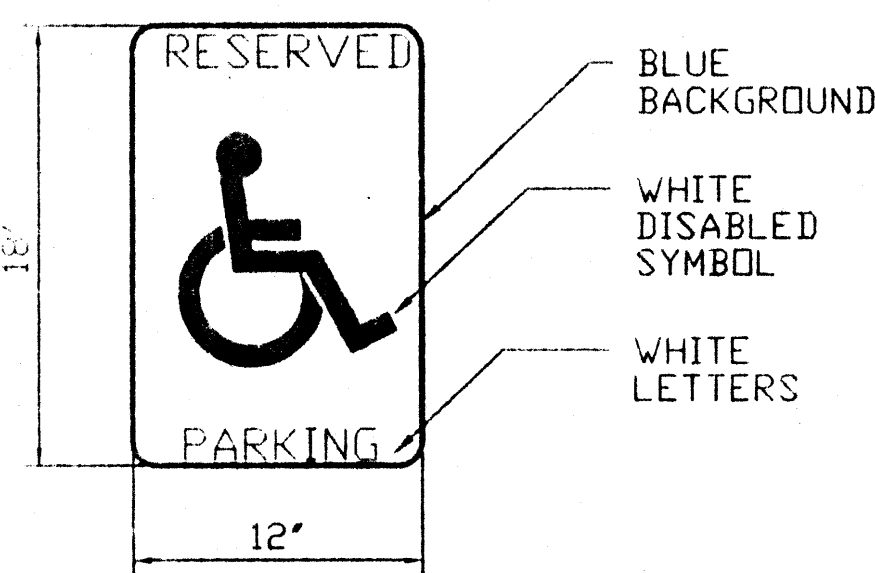
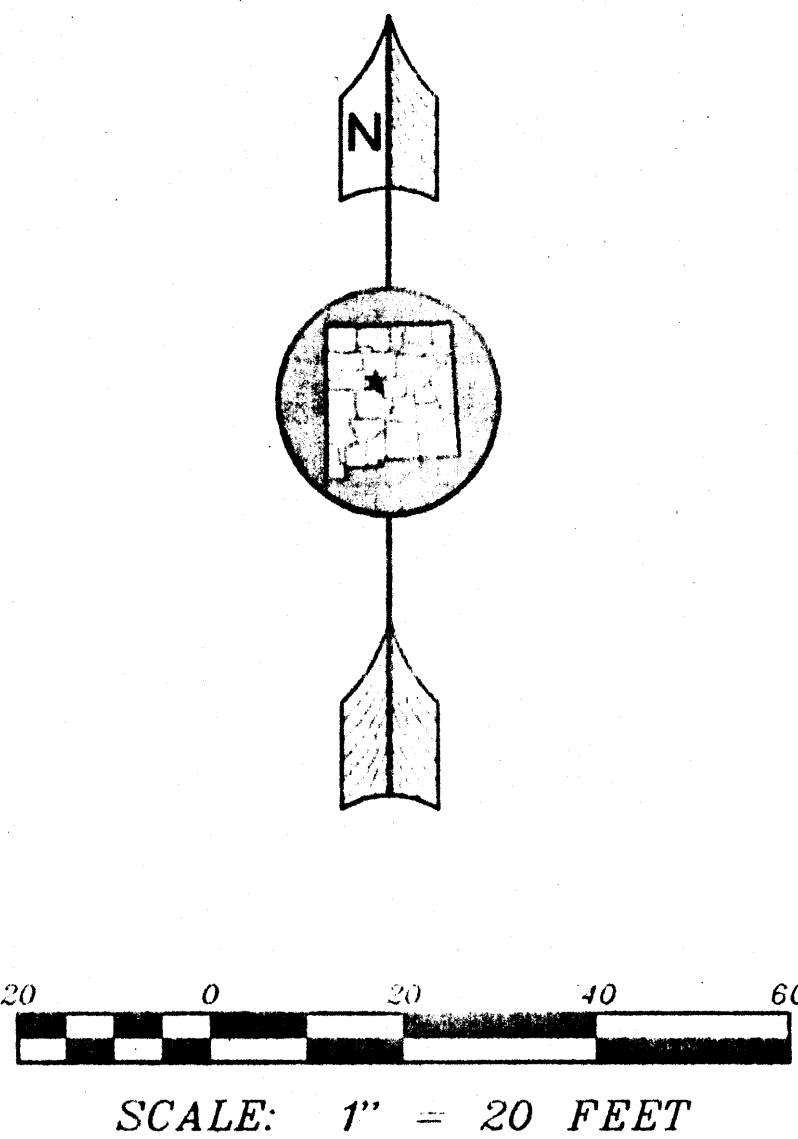
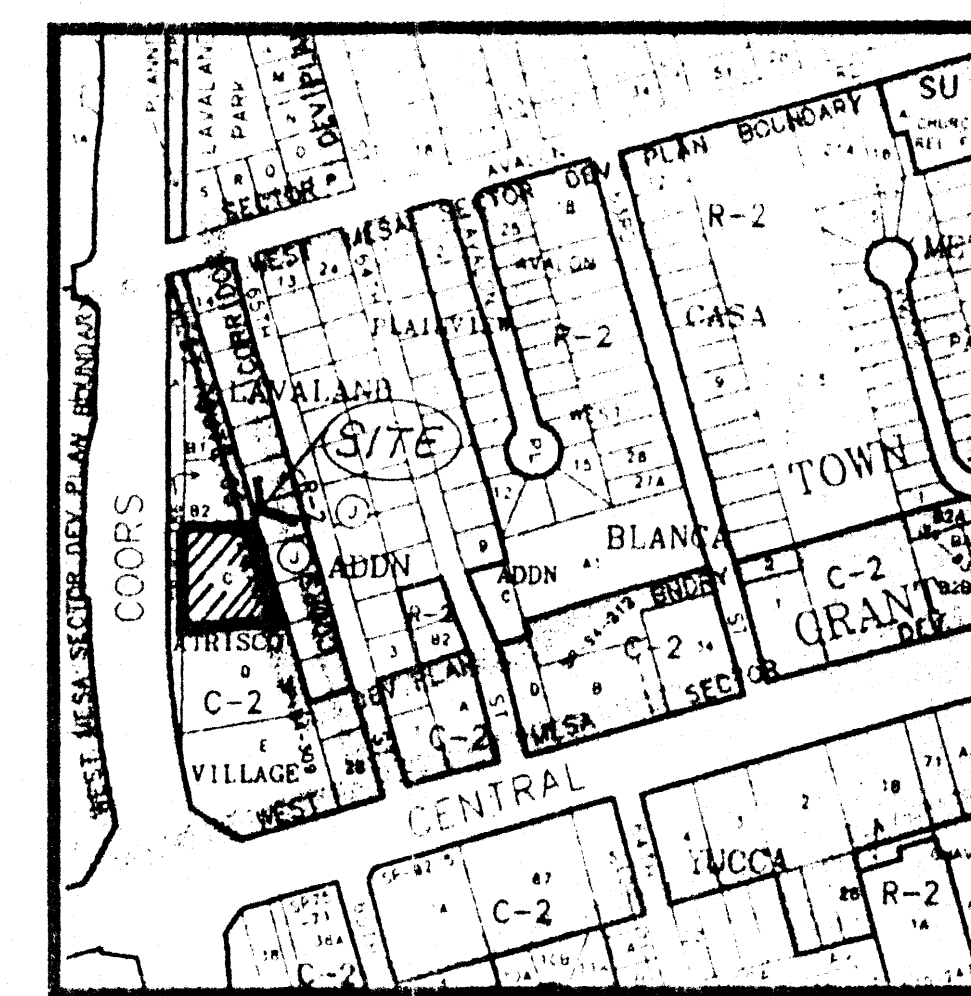
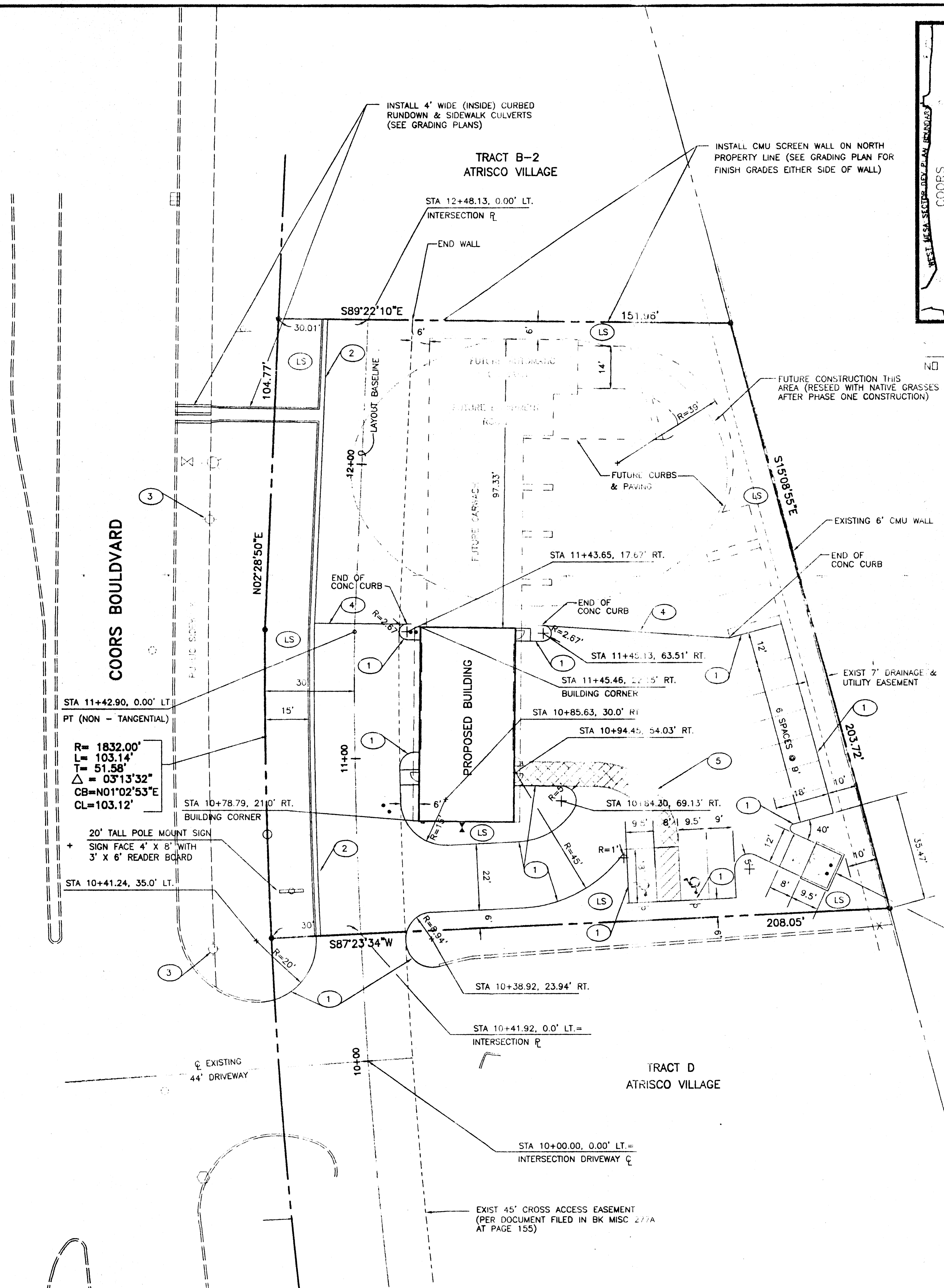




RESERVED PARKING SPACE SIGN
SCALE: 1-1/2" = 1'-0"



VICINITY MAP
NO SCALE (ZONE MAP K-11-2)

PARKING SUMMARY:

REQUIRED:	
PROLUBE=	2085 SF
SELF SERVE CAR WASH=	2091 SF
AUTOMATIC CAR WASH=	900 SF
NET LEASABLE=	5076
PARKING @ 1 PER 200 SF=	26 SPACES

PROVIDED:	
LUBE SERVICE BAYS=	3
LUBE QUEUE LANES=	3
PARKING LOT=	13
CAR WASH BAYS=	5
CAR WASH QUEUE LANES=	5
	29 (INCLUDES 2 HC)

Crawford Development Services
Founded 1989

Stephen L. Crawford, P.E.

LEGAL DESCRIPTION:
TRACT C, OF ATRISCO VILLAGE
BERNALILLO COUNTY, NEW MEXICO

ADDRESS:
120 COORS BLVD, NW

HYDROLOGY FILE REFERENCE:
K-11 / D064

- GENERAL NOTES:**
- A) ALL CURB RETURN RADII ARE 5', UNLESS OTHERWISE NOTED.
 - B) BUILDING ALIGNMENTS ARE PARALLEL / PERPENDICULAR TO NORTH PROPERTY LINE.
- KEYED NOTES:**
- ① INSTALL NEW 6" HIGH CONCRETE HEADER CURB
 - ② INSTALL NEW 6" CONCRETE CURB & GUTTER WITH 18" LIP
 - ③ EXISTING STREET LIGHT
 - ④ INSTALL 6" HIGH TEMPORARY ASPHALT CURBING
 - ⑤ ACCESSIBLE ROUTE (50:1 MAXIMUM SLOPE)
 - ⑥ LANDSCAPED AREA

TRAFFIC CIRCULATION LAYOUT APPROVED

[Signature] 11/21/01
Signed Date

- LEGEND:**
- = INSTALL 6" CONCRETE PAVING
 - = INSTALL RESERVED PARKING SPACE MARKINGS AND SIGN (SEE DETAIL THIS SHEET) PER ADA REQUIREMENTS. MOUNT SIGN FOUR FEET ABOVE PAVING.

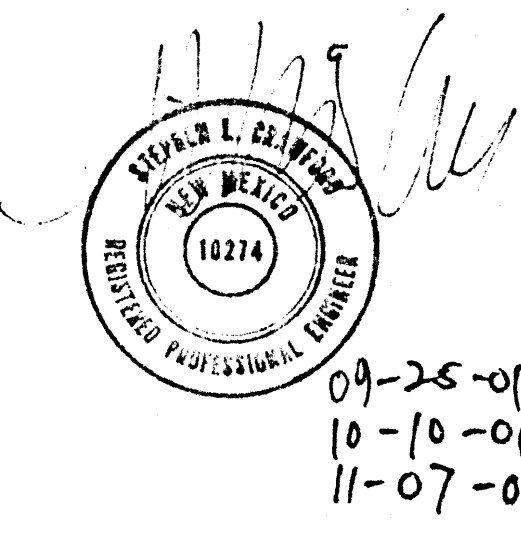
SEPTEMBER 25, 2001

PROLUBE & WASH AUTO SERVICE CENTER
COORS BOULEVARD
ALBUQUERQUE, NEW MEXICO

CS.1

RECEIVED
FEB 2 2002
HYDROLOGY SECTION

SITE PLAN



ENGINEERS CERTIFICATION

FOR

PROLUBE AUTO SERVICE CENTER

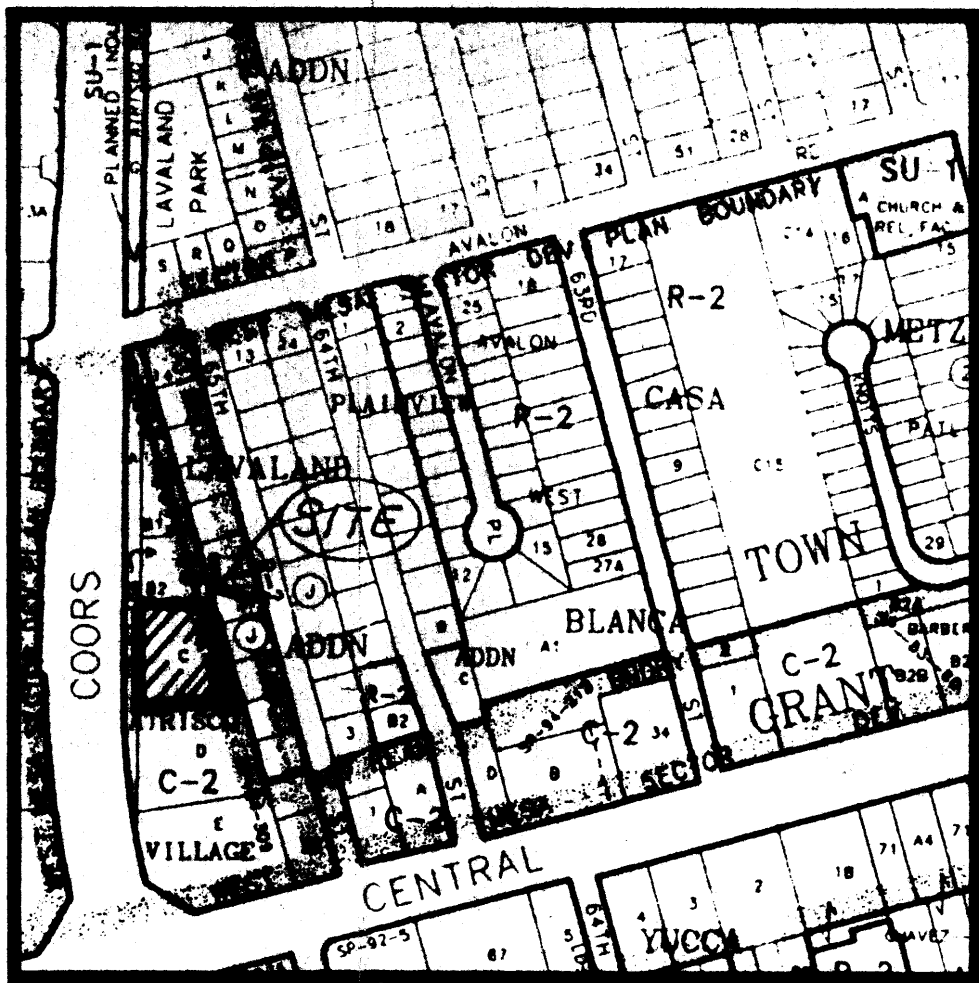
AT

120 COORS BOULEVARD, NW

FEBRUARY, 2002

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1 OF 2	COVER SHEET
2 OF 2	GRADING PLAN (AS-BUILT)



VICINITY MAP K-11-Z
NO SCALE

Crawford
Development
Services
Founded 1989

Stephen L. Crawford, P.E.

LEGAL DESCRIPTION:
TRACT C, OF ATRISCO VILLAGE
BERNALILLO COUNTY, NEW MEXICO

BENCHMARK:
A BRASS CAP MARKED "3-K10"
ELEV= 5091.82

PROJECT BENCHMARK:
AN IRON PIPE SITUATE AT THE NORTHEAST CORNER
OF THE SITE
ELEV= 5093.15

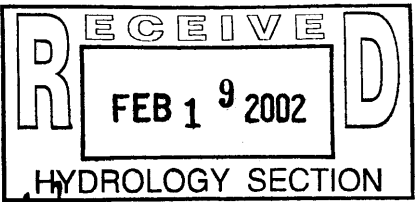
ADDRESS:
120 COORS BLVD, NW

GENERAL NOTES:
THE CERTIFICATION LANGUAGE ON EACH PAGE OF THIS
SUBMITTAL EXPLAINS THE STATUS OF THE PROJECT WITH
REGARDS TO THE DEVELOPERS OBLIGATIONS UNDER THE
DRAINAGE ORDINANCE.

GRADING AND DRAINAGE
INSPECTION NOTES

Based on the February 15, 2002 as-built survey and site inspections by
Crawford Development Services, the following has been noted:

- The building's finish floor was constructed approximately 3/4" above the design elevation.
- The temporary diversion berm situate in the northerly portion of the parcel has been constructed and it will successfully divert the flows from the rear parking area swale westward towards the sidewalk culverts.
- The trash enclosure was constructed with positive slope to the north for proper drainage. The 11-07-01 revision to the grading plan (done after grading plan approval) was the minor rotation of the trash enclosure to comply with TCL review comments.
- I, Stephen L. Crawford, do hereby certify that, to the best of my knowledge, the grading and drainage features of this commercial development are in substantial compliance with the approved grading plans (engineer's stamp dated 10-10-01).



02-18-02

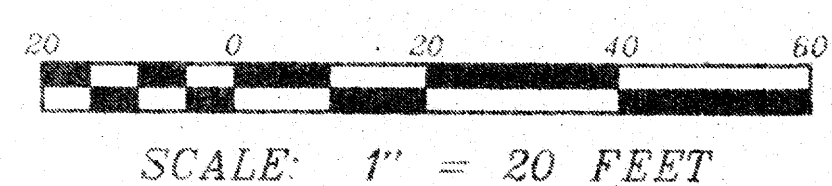
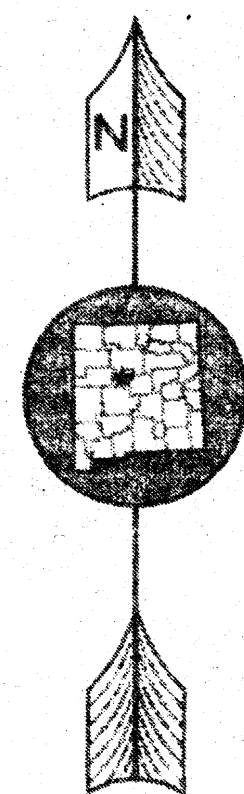
FEBRUARY 18, 2002

**PROLUBE & WASH
AUTO SERVICE CENTER**

COORS BOULEVARD
ALBUQUERQUE, NEW MEXICO

C1

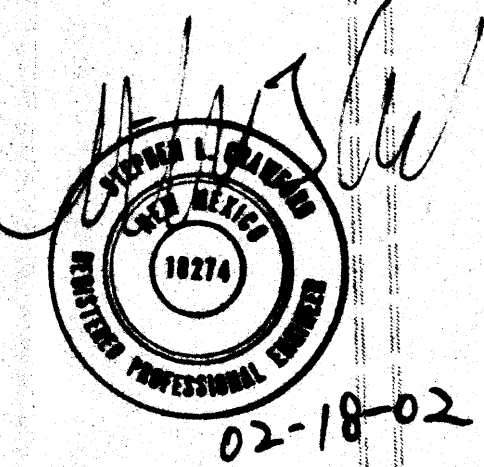
ENGINEER'S CERTIFICATION



**GRADING AND DRAINAGE
INSPECTION NOTES**

Based on the February 15, 2002 as-built survey and site inspections by Crawford Development Services, the following has been noted:

1. The building's finish floor was constructed approximately 3/4" above the design elevation.
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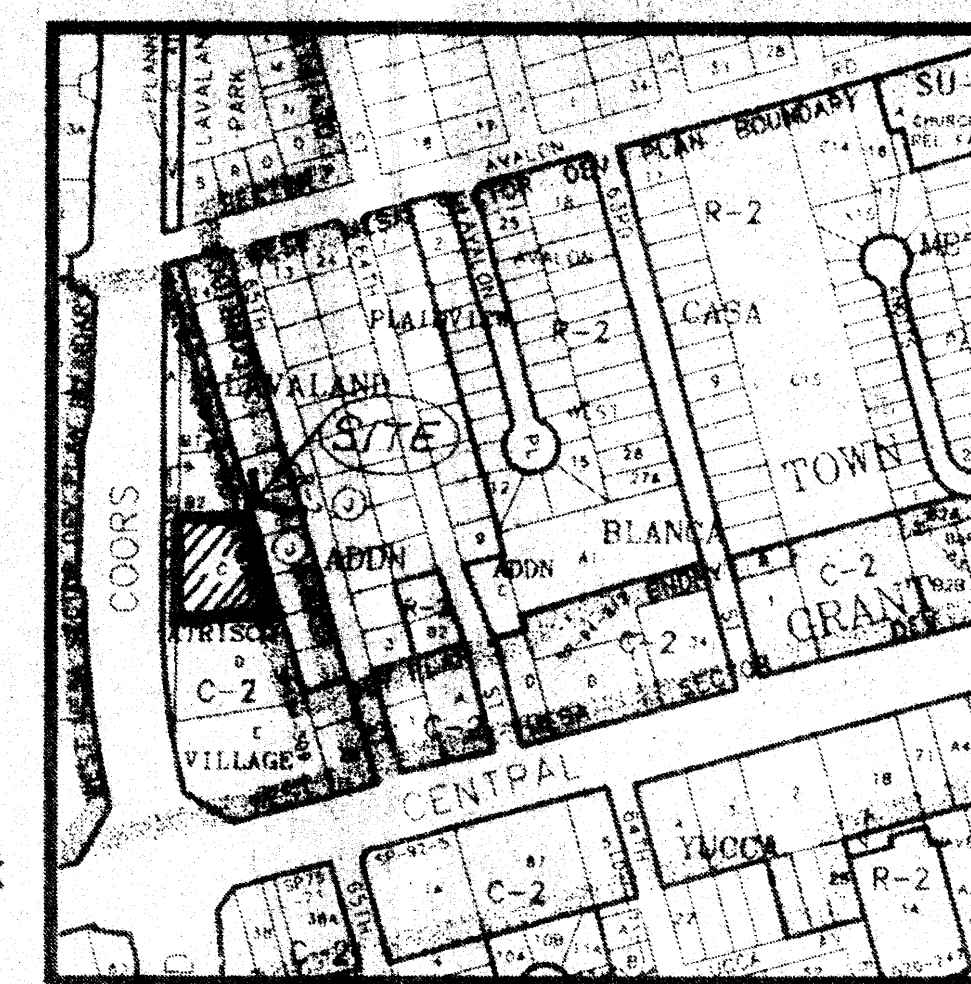
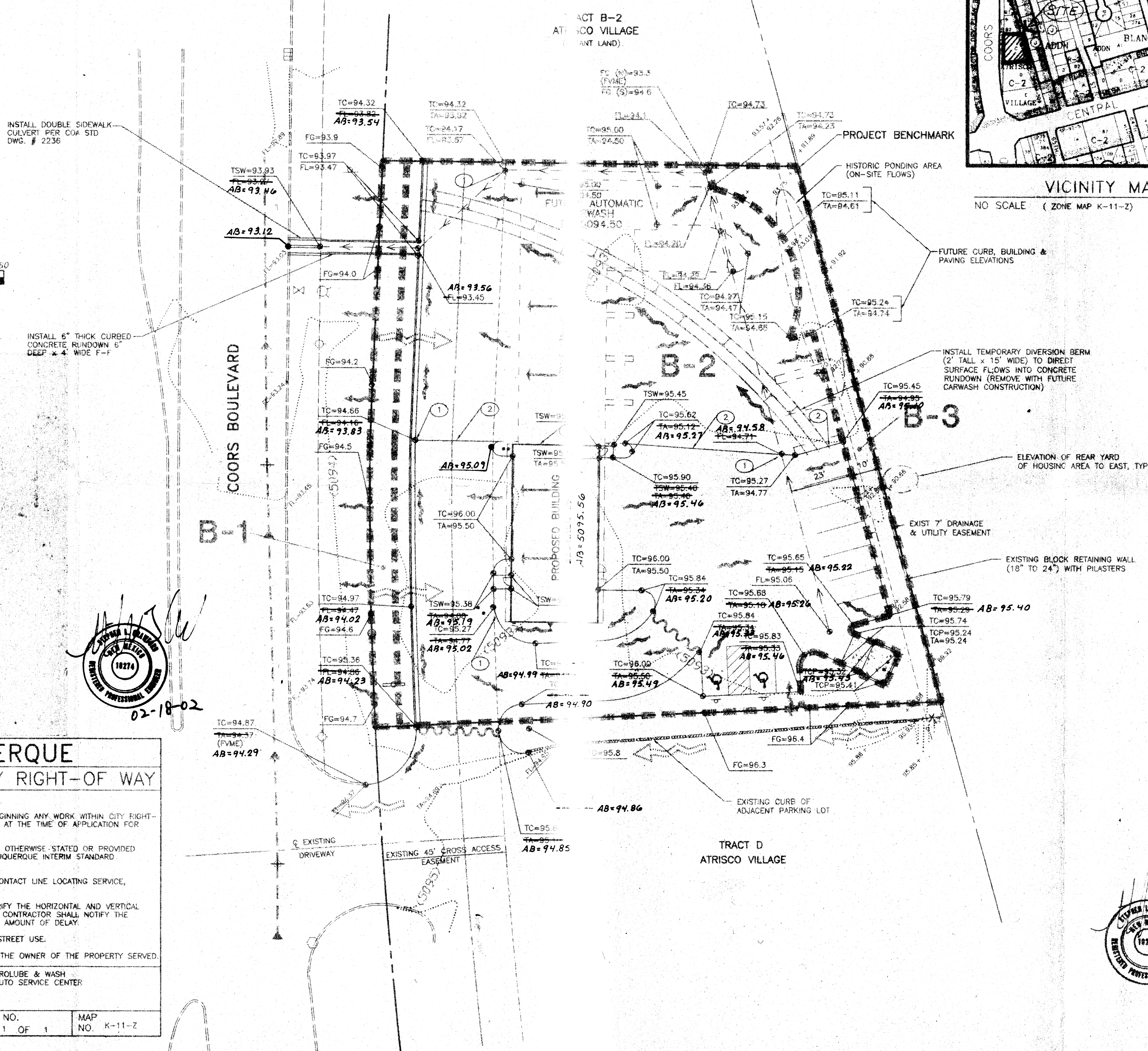


**CITY OF ALBUQUERQUE
DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY**

NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 1-800-321-2537, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS	NAME	DATE	TITLE: PROLUBE & WASH AUTO SERVICE CENTER
HYDROLOGY	NOT REQUIRED	---	
INSPECTOR	---	---	
A.C.E./FIELD	NOT REQUIRED	---	
			PERMIT NO. _____ MAP NO. K-11-Z
			SHEET 1 OF 1



VICINITY MAP
NO SCALE (ZONE MAP K-11-Z)

Crawford Development Services
Founded 1989
Stephen L. Crawford, P.E.

LEGAL DESCRIPTION:
TRACT C, OF ATRISCO VILLAGE
BERNALILLO COUNTY, NEW MEXICO

BENCHMARK:
A BRASS CAP MARKED "3-K10"
ELEV= 5091.82

PROJECT BENCHMARK:
AN IRON PIPE SITUATE AT THE NORTHEAST CORNER
OF THE SITE
ELEV= 5093.15

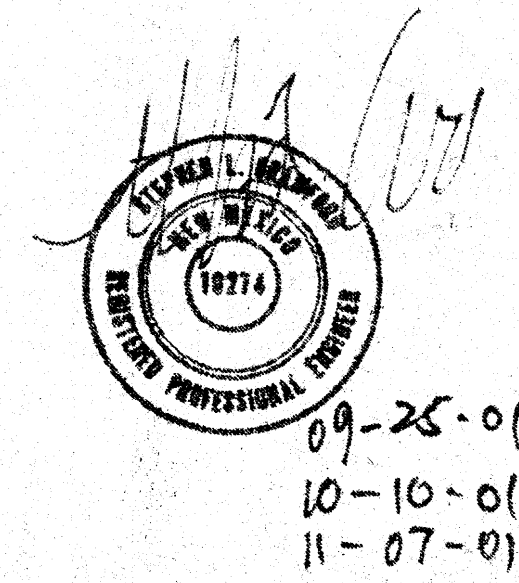
ADDRESS:
120 COORS BLVD, NW

KEYED NOTES:
① 2' CURB OPENING
② LIMITS OF PHASE ONE IMPROVEMENTS

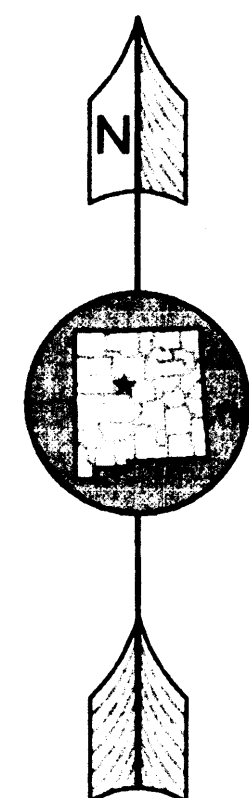
- LEGEND:**
- = DRAINAGE BASIN BOUNDARY
 - B-1 = BASIN DESIGNATION
 - = SWALE
 - = EXIST SPOT ELEVATION
 - = EXISTING CONTOUR
 - = PROPOSED SPOT ELEVATION
 - = WATER BLOCK
 - = HISTORIC FLOW PATTERN
 - = FLOW DIRECTION
 - = ROOF FLOWS
 - TOP = TOP CONCRETE PAVING
 - FL = FLOWLINE
 - TC = TOP OF CURB
 - FG = FINISH GRADE
 - TSW = TOP OF SIDEWALK
 - FF = FINISH FLOOR
 - TA = TOP OF ASPHALT
 - (FWE) = FIELD VERIFY, MATCH EXISTING

SEPTEMBER 25, 2001
**PROLUBE & WASH
AUTO SERVICE CENTER**
COORS BOULEVARD
ALBUQUERQUE, NEW MEXICO

CG.1
GRADING PLAN



1008CG1.DWG
PLOT DATE: SEP 25, 2001



SCALE: 1" = 20 FEET

INSTALL DOUBLE SIDEWALK
CULVERT PER COA STD
DWG. # 2236

INSTALL 6" THICK CURBED
CONCRETE RUNDOWN 6"
DEEP x 4' WIDE F-F

COORS BOULEVARD

TRACT B-2
ATRISCO VILLAGE
(VACANT LAND)

PROJECT BENCHMARK

HISTORIC PONDING AREA
(ON-SITE FLOWS)

FUTURE CURB, BUILDING &
PAVING ELEVATIONS

INSTALL TEMPORARY DIVERSION BERM
(2' TALL x 15' WIDE) TO DIRECT
SURFACE FLOWS INTO CONCRETE
RUNDOWN (REMOVE WITH FUTURE
GARWASH CONSTRUCTION)

VICINITY MAP

NO SCALE (ZONE MAP K-11-2)

ELEVATION OF REAR YARD
OF HOUSING AREA TO EAST, TYP

EXIST 7" DRAINAGE
& UTILITY EASEMENT

EXISTING BLOCK RETAINING WALL
(18" TO 24") WITH PILASTERS

TRACT D
ATRISCO VILLAGE

Crawford
Development
Services

Founded 1989



Stephen L. Crawford, P.E.

LEGAL DESCRIPTION:

TRACT C, OF ATRISCO VILLAGE
BERNALILLO COUNTY, NEW MEXICO

BENCHMARK:

A BRASS CAP MARKED "3-K10"
ELEV= 5091.82

PROJECT BENCHMARK:

AN IRON PIPE SITUATE AT THE NORTHEAST CORNER
OF THE SITE
ELEV= 5093.15

ADDRESS:

120 COORS BLVD, NW

KEYED NOTES:

- 2' CURB OPENING
- LIMITS OF PHASE ONE IMPROVEMENTS

LEGEND:

- = DRAINAGE BASIN BOUNDARY
- D-1 = BASIN DESIGNATION
- = SWALE
- + FG=11.0 = EXIST SPOT ELEVATION
- = EXISTING CONTOUR
- FG=11.0 = PROPOSED SPOT ELEVATION
- = WATER BLOCK
- = HISTORIC FLOW PATTERN
- = FLOW DIRECTION
- = ROOF FLOWS
- TCP = TOP CONCRETE PAVING
- FL = FLOWLINE
- TC = TOP OF CURB
- FG = FINISH GRADE
- TSW = TOP OF SIDEWALK
- FT = FINISH FLOOR
- TA = TOP OF ASPHALT
- (FVME) = FIELD VERIFY, MATCH EXISTING

SEPTEMBER 25, 2001

PROLUBE & WASH
AUTO SERVICE CENTER
COORS BOULEVARD
ALBUQUERQUE, NEW MEXICO

CG.1

GRADING PLAN



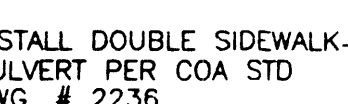
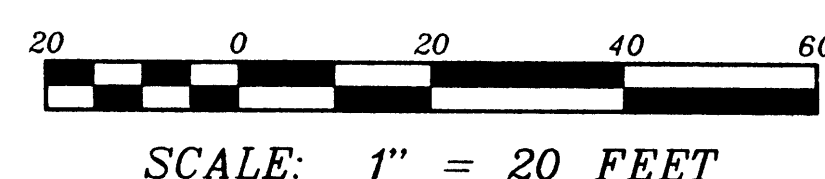
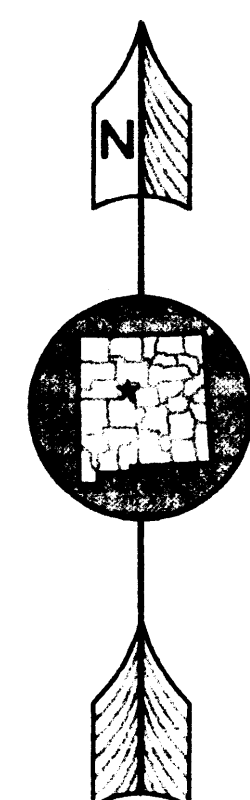
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10-10-01
11-07-01

CITY OF ALBUQUERQUE
DRAINAGE FACILITIES WITHIN CITY RIGHT-OF WAY

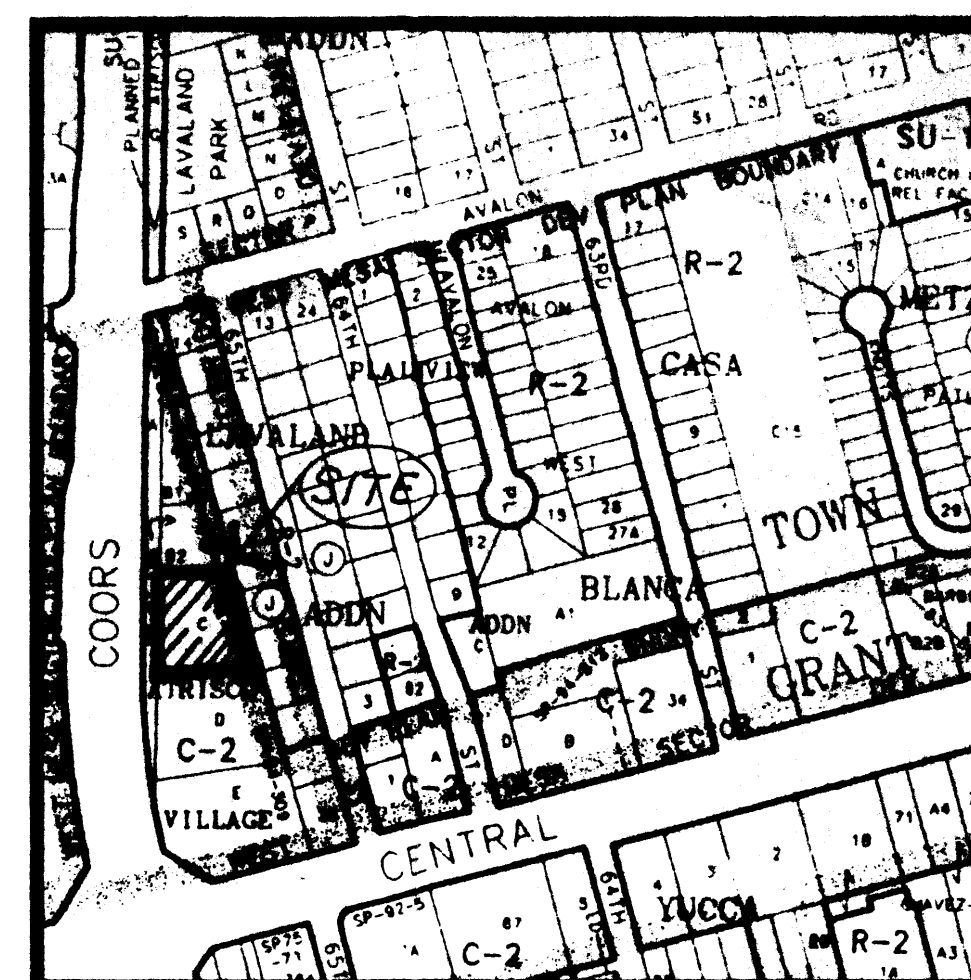
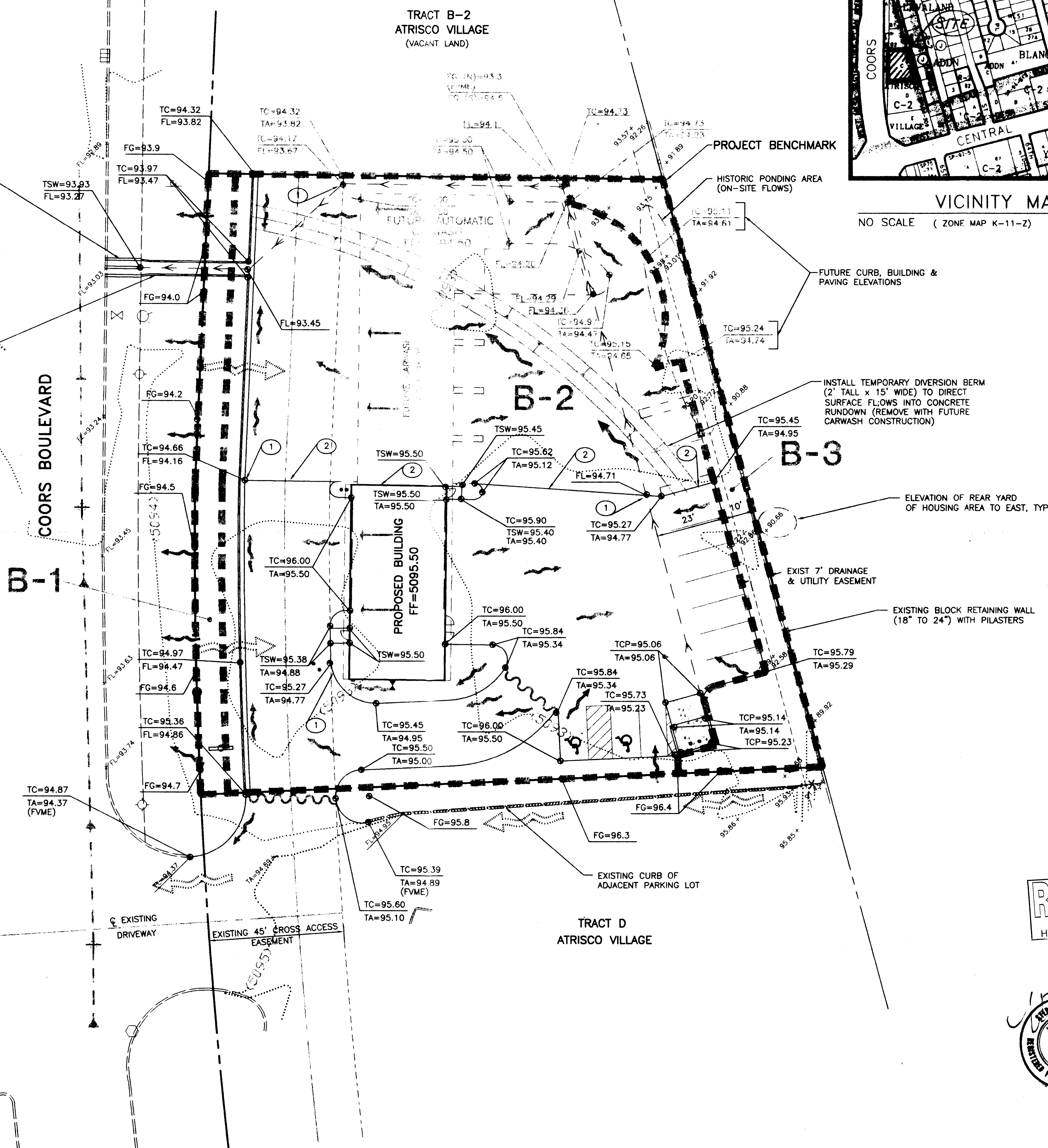
NOTICE TO CONTRACTOR

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APPROVALS	NAME	DATE	TITLE: PROLUBE & WASH AUTO SERVICE CENTER	
HYDROLOGY	NOT REQUIRED	—		
INSPECTOR	NOT REQUIRED	—		
A.C.E./FIELD	NOT REQUIRED	—	PERMIT NO. SHEET 1 OF 1	MAP NO. K-11-2



INSTALL 6" THICK CURBED
CONCRETE RUNDOWN 6"
DEEP x 4' WIDE E-E

VICINITY MAP
NO SCALE (ZONE MAP K-11-Z)

Crawford
Development
Services

Founded 1989



Stephen L. Crawford, P.E.

LEGAL DESCRIPTION:
TRACT C, OF ATRISCO VILLAGE
BERNALILLO COUNTY, NEW MEXICO

BENCHMARK:
A BRASS CAP MARKED "3-K10"
ELEV= 5091.82

PROJECT BENCHMARK:
AN IRON PIPE SITUATE AT THE NORTHEAST CORNER
OF THE SITE
ELEV= 5093.15

ADDRESS:
120 COORS BLVD. NW

KEYED NOTES:

- ① 2' CURB OPENING
- ② LIMITS OF PHASE ONE IMPROVEMENTS

LEGEND:

— — — — — = DRAINAGE BASIN BOUNDARY

B-1 = BASIN DESIGNATION

← — — — — = SWALE

x FOM=11.0 = EXIST SPOT ELEVATION

(5405) = EXISTING CONTOUR

FC=11.0 = PROPOSED SPOT ELEVATION

~~~~~ = WATER BLOCK

~~~~~ = HISTORIC FLOW PATTERN

~~~~~ = FLOW DIRECTION

~~~~~ = ROOF FLOWS

TOP = TOP OF CONCRETE PAVING

FL = FLOWLINE

TC = TOP OF CURB

FG = FINISH GRADE

TSW = TOP OF SIDEWALK

FF = FINISH FLOOR

TA = TOP OF ASPHALT

(FVME) = FIELD VERIFY, MATCH EXISTING

SEPTEMBER 25, 2001

**PROLUBE & WASH
AUTO SERVICE CENTER**
COORS BOULEVARD
ALBUQUERQUE, NEW MEXICO

CG.1

GRADING PLAN

CITY OF ALBUQUERQUE

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF WAY

NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
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| | | | | | |
|--|-------------------------------------|-------------|--|--|-------------------------------------|
| APPROVALS | NAME | DATE | TITLE: POLUBE & WASH
AUTO SERVICE CENTER | | |
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 SHEET 1 OF 1 </td> <td style="width: 50%; padding: 5px; vertical-align: top;"> MAP NO.

 K-11-Z </td> </tr> </table> | PERMIT NO.

SHEET 1 OF 1 | MAP NO.

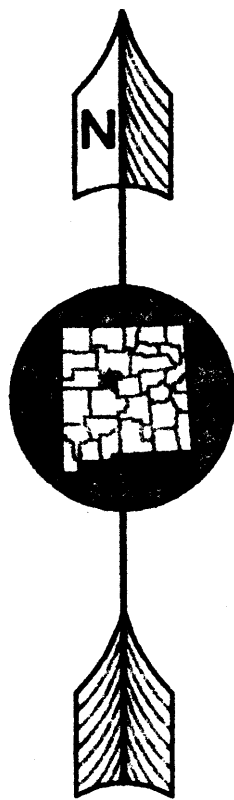
K-11-Z |
| PERMIT NO.

SHEET 1 OF 1 | MAP NO.

K-11-Z | | | | |
| INSPECTOR | | | | | |
| A.C.E./FIELD | NOT REQUIRED | — | | | |

RECEIVED
OCT 10 2001
HYDROLOGY SECTION

OCT 1 0 2001
HYDROLOGY SECTION



20 0 20 40 60
SCALE: 1" = 20 FEET

INSTALL DOUBLE SIDEWALK
CULVERT PER COA STD
DWG. # 2236

INSTALL 6" THICK CURBED
CONCRETE RUNDOWN 6"
DEEP x 4' WIDE F-F

COORS BOULEVARD

B-1

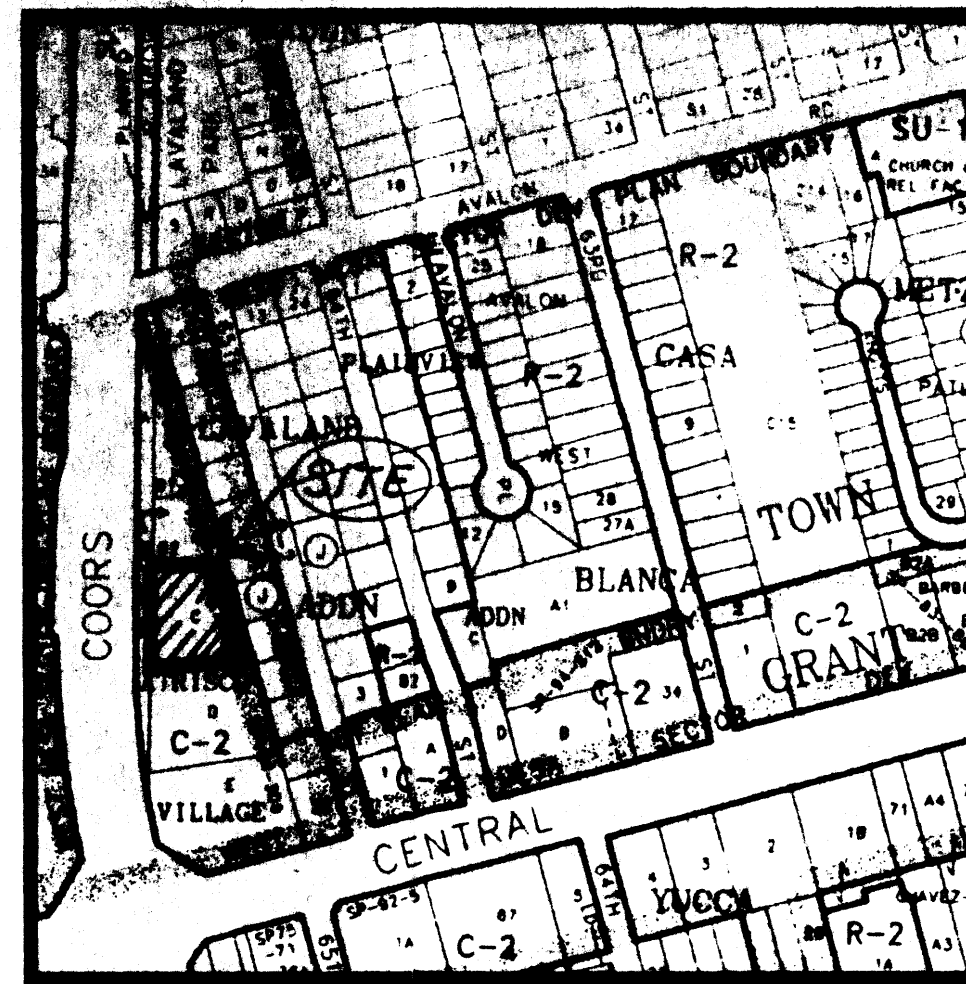
TRACT B-2
ATRISCO VILLAGE
(VACANT LAND)

PROJECT BENCHMARK

HISTORIC PONDING AREA
(ON-SITE FLOWS)

FUTURE CURB, BUILDING &
PAVING ELEVATIONS

VICINITY MAP
NO SCALE (ZONE MAP K-11-Z)



Crawford
Development
Services

Founded 1989



Stephen L. Crawford, P.E.

LEGAL DESCRIPTION:

TRACT C, OF ATRISCO VILLAGE
BERNALILLO COUNTY, NEW MEXICO

BENCHMARK:

A BRASS CAP MARKED "3-K10"
ELEV= 5091.82

PROJECT BENCHMARK:

AN IRON PIPE SITUATE AT THE NORTHEAST CORNER
OF THE SITE
ELEV= 5093.15

ADDRESS:

120 COORS BLVD, NW

KEYED NOTES:

- 2' CURB OPENING
- LIMITS OF PHASE ONE IMPROVEMENTS

LEGEND:

- DRAINAGE BASIN BOUNDARY
- B-1 BASIN DESIGNATION
- SWALE
- + 94.10 EXIST SPOT ELEVATION
- EXISTING CONTOUR
- FG=11.0 PROPOSED SPOT ELEVATION
- WATER BLOCK
- HISTORIC FLOW PATTERN
- FLOW DIRECTION
- ROOF FLOWS
- TCP TOP CONCRETE PAVING
- FL FLOWLINE
- TC TOP OF CURB
- FG FINISH GRADE
- TSW TOP OF SIDEWALK
- FF FINISH FLOOR
- TA TOP OF ASPHALT
- (FVME) FIELD VERIFY, MATCH EXISTING

CITY OF ALBUQUERQUE
DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

NOTICE TO CONTRACTOR

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| APPROVALS | NAME | DATE | TITLE: PROLUBE & WASH
AUTO SERVICE CENTER |
|--------------|--------------|------|--|
| HYDROLOGY | NOT REQUIRED | --- | |
| INSPECTOR | --- | --- | |
| A.C.E./FIELD | NOT REQUIRED | --- | PERMIT NO.
SHEET 1 OF 1 MAP
NO. K-11-Z |

TRACT D
ATRISCO VILLAGE

RECEIVED
OCT 1 0 2001
HYDROLOGY SECTION

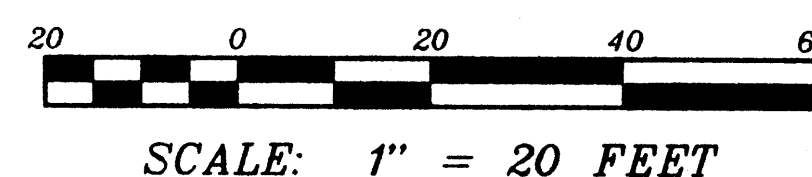


SEPTEMBER 25, 2001

PROLUBE & WASH
AUTO SERVICE CENTER
COORS BOULEVARD
ALBUQUERQUE, NEW MEXICO

CG.1

GRADING PLAN



NO SCALE (ZONE MAP K-11-Z)

PARKING SUMMARY:

REQUIRED:

| | |
|-------------------------|---------|
| PROLUBE= | 2085 SF |
| SELF SERVE CAR WASH= | 2091 SF |
| AUTOMATIC CAR WASH= | 900 SF |
| NET LEASABLE= | 5076 |
| PARKING @ 1 PER 200 SF= | 26 SF |

PROVIDED:

| | |
|-----------------------|----------------|
| LUBE SERVICE BAYS= | 3 |
| LUBE QUEUE LANES= | 3 |
| PARKING LOT= | 13 |
| CAR WASH BAYS= | 5 |
| CAR WASH QUEUE LANES= | 5 |
| | <hr/> |
| | 29 |
| | (INCLUDES 2 HC |

Stephen L. Crawford, P.E.

LEGAL DESCRIPTION:

TRACT C, OF ATRISCO VILLAGE
BERNALILLO COUNTY, NEW MEXICO

ADDRESS:

120 COORS BLVD, NW

HYDROLOGY FILE REFERENCE:

K-11 / D064

GENERAL NOTES:

- A) ALL CURB RETURN RADII ARE 5', UNLESS OTHERWISE NOTED.
- B) BUILDING ALIGNMENTS ARE PARALLEL / PERPENDICULAR TO NORTH PROPERTY LINE.

KEYED NOTES:

- ① INSTALL NEW 6" HIGH CONCRETE HEADER CURB
- ② INSTALL NEW 6" CURB & GUTTER WITH 18" LIP
- ③ EXISTING STREET LIGHT
- ④ INSTALL TEMPORARY ASPHALT CURBING
- ⑤ LANDSCAPED AREA

LEGEND:

 = INSTALL 6" CONCRETE PAVING

No Comments on this sheet, Submittal only.

SEPTEMBER 25, 2001

**PROLUBE & WASH
AUTO SERVICE CENTER
COORS BOULEVARD
ALBUQUERQUE, NEW MEXICO**

CS.1

SITE PLAN

CRAWFORD DEVELOPMENT SERVICES

3634 HIGHWAY 47, PERALTA, NM 87042

865-6442 MOBILE: 220-3028

SHEET OF

A1008CS1.DWG PLOT DATE: SEPT 25, 2001

A1008CS1.DWG

LEGAL DESCRIPTION:

TRACT C, OF ATRISCO VILLAGE
BERNALILLO COUNTY, NEW MEXICO

BENCHMARK:

A BRASS CAP MARKED "3-K10"
ELEV= 5091.82

PROJECT BENCHMARK:

AN IRON PIPE SITUATE AT THE NORTHEAST CORNER
OF THE SITE
ELEV= 5093.15

ADDRESS:

EAST SIDE COORS BLVD NORTH OF CENTRAL AVENUE

KEYED NOTES:

- 1 2' CURB OPENING

LEGEND:

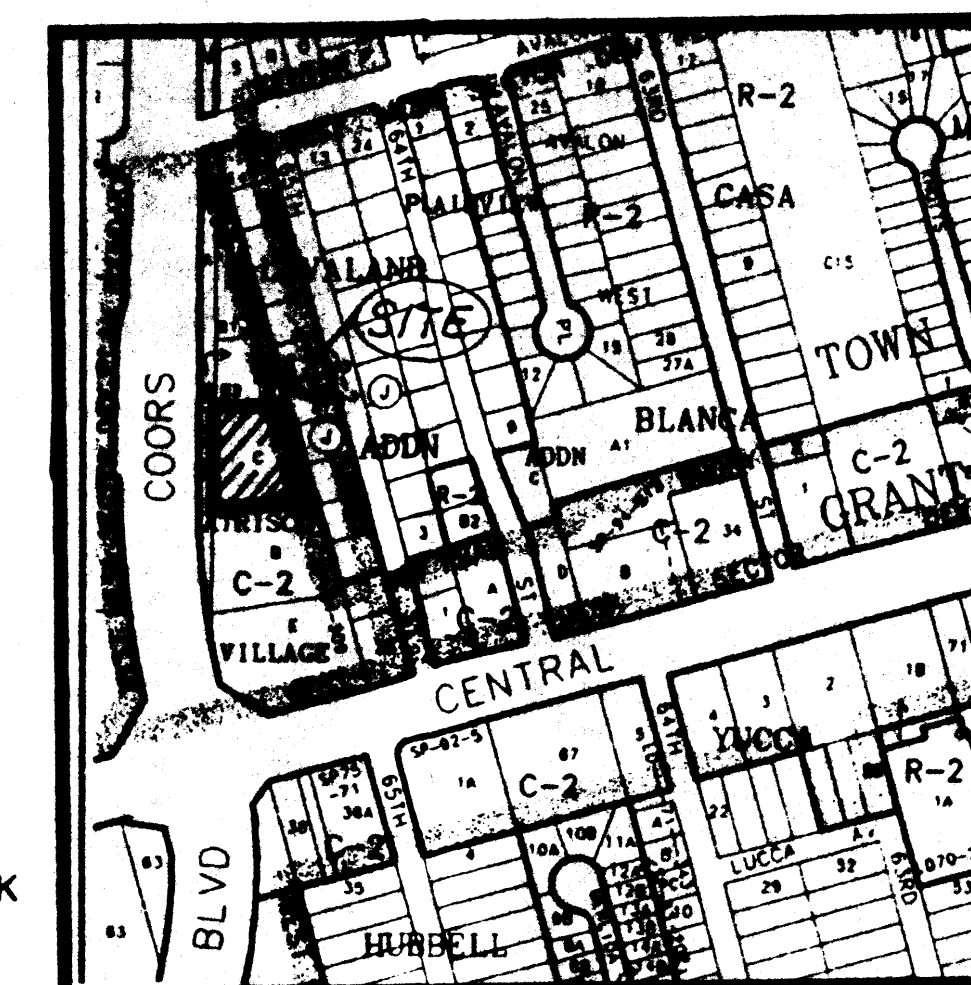
- = DRAINAGE BASIN BOUNDARY
B-1 = BASIN DESIGNATION
--- = SWALE
+ FG=11.0 = EXIST SPOT ELEVATION
--- = EXISTING CONTOUR
FG=11.0 = PROPOSED SPOT ELEVATION
--- = WATER BLOCK
--- = HISTORIC FLOW PATTERN
--- = FLOW DIRECTION
--- = ROOF FLOWS
TCP = TOP CONCRETE PAVING
FL = FLOWLINE
TC = TOP OF CURB
FG = FINISH GRADE
TSW = TOP OF SIDEWALK
FF = FINISH FLOOR
TA = TOP OF ASPHALT
(FVME) = FIELD VERIFY, MATCH EXISTING

SEPTEMBER 25, 2001

PROLUBE & WASH
AUTO SERVICE CENTER
COORS BOULEVARD
ALBUQUERQUE, NEW MEXICO

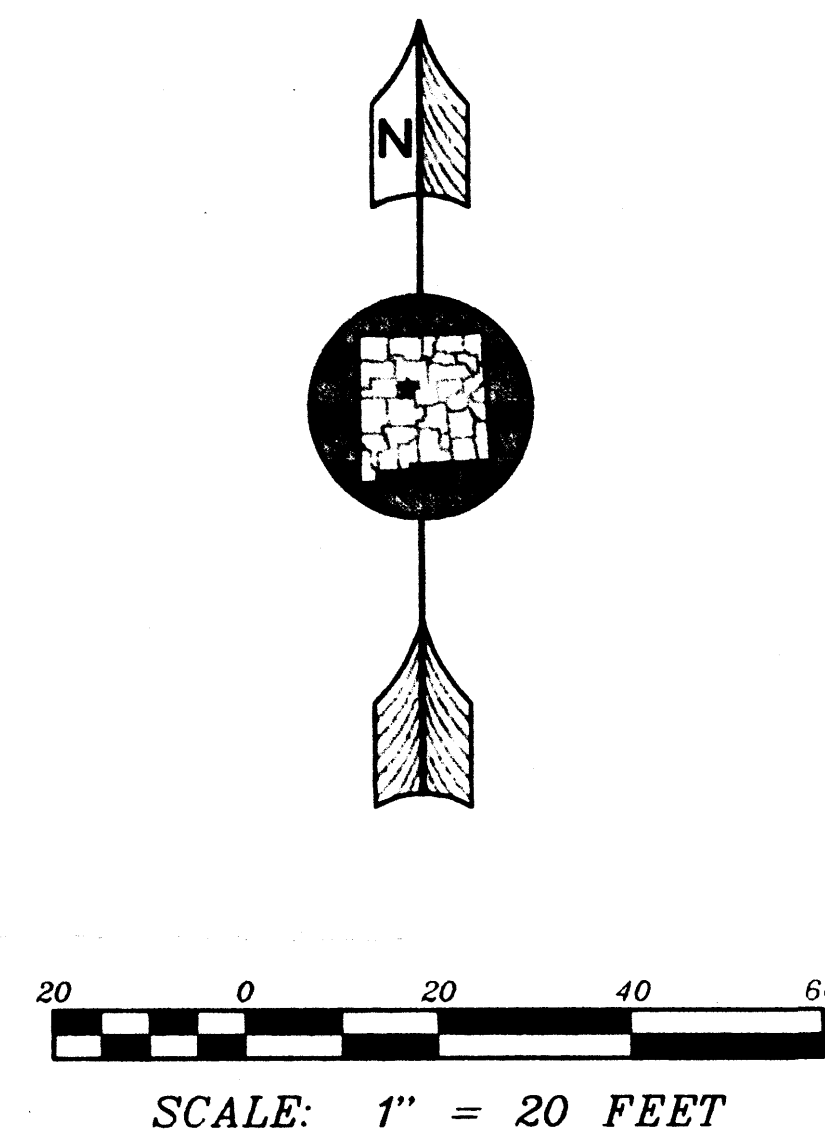
CG.1

GRADING PLAN



VICINITY MAP

NO SCALE (ZONE MAP K-11-Z)



SCALE: 1" = 20 FEET

INSTALL DOUBLE SIDEWALK
CULVERT PER COA STD
DWG. # 2236

INSTALL 6" THICK CURBED
CONCRETE RUNDOWN 6"
DEEP x 4' WIDE F-F

FUTURE CURB, BUILDING &
PAVING ELEVATIONS

INSTALL TEMPORARY DIVERSION BERM
(2' TALL x 15' WIDE) TO DIRECT
SURFACE FLOWS INTO CONCRETE
RUNDOWN (REMOVE WITH FUTURE
CARWASH CONSTRUCTION)

EXIST 7' DRAINAGE
& UTILITY EASEMENT

TRACT D
ATRISCO VILLAGE

TRACT B-2
ATRISCO VILLAGE

COORS BOULEVARD

B-1

B-2

B-3

PROPOSED BUILDING
FF=5095.50

TC=94.87
TA=94.37
(FVME)

EXISTING
DRIVEWAY

EXISTING 45' CROSS ACCESS
EASEMENT

TC=95.39
TA=94.89
(FVME)
TC=95.60
TA=95.10

FG (N)=93.3
(FVME)
FG (S)=94.6

TC=94.73
TA=94.23
TC=94.73
TA=94.23

PROJECT BENCHMARK

TC=95.11
TA=94.61

TC=95.26
TA=94.76

TC=95.47
TA=94.97

TC=95.80
TA=95.30

TC=95.14
TA=95.14
TCP=95.23

TC=95.84
TA=95.34

TC=95.73
TA=95.23

TC=95.84
TA=95.34

TC=95.84
TA=95.34

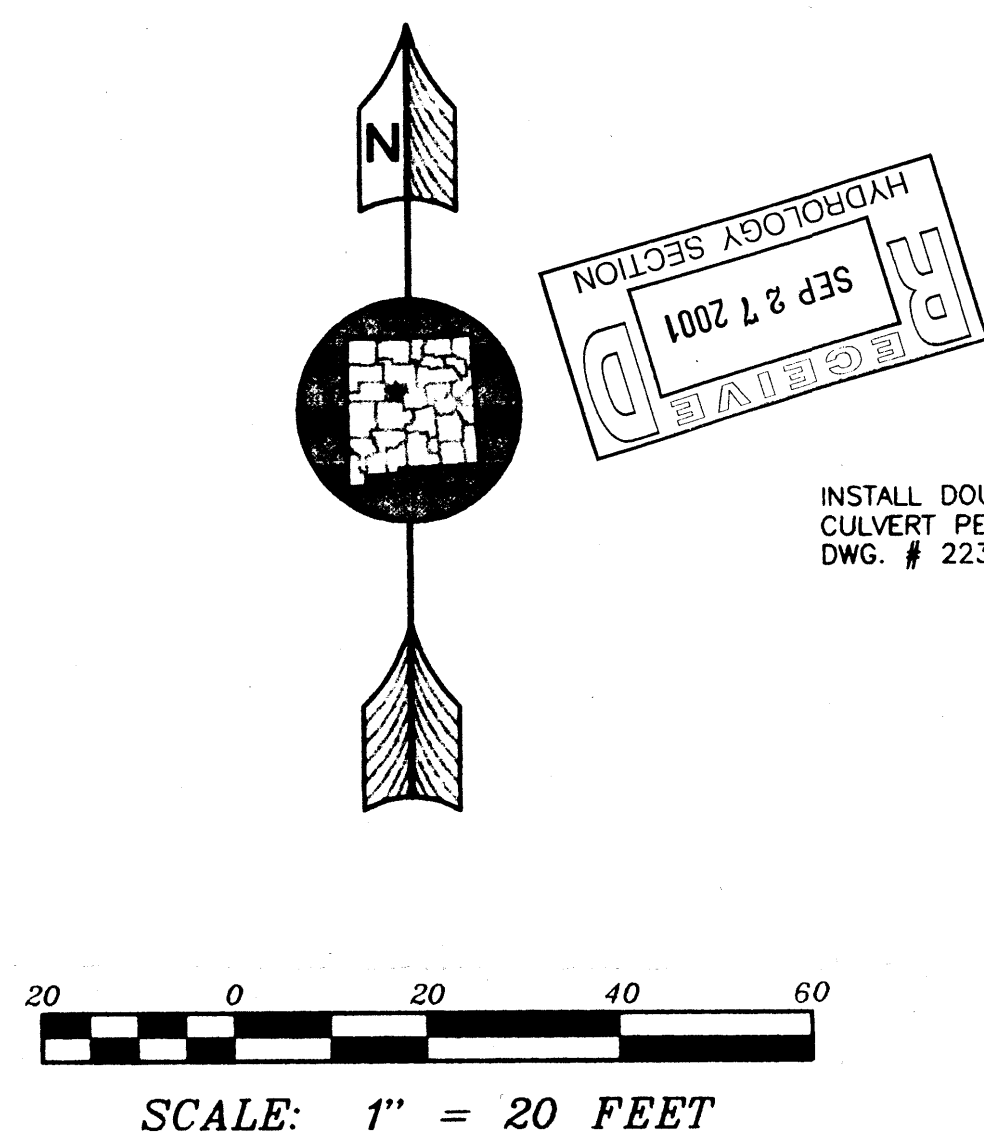
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TC=95.84
TA=95.34

TC=95.84
TA=95.34

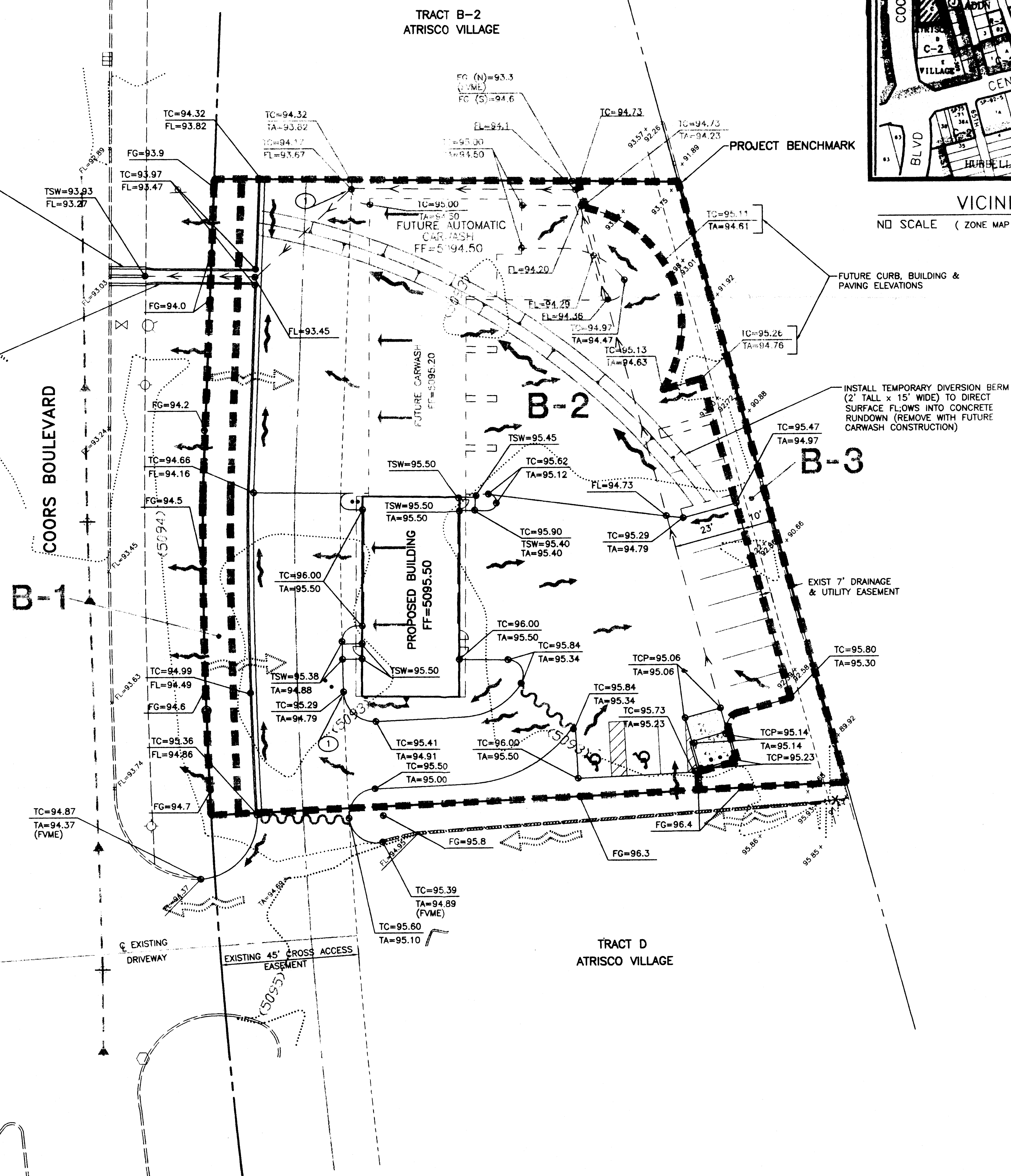
TC=95.84
TA=95.34

TC=95.84
TA=95.34



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Stephen L. Crawford, P.E.

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GRADING PLAN