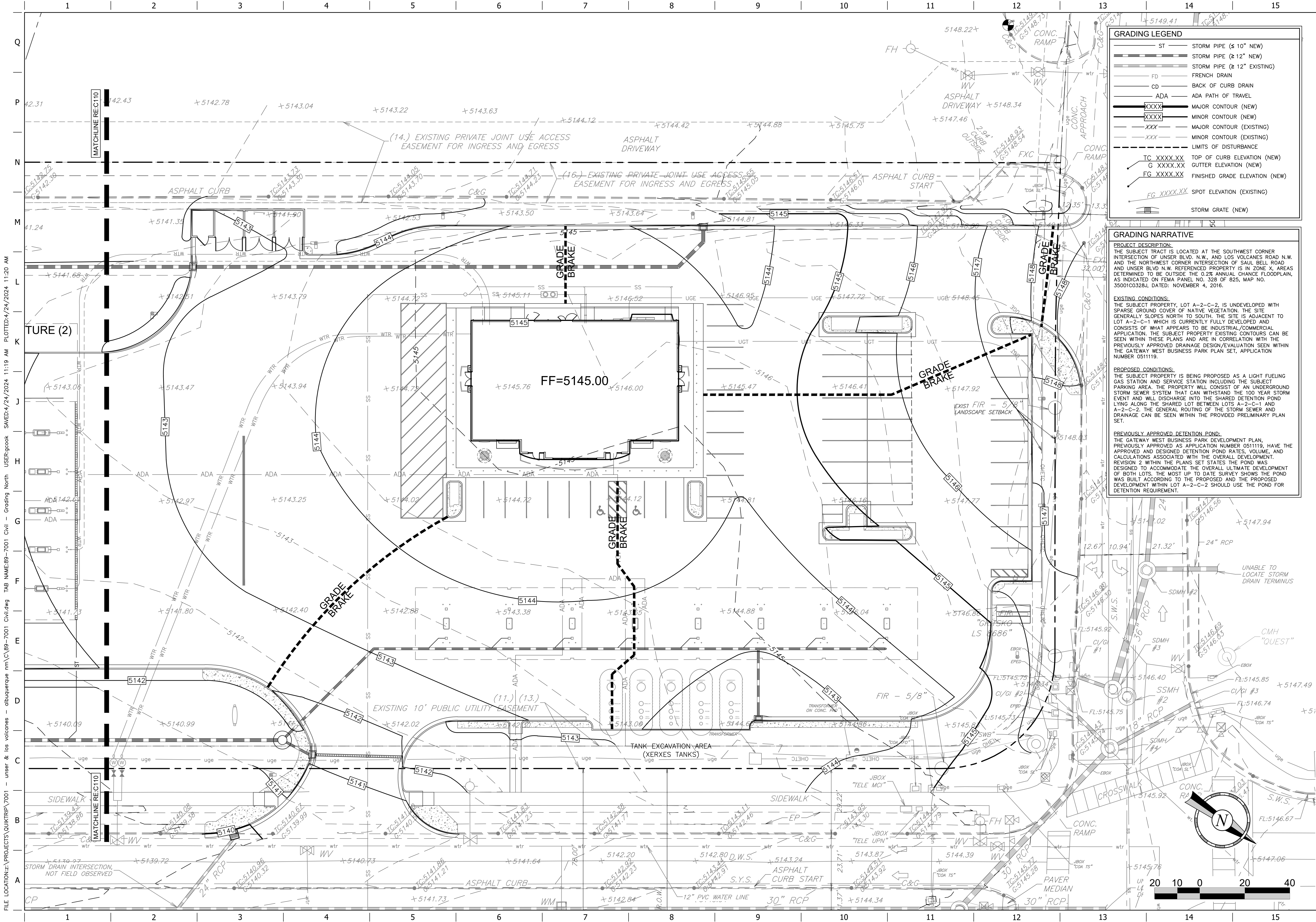
PROTOTYPE: P-116 (12/01/23)
DIVISION:
VERSION: 001
DESIGNED BY: GSC
DRAWN BY: MJM
REVIEWED BY: CGW

REV	DATE	DESCRIPTION

SHEET TITLE:
LANDSCAPE PLAN SHEET 2

SHEET NUMBER:
C106
09 OF 12

ORIGINAL ISSUE DATE: 04.12.24



GRADING LEGEND

ST	STORM PIPE (≤ 10" NEW)
ST	STORM PIPE (≥ 12" NEW)
ST	STORM PIPE (≥ 12" EXISTING)
FD	FRENCH DRAIN
CD	BACK OF CURB DRAIN
ADA	ADA PATH OF TRAVEL
XXXX	MAJOR CONTOUR (NEW)
XXXX	MINOR CONTOUR (NEW)
XXX	MAJOR CONTOUR (EXISTING)
XXX	MINOR CONTOUR (EXISTING)
LIMITS OF DISTURBANCE	
TC XXXX.XX	TOP OF CURB ELEVATION (NEW)
G XXXX.XX	GUTTER ELEVATION (NEW)
FG XXXX.XX	FINISHED GRADE ELEVATION (NEW)
FG XXXX.XX	SPOT ELEVATION (EXISTING)
	STORM GRATE (NEW)

GRADING NARRATIVE

PROJECT DESCRIPTION:
THE SUBJECT TRACT IS LOCATED AT THE SOUTHWEST CORNER INTERSECTION OF UNSER BLVD. N.W. AND LOS VOLCANES ROAD N.W. AND THE NORTHWEST CORNER INTERSECTION OF SAUL BELL ROAD AND UNSER BLVD. N.W. REFERENCED PROPERTY IS IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INDICATED ON FEMA PANEL NO. 328 OF 825, MAP NO. 350010328J, DATED: NOVEMBER 4, 2016.

EXISTING CONDITIONS:
THE SUBJECT PROPERTY, LOT A-2-C-2, IS UNDEVELOPED WITH SPARSE GROUND COVER OF NATIVE VEGETATION. THE SITE GENERALLY SLOPES NORTH TO SOUTH. THE SITE IS ADJACENT TO LOT A-2-C-1 WHICH IS CURRENTLY FULLY DEVELOPED AND CONSISTS OF WHAT APPEARS TO BE INDUSTRIAL/COMMERCIAL APPLICATION. THE SUBJECT PROPERTY EXISTING CONTOURS CAN BE SEEN WITHIN THESE PLANS AND ARE IN CORRELATION WITH THE PREVIOUSLY APPROVED DRAINAGE DESIGN/EVALUATION SEEN WITHIN THE GATEWAY WEST BUSINESS PARK PLAN SET, APPLICATION NUMBER 051119.

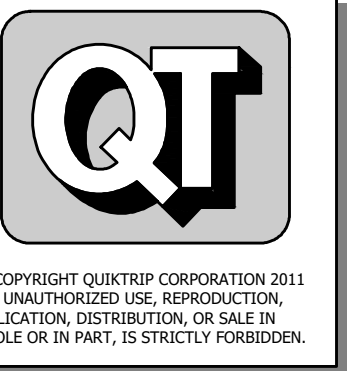
PROPOSED CONDITIONS:
THE SUBJECT PROPERTY IS BEING PROPOSED AS A LIGHT FUELING GAS STATION AND SERVICE STATION INCLUDING THE SUBJECT PARKING AREA. THE PROPERTY WILL CONSIST OF AN UNDERGROUND STORM SEWER SYSTEM THAT CAN WITHSTAND THE 100 YEAR STORM EVENT AND WILL DISCHARGE INTO THE SHARED DETENTION POND LYING ALONG THE SHARED LOT BETWEEN LOTS A-2-C-1 AND A-2-C-2. THE GENERAL ROUTING OF THE STORM SEWER AND DRAINAGE CAN BE SEEN WITHIN THE PROVIDED PRELIMINARY PLAN SET.

PREVIOUSLY APPROVED DETENTION POND:
THE GATEWAY WEST BUSINESS PARK DEVELOPMENT PLAN, PREVIOUSLY APPROVED AS APPLICATION NUMBER 051119, HAVE THE APPROVED AND DESIGNED DETENTION POND RATES, VOLUME, AND CALCULATIONS ASSOCIATED WITH THE OVERALL DEVELOPMENT. REVISION 2 WITHIN THE PLANS SET STATES THE POND WAS DESIGNED TO ACCOMMODATE THE OVERALL ULTIMATE DEVELOPMENT OF BOTH LOTS. THE MOST UP TO DATE SURVEY SHOWS THE POND WAS BUILT ACCORDING TO THE PROPOSED AND THE PROPOSED DEVELOPMENT WITHIN LOT A-2-C-2 SHOULD USE THE POND FOR DETENTION REQUIREMENT.

PRELIMINARY SET
NOT FOR CONSTRUCTION

PROJECT NO.: 7001.01
MATKINHOOPER
ENGINEERING
& SURVEYING
8 SPENCER ROAD SUITE 100
BRIEN, TEXAS 76806
CONTACT@MATKINHOOPER.COM
TEXAS REGISTERED ENGINEERING FIRM
F-004616 SURVEYING FIRM F-00369000

QuikTrip No. 7001
521 UNSER BLVD. NW
ALBUQUERQUE, NEW MEXICO



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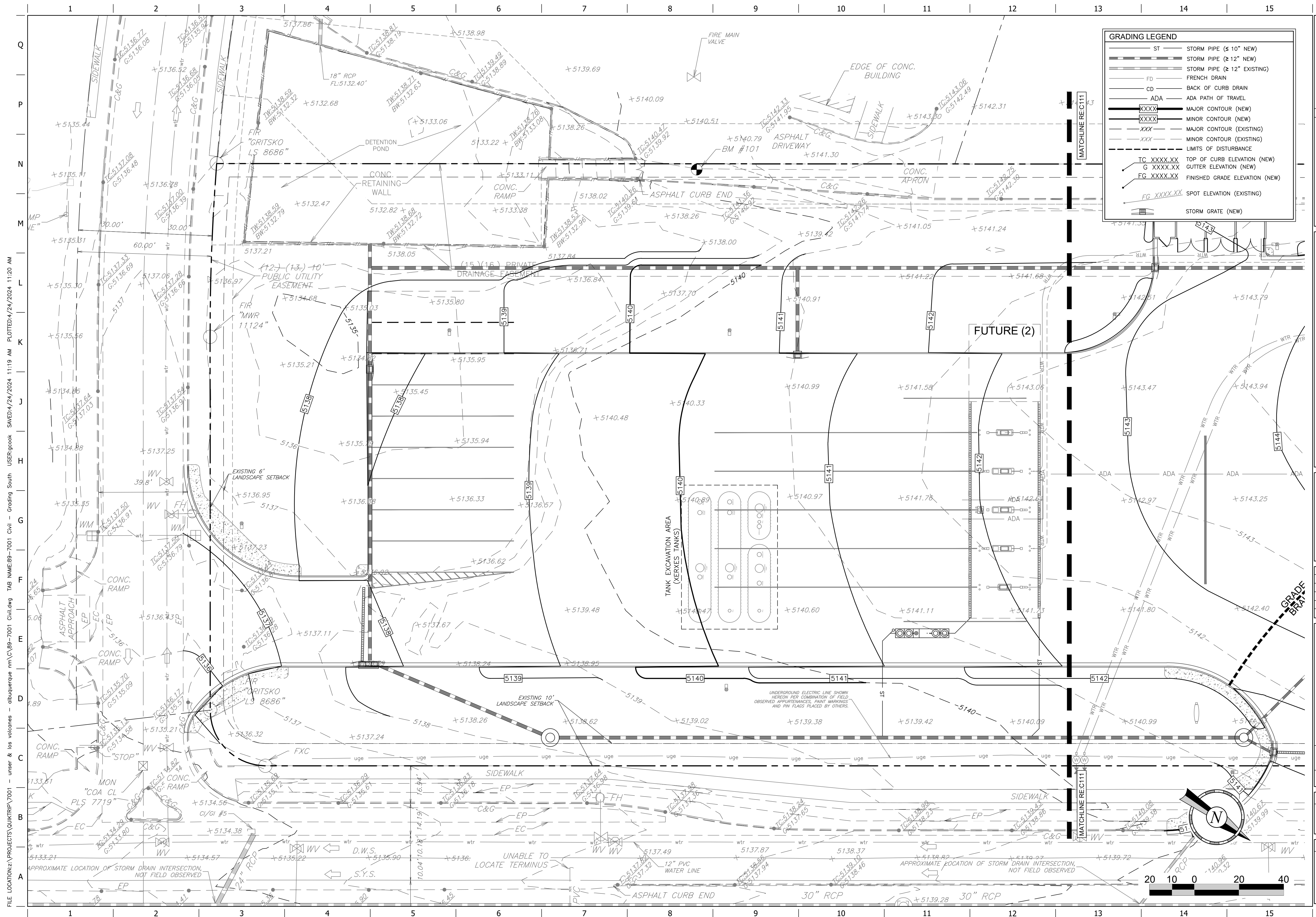
PROTOTYPE: P-116 (12/01/23)
DIVISION:
VERSION: 001
DESIGNED BY: GSC
DRAWN BY: MM
REVIEWED BY: CGW

REV	DATE	DESCRIPTION

SHEET TITLE:
GRADING PLAN NORTH

SHEET NUMBER:
C110
10 OF 20

ORIGINAL ISSUE DATE: 04.19.24



PRELIMINARY SET
NOT FOR CONSTRUCTION

PROJECT NO.:7001.01

MATKINHOOVER
ENGINEERING
& SURVEYING

8 SPENCER ROAD SUITE 100
BOERNE, TEXAS 78006
OFFICE: 830.249.0600
CONTACT@MATKINHOOVER.COM

QuikTrip No. 7001
521 UNSER BLVD. NW
ALBUQUERQUE, NEW MEXICO



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PROTOTYPE: P-116 (12/01/23)
DIVISION:
VERSION: 001
DESIGNED BY: GSC
DRAWN BY: MJM
REVIEWED BY: CGW

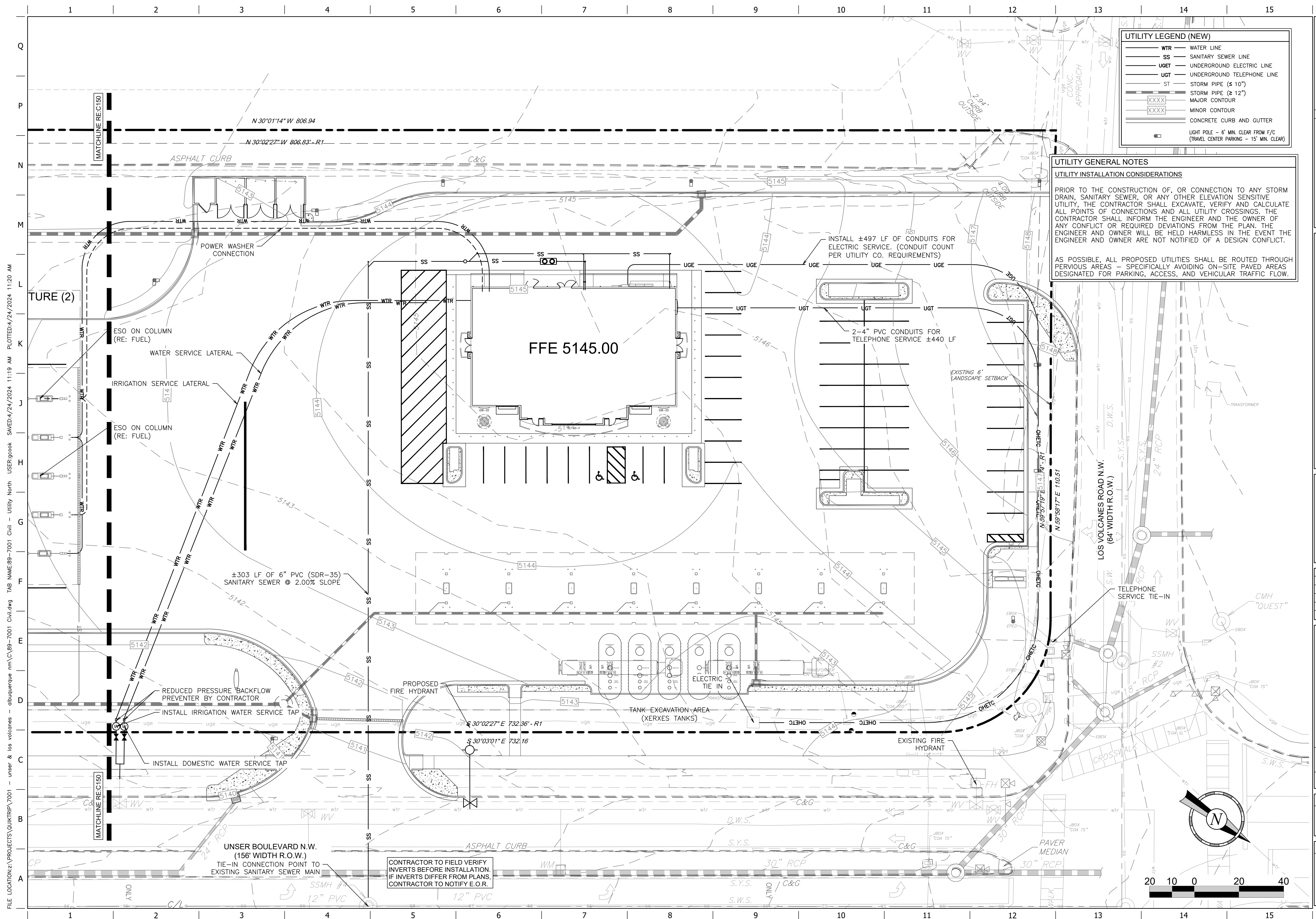
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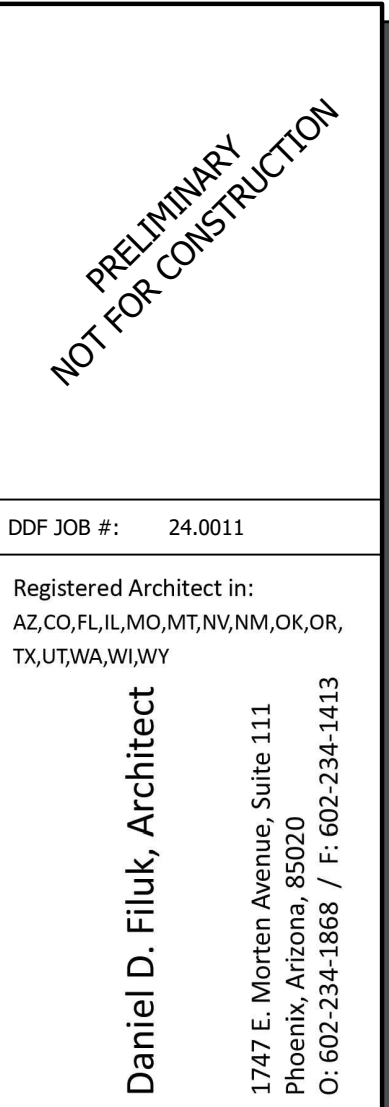
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GRADING PLAN SOUTH

SHEET NUMBER: _____

C111

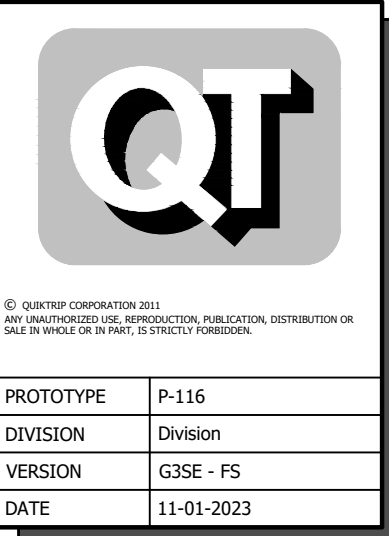
11 OF 20





QuikTrip No. 7001

521 UNSER BLVD NW
ALBUQUERQUE, NM

[illegible]

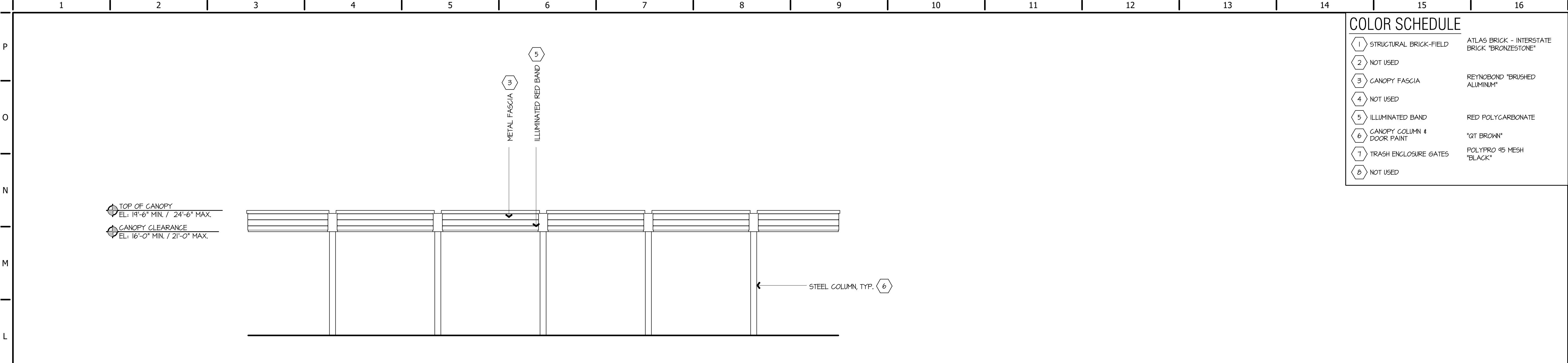
SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NUMBER:

A201





COLOR SCHEDULE		
1	STRUCTURAL BRICK-FIELD	ATLAS BRICK - INTERSTATE BRICK "BRONZESTONE"
2	NOT USED	
3	CANOPY FASCIA	REYNOBOND "BRUSHED ALUMINUM"
4	NOT USED	
5	ILLUMINATED BAND	RED POLYCARBONATE
6	CANOPY COLUMN & DOOR PAINT	"QT BROWN"
7	TRASH ENCLOSURE GATES	POLYPRO 45 MESH "BLACK"
8	NOT USED	

PRELIMINARY
NOT FOR CONSTRUCTION

DDF JOB #: 24.0011

Registered Architect in:
AZ,CO,FL,IL,MO,MT,NV,NM,OK,OR,
TX,UT,WA,WI,WY

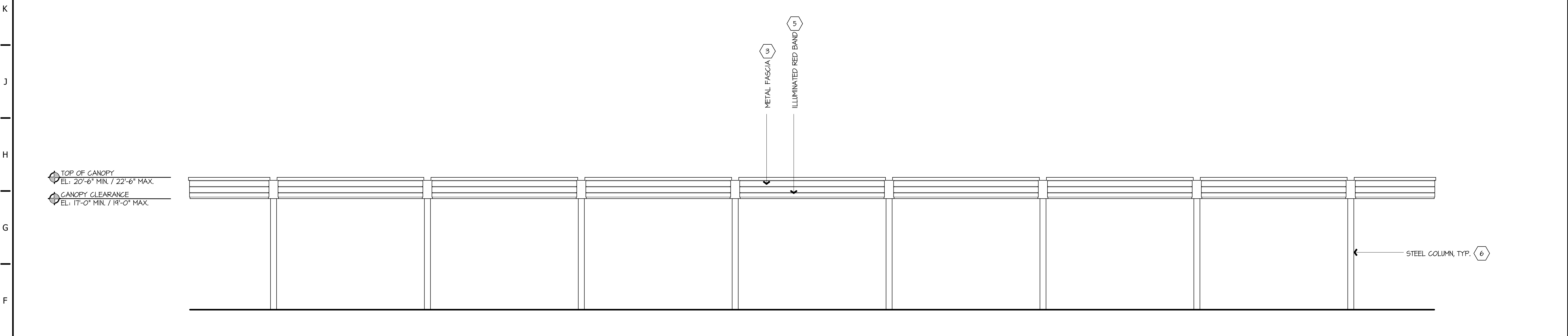
Daniel D. Fluk, Architect

1747 E. Morten Avenue, Suite 111
Phoenix, Arizona, 85020
O: 602-234-1868 / F: 602-234-1413

K1

4 BAY DIESEL CANOPY ELEVATION - NORTHWEST ELEVATION

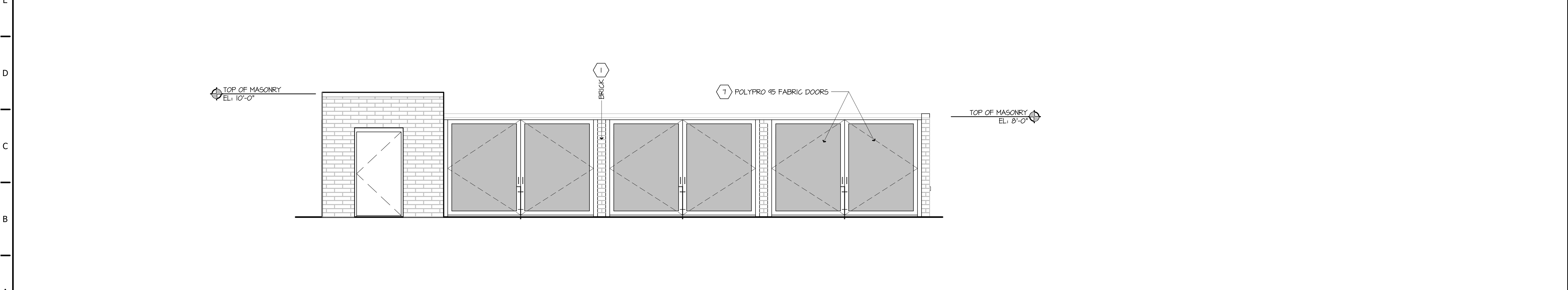
$\frac{1}{8}" = 1'-0"$



E1

VERTICAL 8 GAS CANOPY ELEVATION - NORTHEAST ELEVATION - UNSER BLVD

$\frac{1}{8}" = 1'-0"$



A1

TRASH ENCLOSURE ELEVATION - NORTHEAST ELEVATION

$\frac{1}{8}" = 1'-0"$

QuikTrip No. 7001

521 UNSER BLVD NW
ALBUQUERQUE, NM

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PROTOTYPE	P-116
DIVISION	Division
VERSION	G3SE - F5
DATE	11-01-2023

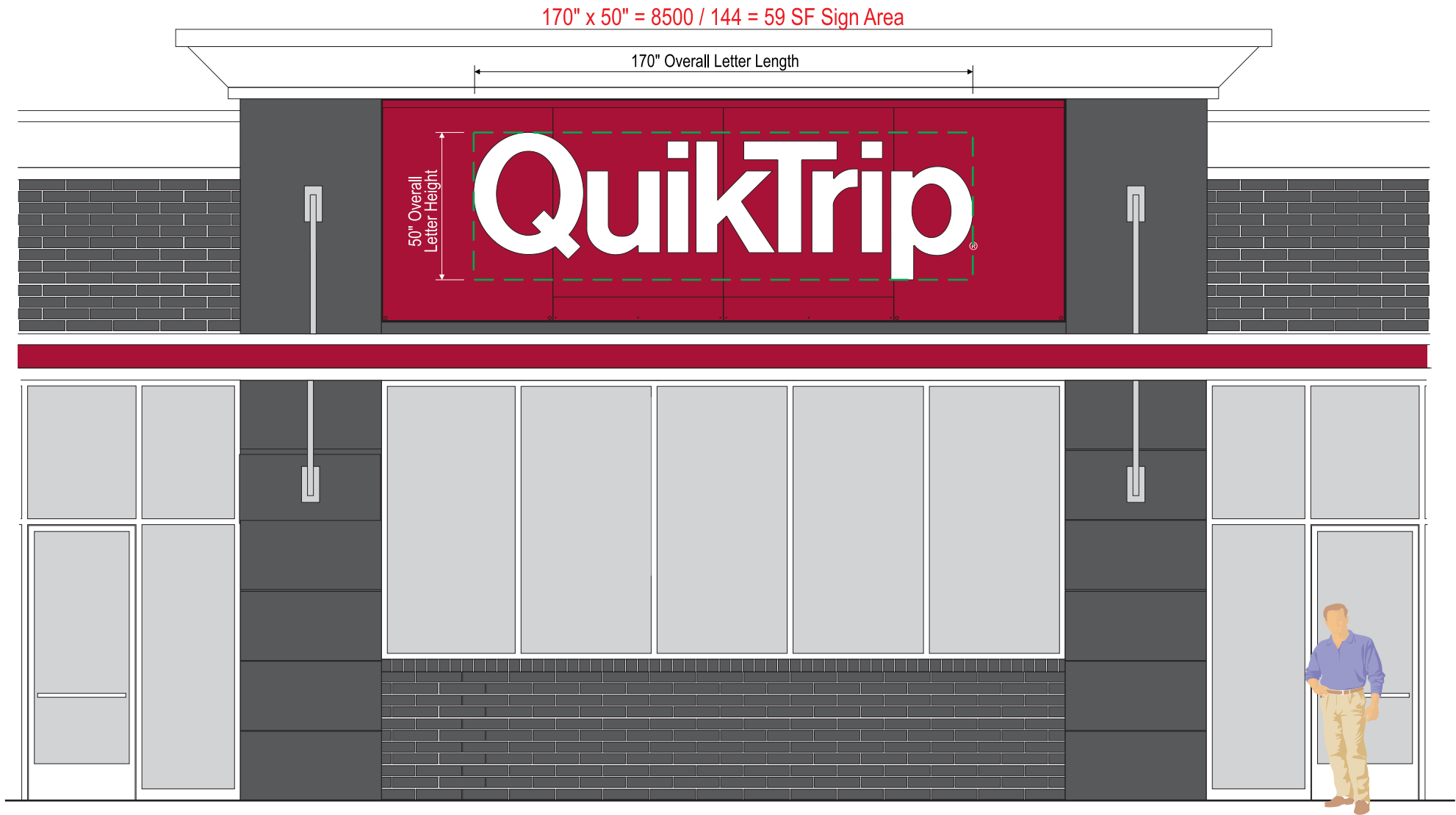
REV	DATE	DESCRIPTION
ORIGINAL ISSUE DATE: xx/xx/2023		

SHEET TITLE:

GAS CANOPY
COORDINATION
ELEVATIONS

SHEET NUMBER:

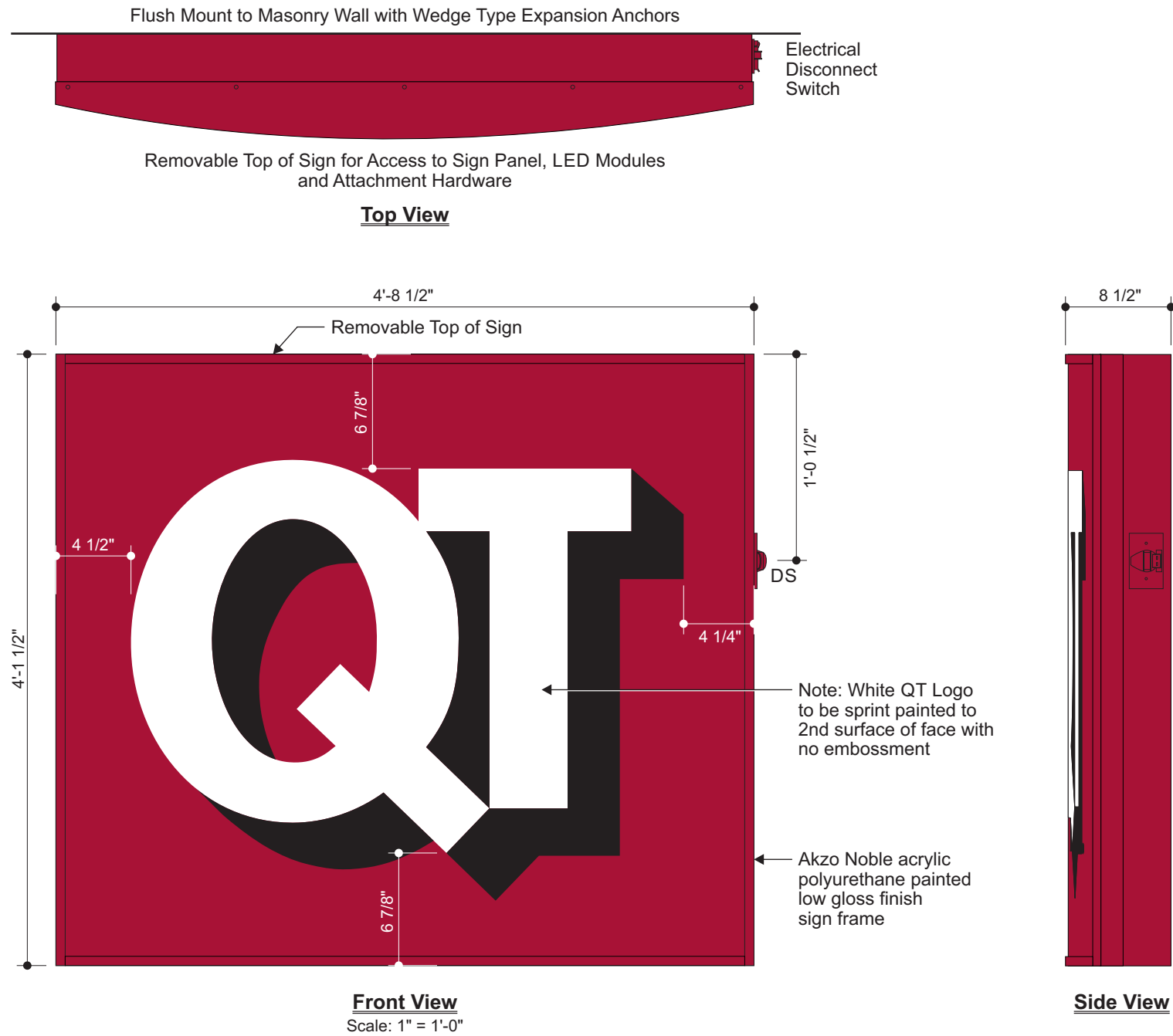
N201



Front View - Sign Type CL-60F-LD - Flat Front Aluminum Wall Sign
Projected Channel Letters with White LED Illuminated LD Poly Faces & Red LED Halo
Scale 1/4" = 1'-0"



Client Review Status	Declaration	Date / Description	Project Information
Allen Industries, Inc. requires that an " ☒ Approved " drawing be obtained from the client prior to any production release or production release revision. ☐ Approved ☐ Approved as Noted ☐ Revise & Resubmit	The Drawing / Design illustrated is the property of QuikTrip Corporation and Allen Industries, Inc. The production, copying, or use hereof is prohibited without written consent. Any infringement will be subject to legal action.	03/18/19 Issue Date 03/19/19 Rev. 1	Client QuikTrip Corporation - Gen III Exterior Sign Program Item QT-CL60F-LD
Name _____ Title _____			File QT CL-60R-LD Sales Tom Allen Design CT PM James Gentry



IDB-20
20 SF Building ID Sign

- Flat Bowed Face Panel and 3/4" Wide Face Retainers
- 19.42 Square Feet Sign Area



Item #QT-IDB-20

Project Information

Client
QuikTrip

Location
Various

File
QT-IDB-20_100

Sales House	Design CT	Project Manager James Gentry
-----------------------	---------------------	--

Date / Description

04/07/20	Issue Date	Initial
1		
2		
3		
4		
5		
6		
7		
8		
9		

Notes

Client Review Status

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☐ Approved ☐ Approved as Noted ☐ Revise & Resubmit

Name _____

Title _____ Date _____

Declaration

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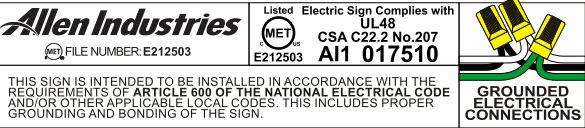
Color Specifications

All Paint Finishes to be Akzo Nobel

- | | |
|--|--------------------------------|
| | Opaque Silver |
| | Translucent White |
| | Black - Low Gloss |
| | Matte White (Interior of Sign) |
| | Match 3M Cardinal Red #3632-53 |
| | Match PMS 349C |

Regarding Fabrication Fit & Finish of All QT Signs:

- Visible fabrication seams and welded joints are to be sanded smooth, filled and finished to QT specifications.
- Any visible fasteners are to be countersunk and have painted heads.
- Face retainers must fit flush and have even, minimal seams.
- Any variation from this directive must be brought to the attention of the QT Quality Control Manager without delay.



Construction Details



Item #QT-IDB-20

Project Information

Client
QuikTrip
Location
Various

File
QT-IDB-20_100

Sales House Design CT Project Manager James Gentry

Date / Description

04/07/20	Issue Date	Initial
1		
2		
3		
4		
5		
6		
7		
8		
9		

Notes

Client Review Status

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☐ Approved ☐ Approved as Noted ☐ Revise & Resubmit

Name

Title

Date

Declaration

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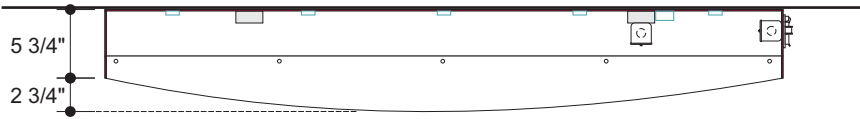
LED Specification

E

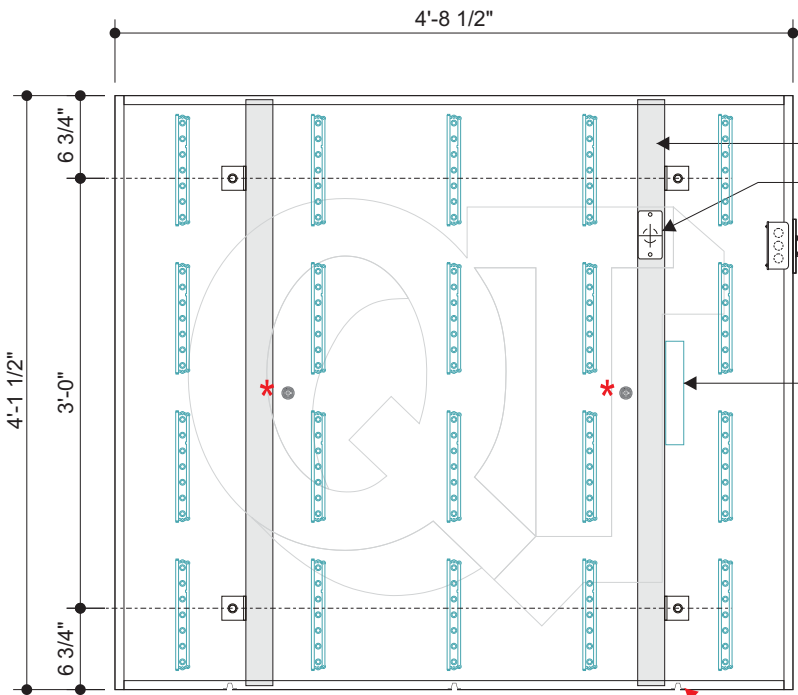
20 ea. GESS2471-2
1 ea. GEPS24-100U-NA
Total Electrical Amp Load = 1.1 Amps
One (1) 120 Volt - 20 Amp
Circuit Breaker Required for Sign



LED DETAIL
#GESS2471-2 24 VOLT SINGLE SIDED
LED Internal Illumination powered by
GE Power Supply #GEPS24-100U-NA
120-277 VAC 50/60 HZ
Input Current 1.1 Amp
Output Current 4.0 Amps Single Output
Note: 36 Module Max. Load per Power Supply



Top View



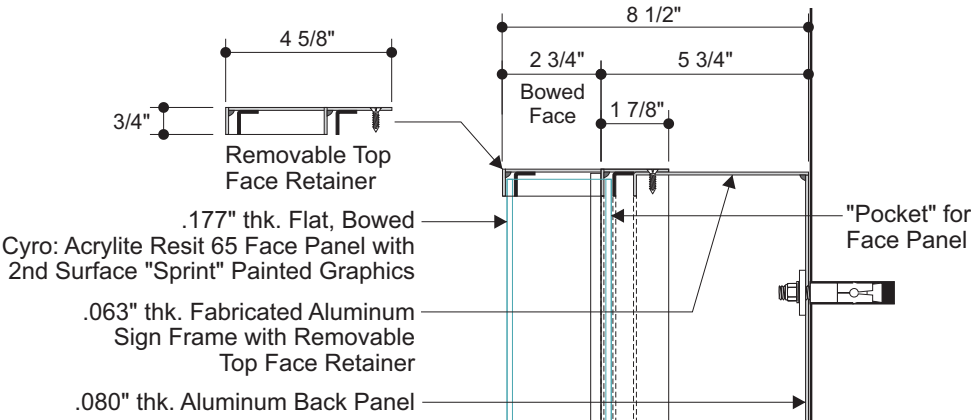
Front View

Scale: 3/4" = 1'-0"

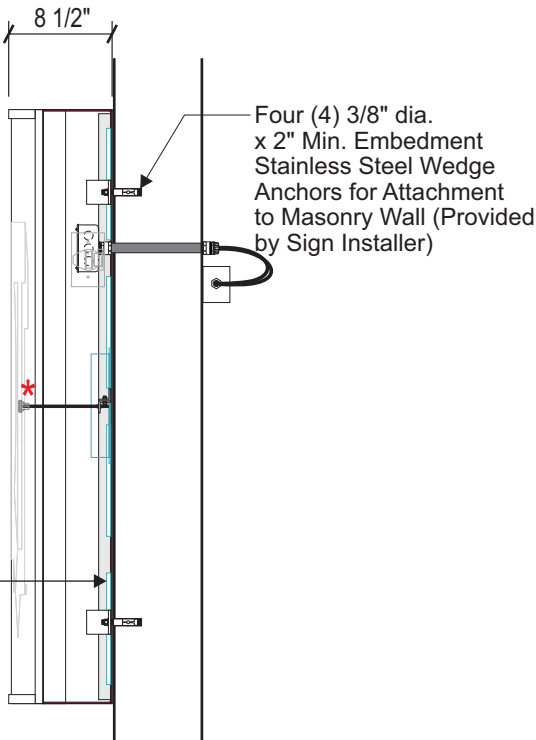


1/4" dia.
Water Drain Holes
with .040" Fab. Aluminum
Light Baffle

LED Modules mounted
to the back panel of the
sign with VHB Tape and
one screw per module.



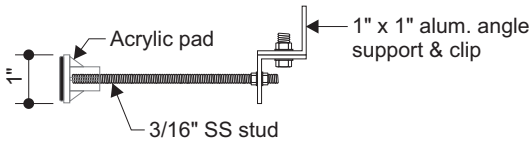
Side Section View
Scale: 3/16" = 1"



Side View



Top View



*Face Support Bumpers
Scale: NTS

1" dia. perforated acrylic
pad with applied black
silicone adhesive cushion
and 3/16" dia. SS stud,
attached to vertical rails

Acrylic face bumpers to be
installed in the Black drop shadow
area of the QT Logo.

Regarding Fabrication Fit & Finish of All QT Signs:

- Visible fabrication seams and welded joints are to be sanded smooth, filled and finished to QT specifications.
- Any visible fasteners are to be countersunk and have painted heads.
- Face retainers must fit flush and have even, minimal seams.
- Any variation from this directive must be brought to the attention of the QT Quality Control Manager without delay.

Allen Industries

FILE NUMBER: E212503

Listed Electric Sign Complies with

UL48

CSA C22.2 No.207

A11 017510

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

GROUNDING ELECTRICAL CONNECTIONS

Installation Detail



Item #QT-IDB-20

Project Information

Client
QuikTrip

Location
Various

File
QT-IDB-20_100

Sales	Design	Project Manager
House	CT	James Gentry

Date / Description

04/07/20	Issue Date	Initial
1		
2		
3		
4		
5		
6		
7		
8		
9		

Notes

Client Review Status

Allen Industries, Inc. requires that an ☒ "Approved" drawing be obtained from the client prior to any production release or production release revision.

☐ Approved ☐ Approved as Noted ☐ Revise & Resubmit

Name

Title

Date

Declaration

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Allen Industries
FILE NUMBER: E212503

Listed Electric Sign Complies with
UL48
CSA C22.2 No.207
A11 017510
E212503

GROUNDING
ELECTRICAL
CONNECTIONS

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

- Regarding Fabrication Fit & Finish of All QT Signs:
- Visible fabrication seams and welded joints are to be sanded smooth, filled and finished to QT specifications.
 - Any visible fasteners are to be countersunk and have painted heads.
 - Face retainers must fit flush and have even, minimal seams.
 - Any variation from this directive must be brought to the attention of the QT Quality Control Manager without delay.



Building Elevation
Scale: NTS

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