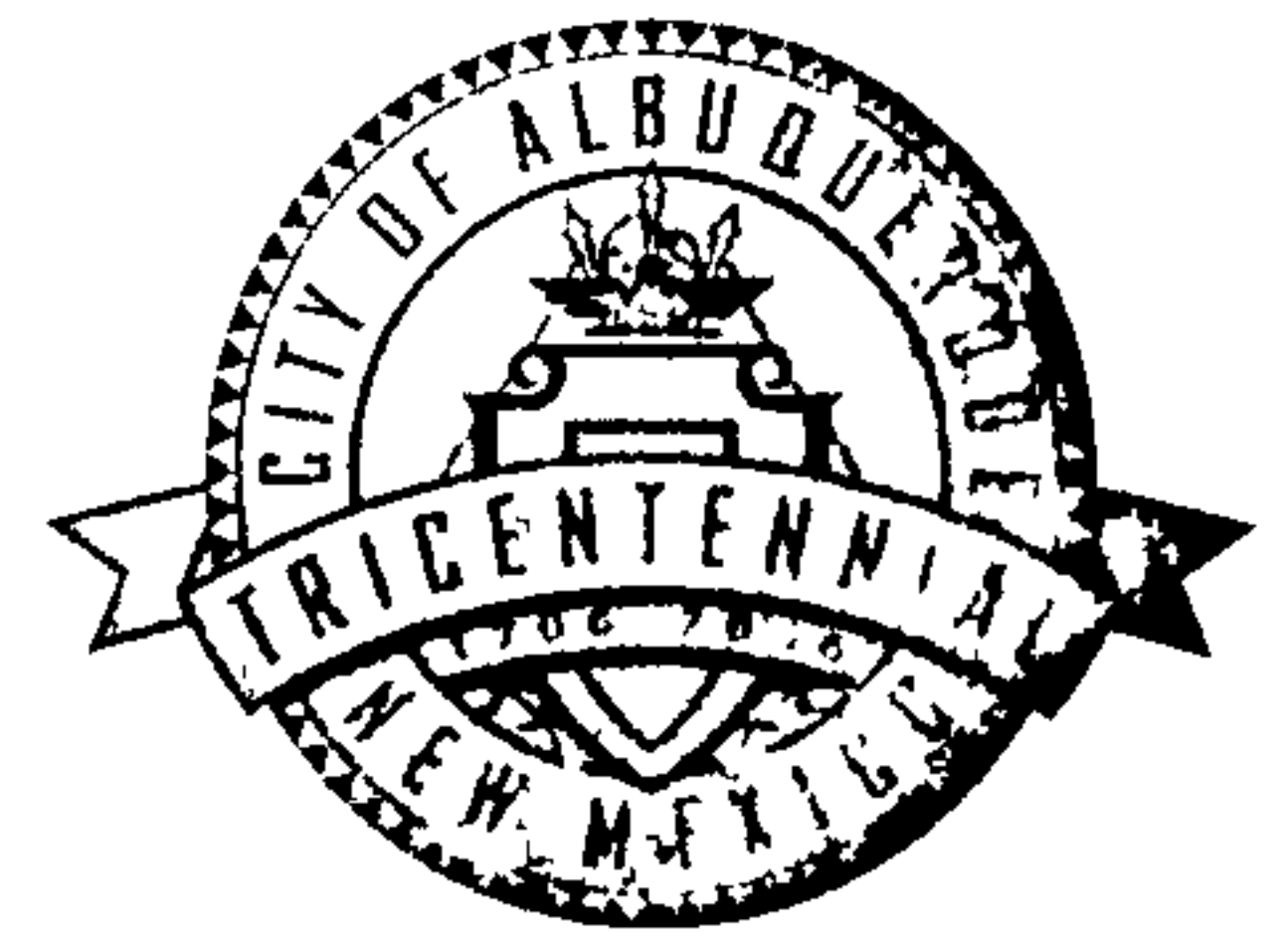


CITY OF ALBUQUERQUE



June 4, 2007

Philip Clark, P.E.
Clark Consulting Engineer's
19 Ryan Road
Edgewood, New Mexico 87015

**Re: Martinez Hair Salon, 5801 Central Ave. NW,
 Permanent Certificate of Occupancy
 Engineer's Stamp dated 10-20-05 (K-11/D074)
 Certification dated 6-04-07**

Dear Mr. Clark,

P.O. Box 1293

Based upon the information provided in your submittal received 6-04-07, the above referenced certification is approved for release of Certificate of Occupancy by Transportation Development.

Albuquerque

If you have any questions, you can contact me at 924-3991.

New Mexico 87103

Sincerely,

www.cabq.gov

Wilfred Gallegos, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk-Katrina Sigala
 File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: Martinez Salon ZONE MAP/DRG. FILE # K-11/074
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: B
CITY ADDRESS: 119 58th ST. NW 87105

ENGINEERING FIRM: Clark Consulting Eng'rs. CONTACT: Phil
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

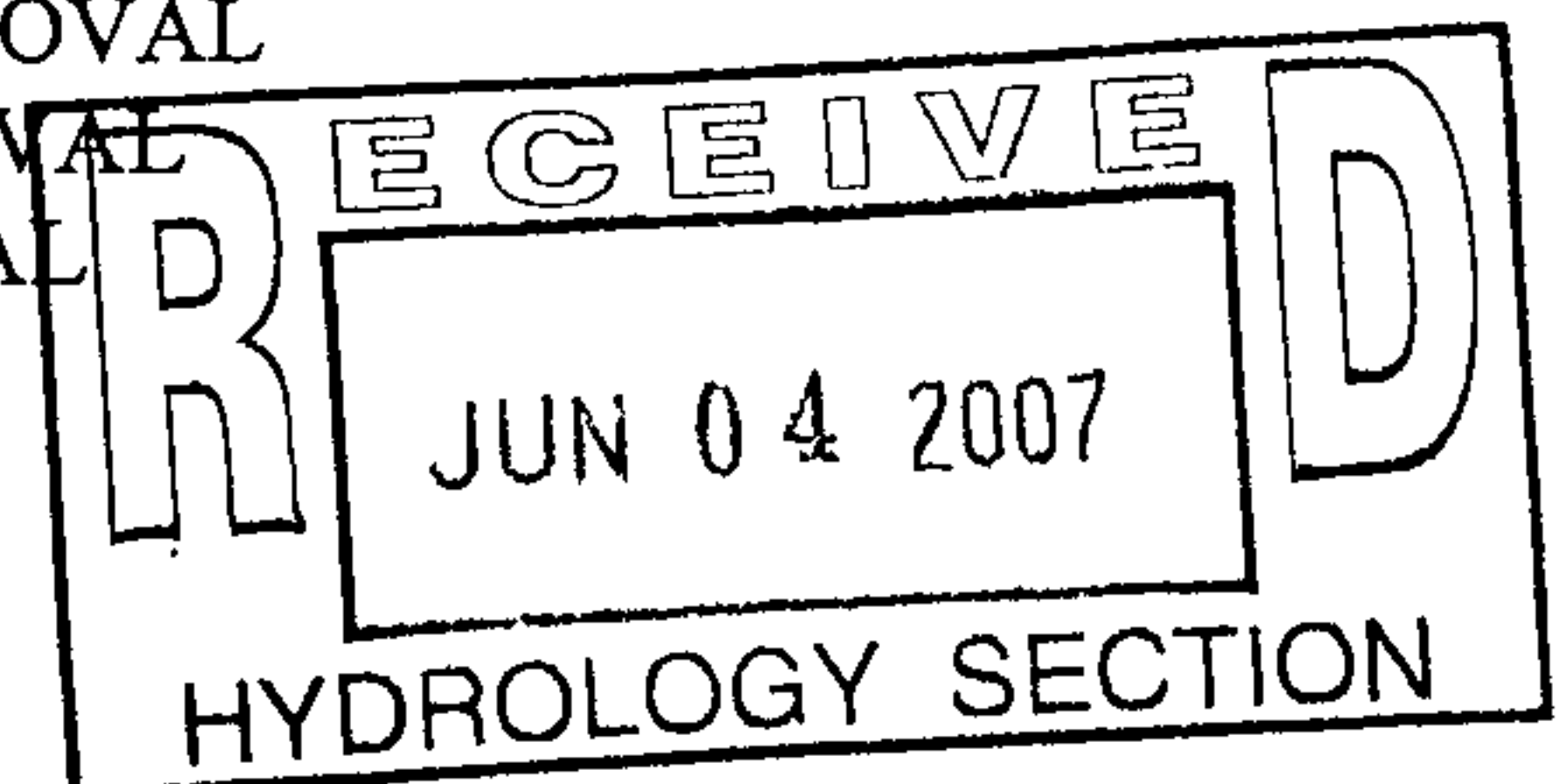
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: RC DATE: 6/4/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

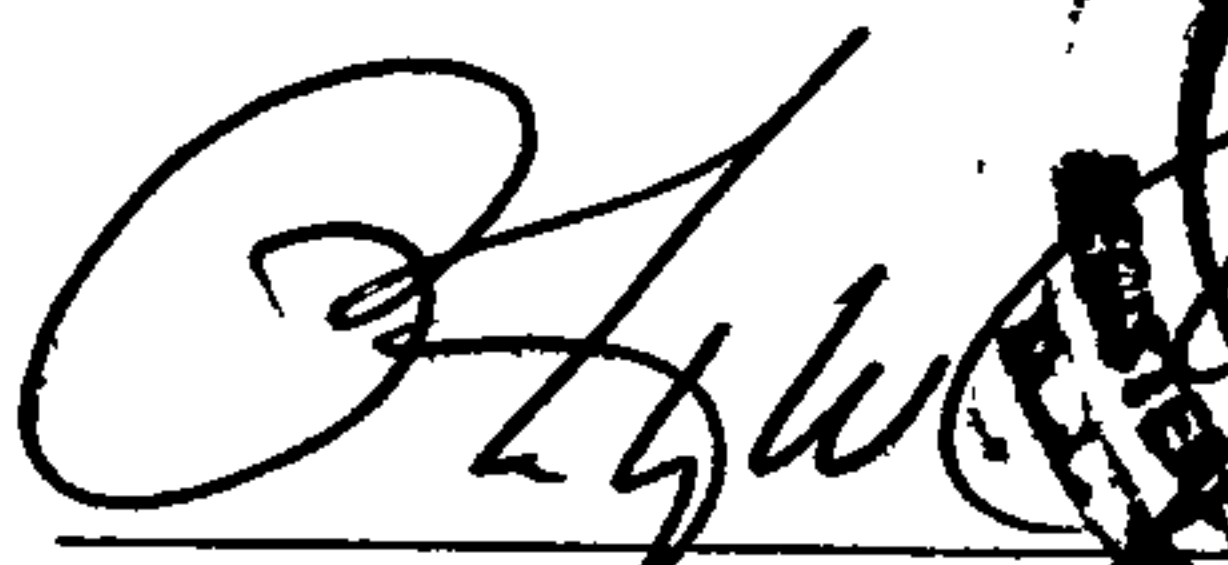
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

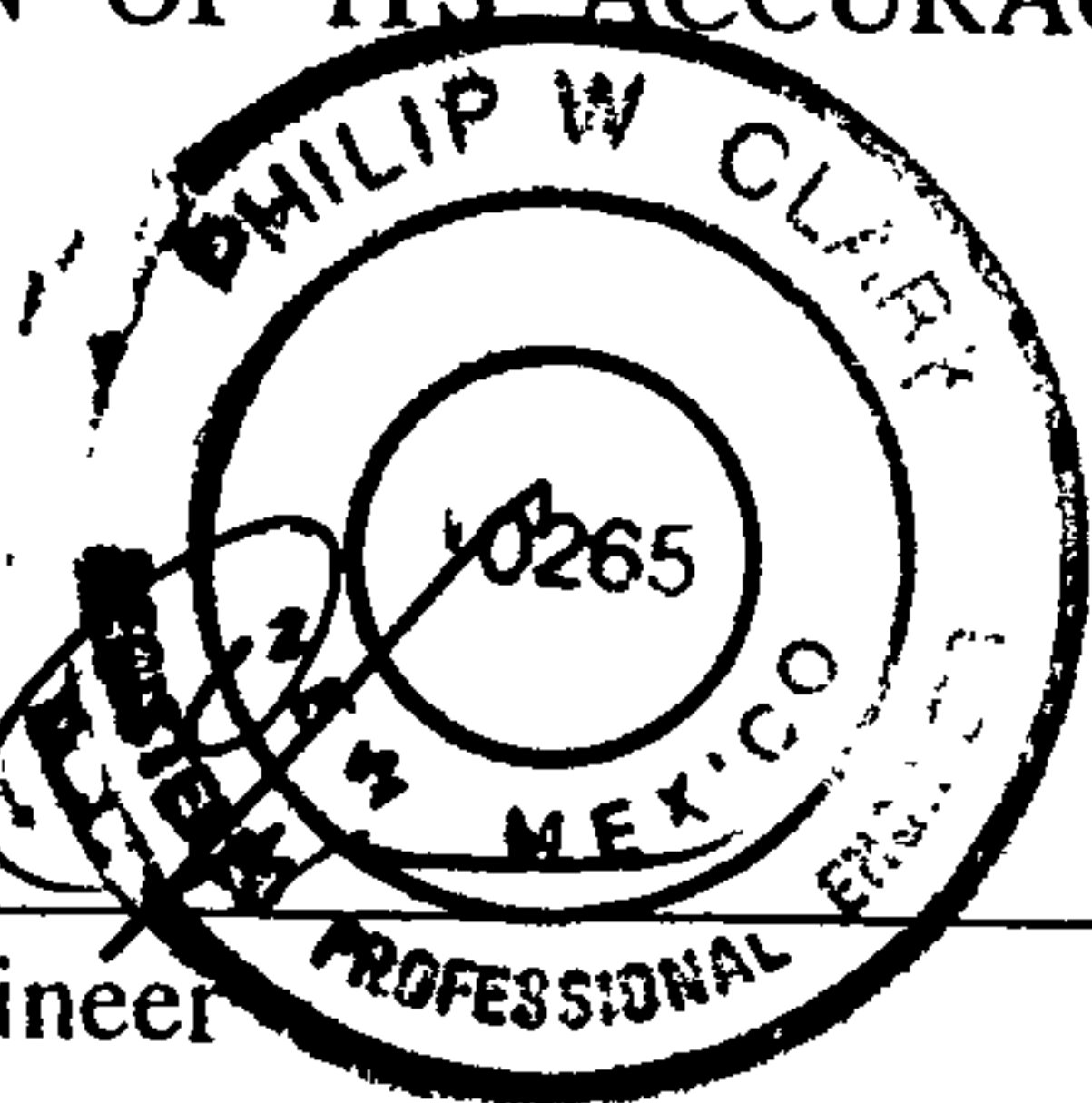


TRAFFIC CERTIFICATION

I, Philip W. Clark, NMPE # 10265, OF THE FIRM Clark Consulting Eng'rs HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE ~~DRB~~ ~~AA~~ OR TCL APPROVED PLAN DATED 10/20/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY myself OF THE FIRM 'CCE'. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-19-07/6/4/07 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

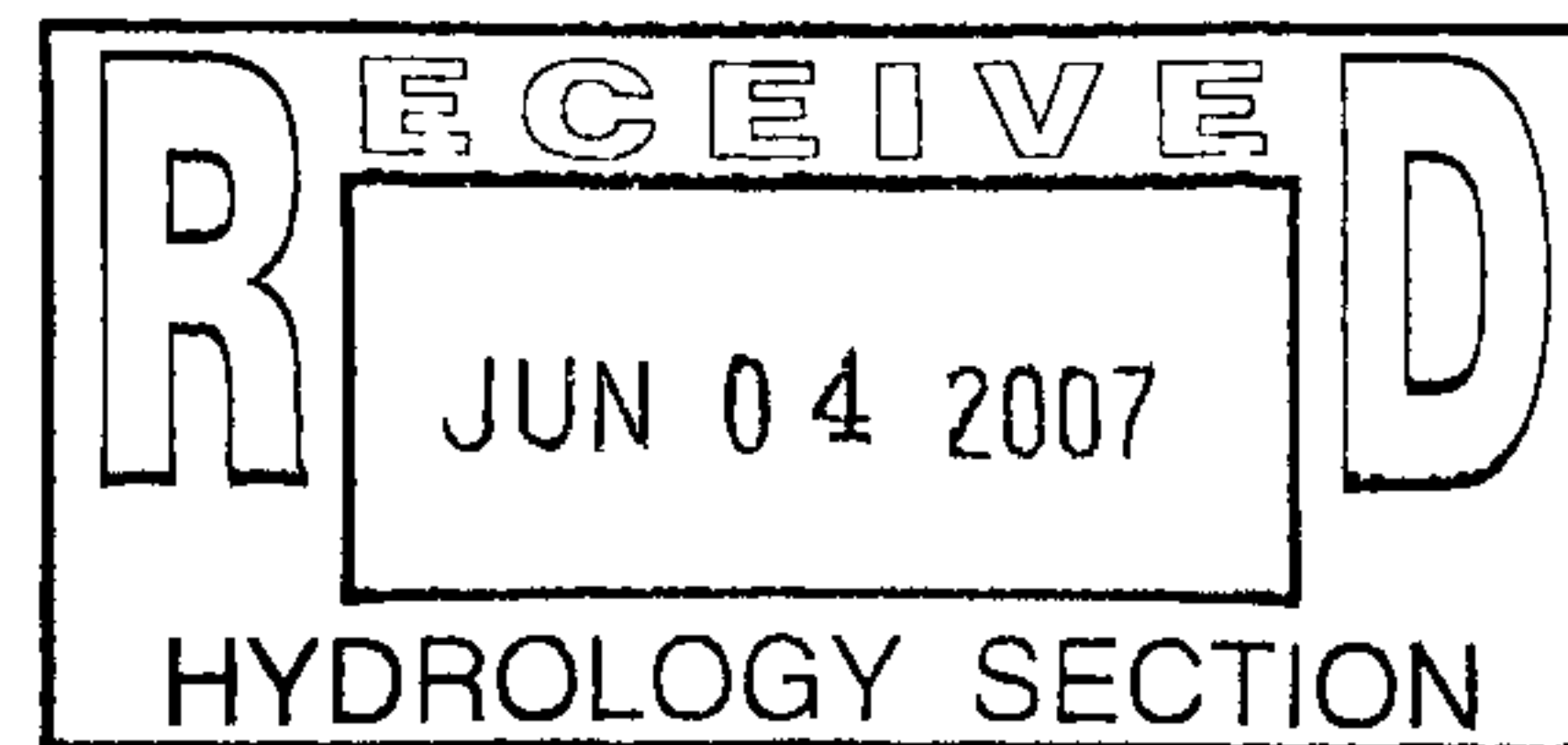

Signature of Engineer



Rev'd 6/4/07

Phil

4/20/07
Date



213

20921

CASPER
- 894 4776

20921

CITY OF ALBUQUERQUE



June 4, 2007

Phillip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

Re: Martinez Hair Salon, 119 58th St. NW
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 7/26/05 (K-11/D07413)
Certification dated 6/4/07

Based upon the information provided in your submittal received 6/4/07, the above referenced certification is approved for Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

New Mexico 87103

Curtis A. Cherne, E.I.
Engineering Associate-Hydrology
Development and Building Services

www.cabq.gov

C: CO Clerk-Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Martinez Salon ZONE MAP/DRG. FILE # K-11/074
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: B
CITY ADDRESS: 119 58th ST. NW 87105

ENGINEERING FIRM: Clark Consulting Eng'rs. CONTACT: Phil
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

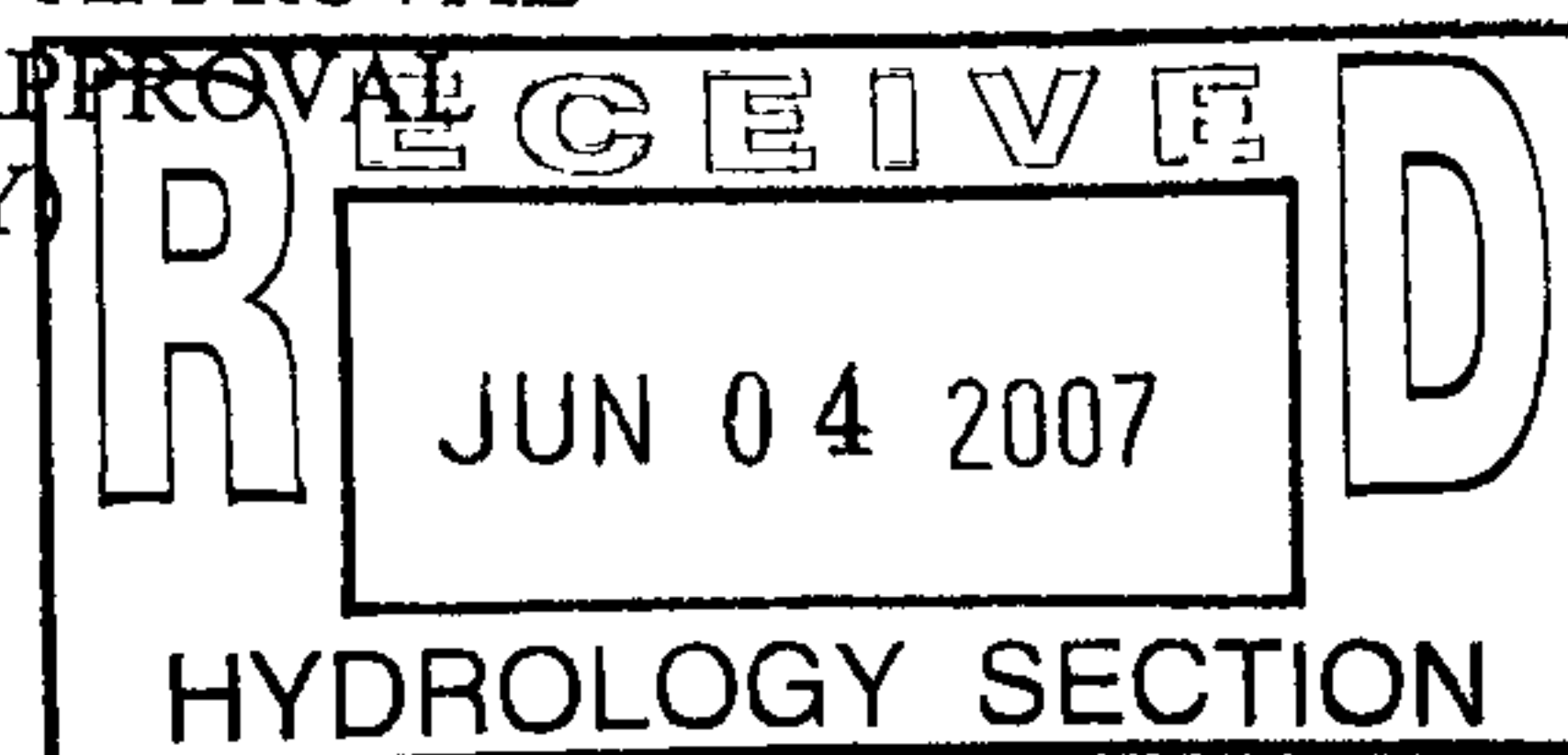
SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

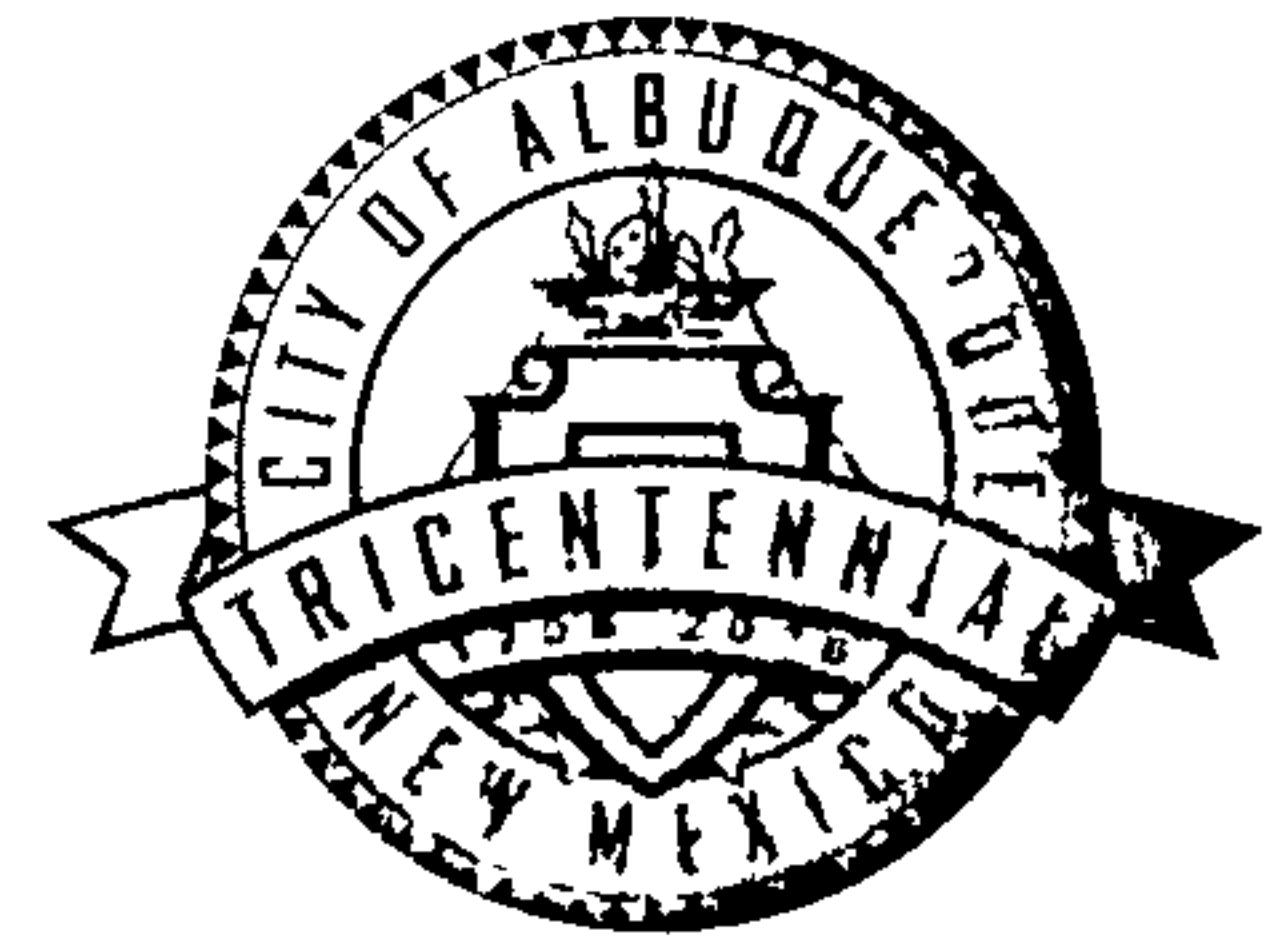


SUBMITTED BY: RC DATE: 6/4/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 4, 2007

Phillip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

Re: **Martinez Hair Salon, ~~119 58th St. NW~~ 5801 Central Ave NW** *6-4-07*

Approval of Permanent Certificate of Occupancy (C.O.)

Engineer's Stamp dated 7/26/05 (K-11/D07413)

Certification dated 6/4/07

Based upon the information provided in your submittal received 6/4/07, the above referenced certification is approved for Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

New Mexico 87103

Curtis A. Cherne, E.I.
Engineering Associate-Hydrology
Development and Building Services

www.cabq.gov

C: CO Clerk-Katrina Sigala
File

CITY OF ALBUQUERQUE



May 3, 2007

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, New Mexico 87015

Re: Martinez Hair Salon (K-11/D074)
119 58th St NW
Approval of 90-Day Temporary Certificate of Occupancy (C.O.)
Certification dated 4/23/07

Dear Mr. Clark:

Based upon the information provided in your submittal (fax) received 5/2/07, the above referenced certification is approved for release of 90-day Temporary Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695

Sincerely,

Curtis A. Cherne
Engineering Associate Planning Dept
Development and Building Services

C: file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Spoke with Phil Clark concerning rejection
of Perm CO.

Told him that owner needed to
regrade the west and north sides around
the bldg so that runoff on the west side
will travel around to the north and out to
the street.

Told him to submit a letter of
compliance when the work was complete - no plan
req'd.

Curto A. Chems



19 Ryan Road
Edgewood, New Mexico 87015

Tele: (505) 281-2444

E-Mail ccanlbq@aol.com

Fax: (505) 281-2444

Philip W. Clark, P.E.

Date: 5/2/2007

Transmittal

TO: Curtis CherneORGANIZATION: City Public Works - Hydrology

FROM: _____

REGARDING: Temp. Certif. of Occupancy - Hydrology
K-11/D74

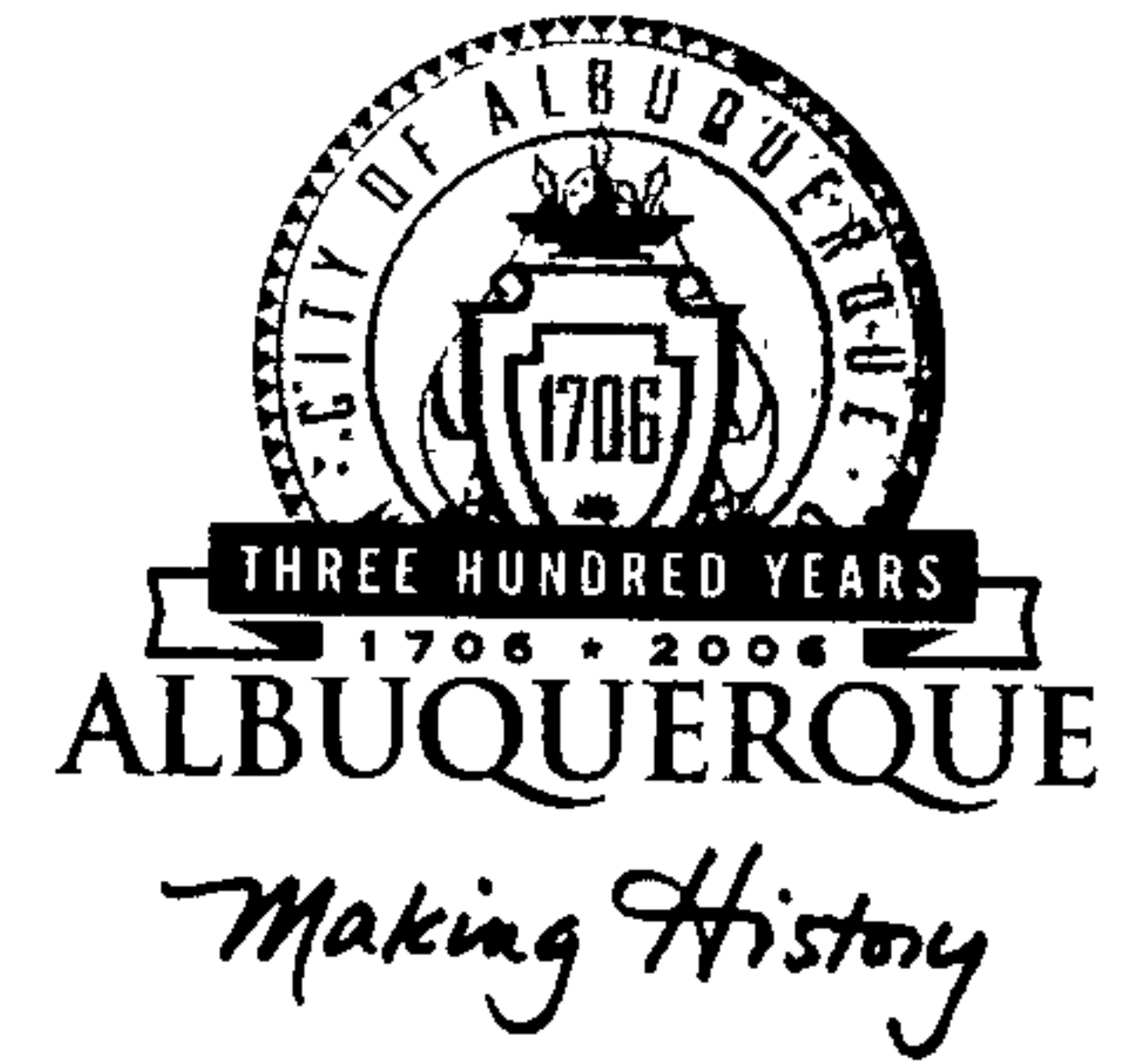
ITEM/MESSAGE:

Per our telecon, I have requested the owner, as you suggested, to grade a swale from the NW corner and West Prop. Line earthen area north & around the North end of the bldg. to the east.

Please allow temporary C.O. This swale will be shown "AS BUILT" upon construction.

Thank you Phil

CITY OF ALBUQUERQUE



August 12, 2005

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

**Re: Martinez Salon, 119 58th St. NW - Grading & Drainage Plan
Engineer's Stamp dated 7-26-05 (K11-D74)**

Dear Mr. Clark,

Based upon the information provided in your submittal dated 8-3-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Additionally, prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3990.

Sincerely,

A handwritten signature in black ink, which appears to read "Phillip J. Lovato", is written over the typed name.

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

cc: file

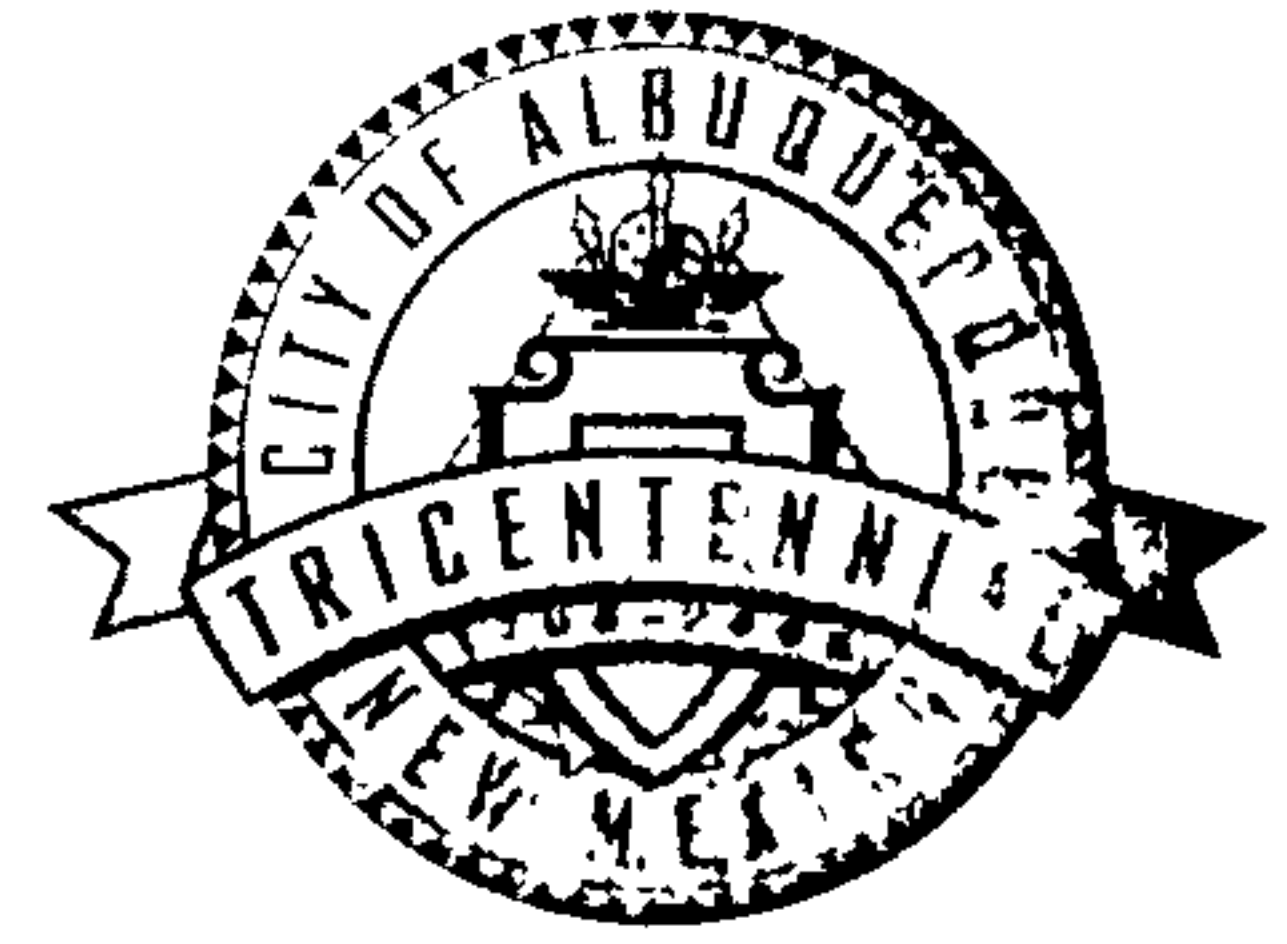
P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



April 25, 2007

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, New Mexico 87015

Re: Martinez Hair Salon (K-11/D074)
119 58th St NW
Permanent Certificate of Occupancy
Certification dated 4/23/07

Dear Mr. Clark:

Based upon the information provided in your submittal received 4-25-07, the above referenced certification cannot be approved until the following comments are addressed:

- The dirt area west of the buildings and the northwest corner will not drain. I could not gain access to the property due to fencing; however, it appeared that the northwest corner was approximately 1 foot low. There were also two scuppers on the middle building draining to this dirt area. The plan shows roof flows to the east.
- Also, not indicated on the plan is the cutout for a planter or similar near the handicap parking space.
- There also appeared to be a concrete patio (covered?) in the alcove of the middle building shown on the plan.

If you have any questions, you can contact me at 924-3695

Sincerely,

Curtis A. Cherne
Engineering Associate Planning Dept
Development and Building Services

C: file

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 20, 2007

Philip W. Clark, P.E.,
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Martinez Salon, [K-11 / D74]
119 58th Street NW
Engineer's Stamp Dated 04/20/07

Dear Mr. Clark:

Based on the information provided on your submittal dated April 20, 2007, the above referenced project is approved for a 90-day Temporary C.O.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

A Temporary C.O. has been issued allowing the outstanding **driveway closure (fronting Central needs to be closed)** and **sidewalk connection (the deleted connection from Central onto Site needs to added per approved TCL Site Plan)** issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Martinez Salon ZONE MAP/DRG. FILE # K-11 / D74
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 119 58TH ST. NW 87105

ENGINEERING FIRM: Clark Consulting Eng'rs. CONTACT: Phil
ADDRESS: _____ PHONE: 281-2444
CITY, STATE: _____ ZIP CODE: _____

OWNER: Martinez CONTACT: Donna/ Casey
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: De/ Paul Jack CONTACT: De/
ADDRESS: _____ PHONE: 235-2670
CITY, STATE: _____ ZIP CODE: _____

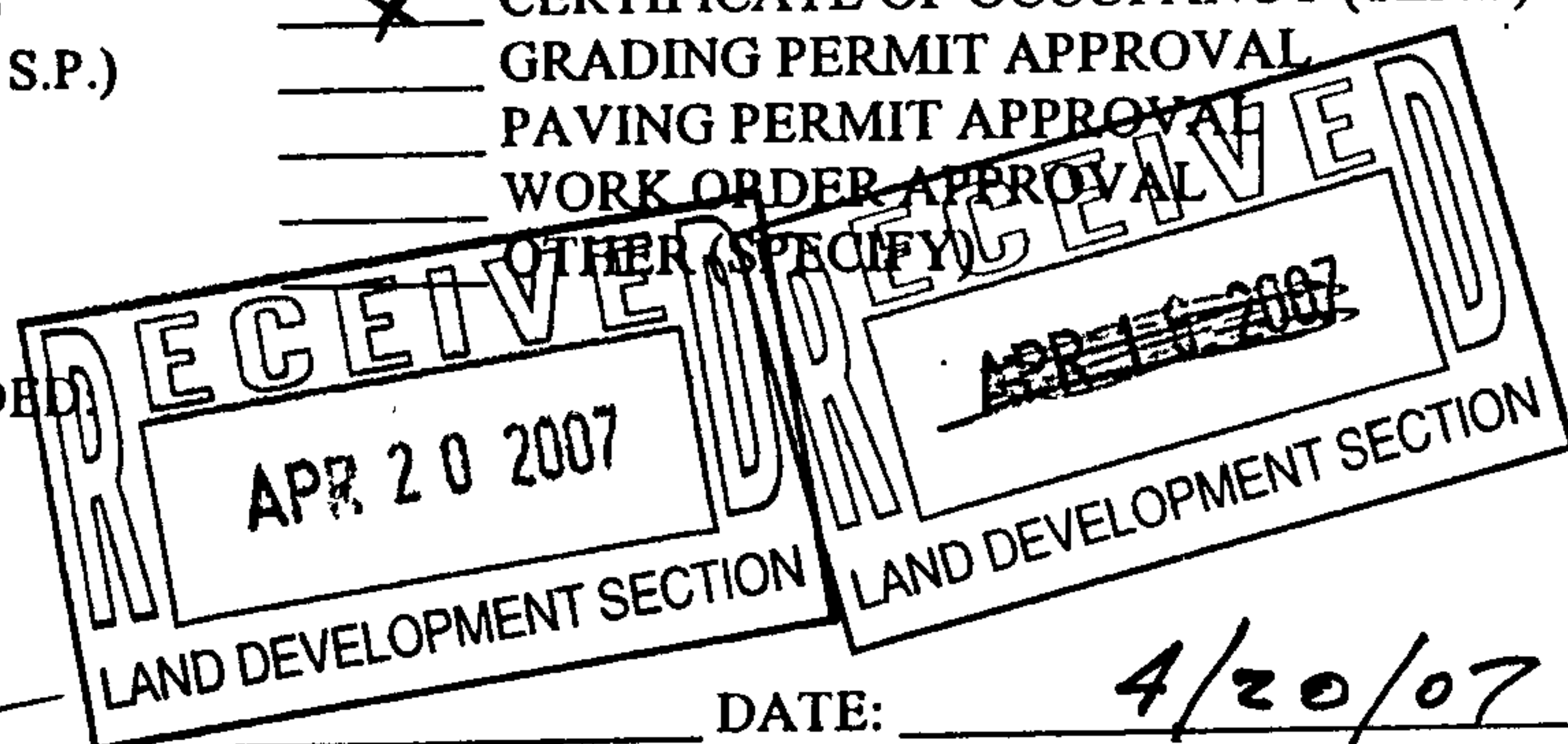
SURVEYOR: Phil Turner CONTACT: 379-4301
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input checked="" type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input checked="" type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input checked="" type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> ENGINEER/ARCHITECT CERT (TCL)	<input checked="" type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)
<input type="checkbox"/> ENGINEER/ARCHITECT CERT (DRB S.P.)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> ENGINEER/ARCHITECT CERT (AA)	<input type="checkbox"/> PAVING PERMIT APPROVAL
<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____
☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Phil DATE: 4/20/07



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

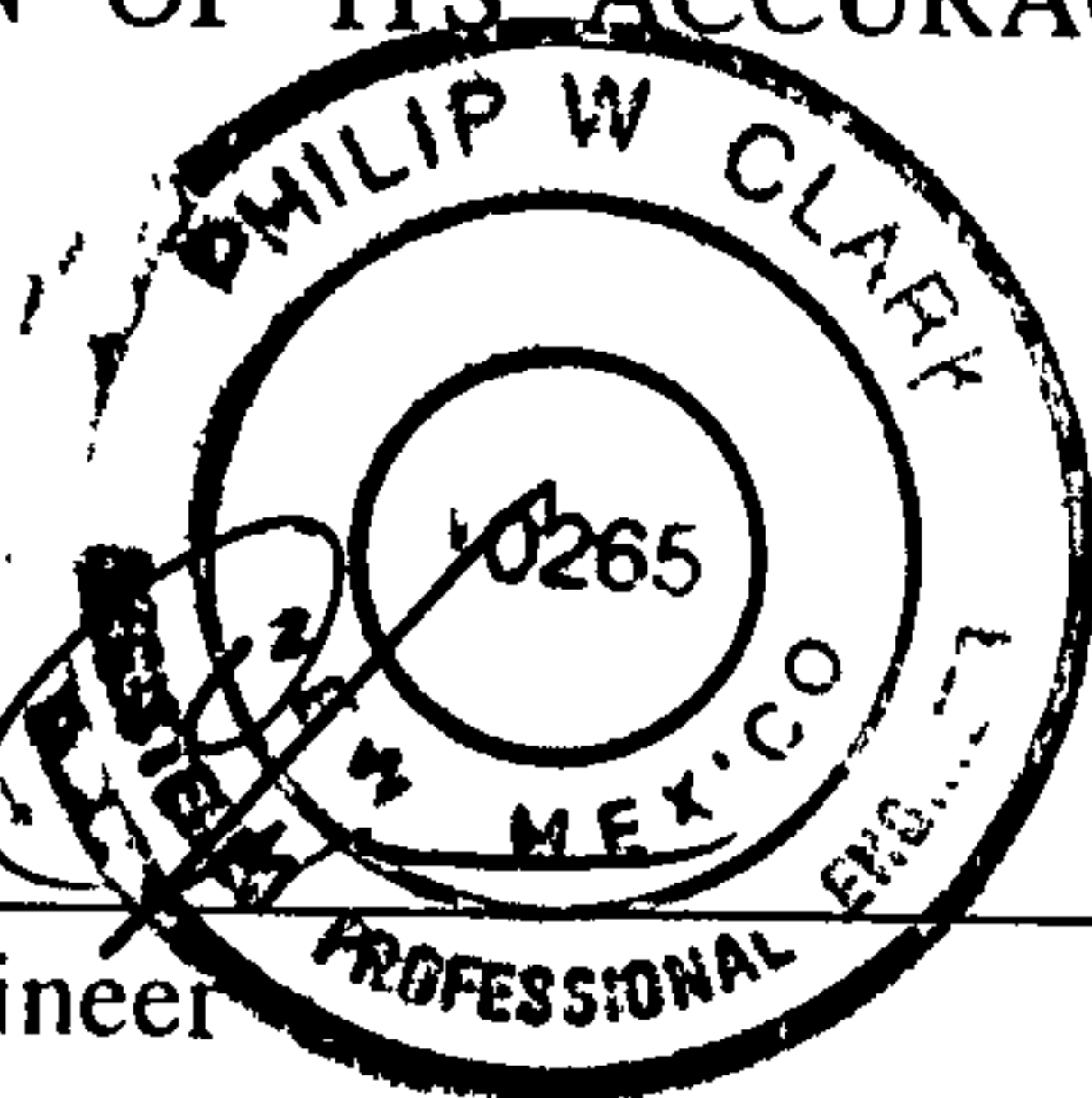
TRAFFIC CERTIFICATION

I, Philip W. Clark, NMPE # 10265, OF THE FIRM Clark Consulting Eng'rs HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE ~~DRB~~ AA OR TCL APPROVED PLAN DATED 10/20/07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY myself OF THE FIRM 'CCE'. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-19-07 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



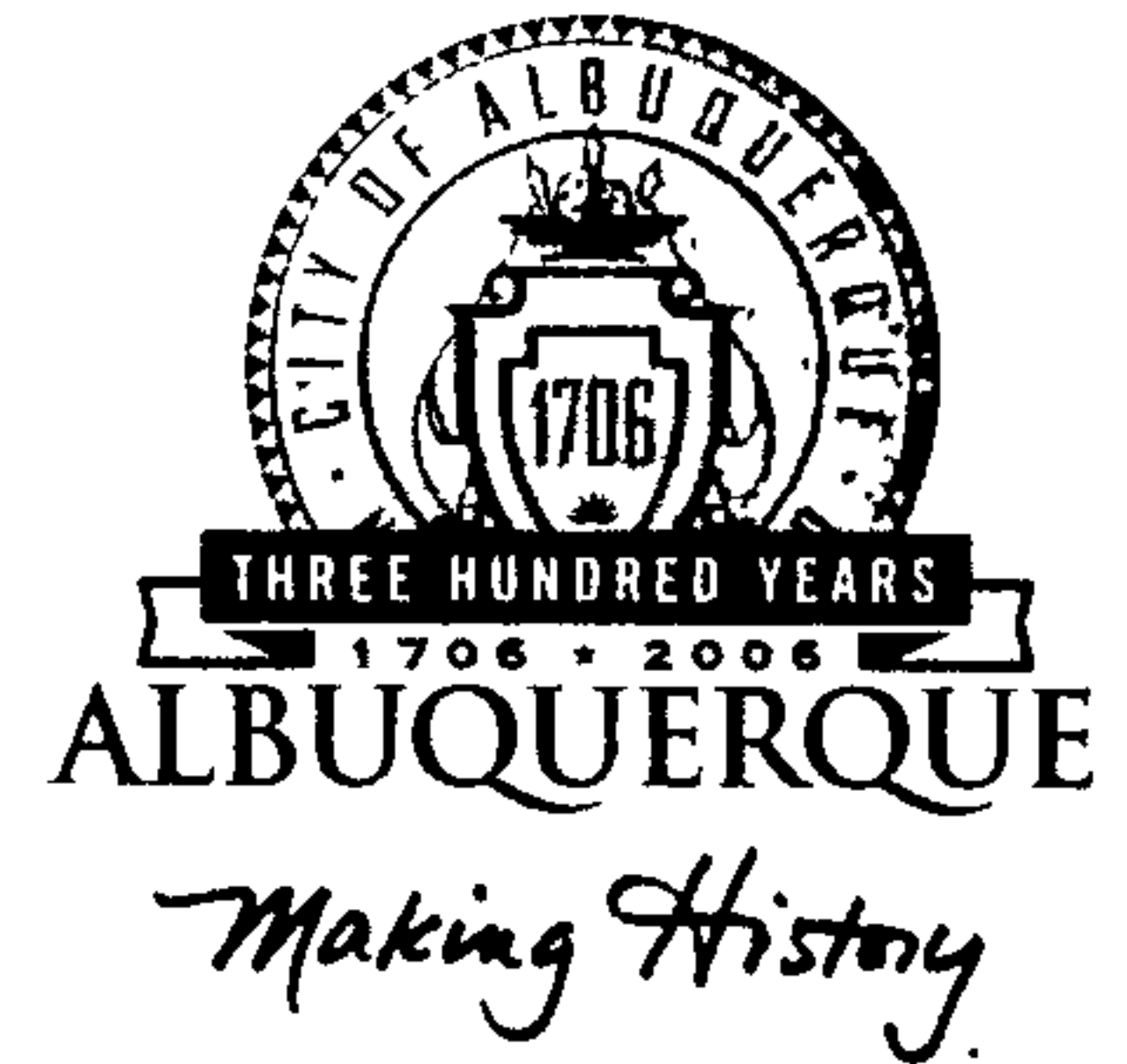
Signature of Engineer



4/20/07

Date

CITY OF ALBUQUERQUE



August 12, 2005

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

**Re: Martinez Salon, 5801 Central Ave. NW - Traffic Circulation Layout
Engineer's Stamp dated 7-26-05 (K11-D74)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 8-3-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Submit a Traffic Circulation Layout Plan not a Grading and Drainage Plan.
- Provide parking calculations designating the number of parking spaces required by zoning as well as the number of parking spaces proposed.
- Correct Note #1 to reference the C.O.A. Standard Specifications for Public Works Construction, 7th Edition w/ updates.
- Provide build notes for both curb cut locations and reference C.O.A. Standard Drawing number.
- Provide a minimum of 15' radii at driveways.
- Provide a minimum of 24' aisle width between refuse screen wall and office/salon curbing.
- Call out typical length of parking stalls. The minimum length is 20'.
- Call out the ADA aisle width. The minimum width for van accessible parking is 8.5'.
- Submit two copies of the Traffic Circulation Layout Plan.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

cc: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: Martinez Salon ZONE MAP/DRG. FILE #: K-11/D74
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 32 B Torres Add'n.
CITY ADDRESS: ~~119 58th Central Ave, NW~~ 119 58TH ST, NW

ENGINEERING FIRM: Clark Consulting Eng'rs.
ADDRESS: 19 Ryan Rd.
CITY, STATE: EDDOWOOD NM

CONTACT: Phil Clark
PHONE: 281-2444
ZIP CODE: 87015

OWNER: Donna Martinez
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Del Paul Jack
ADDRESS: _____
CITY, STATE: _____

CONTACT: Del
PHONE: 235-2670
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

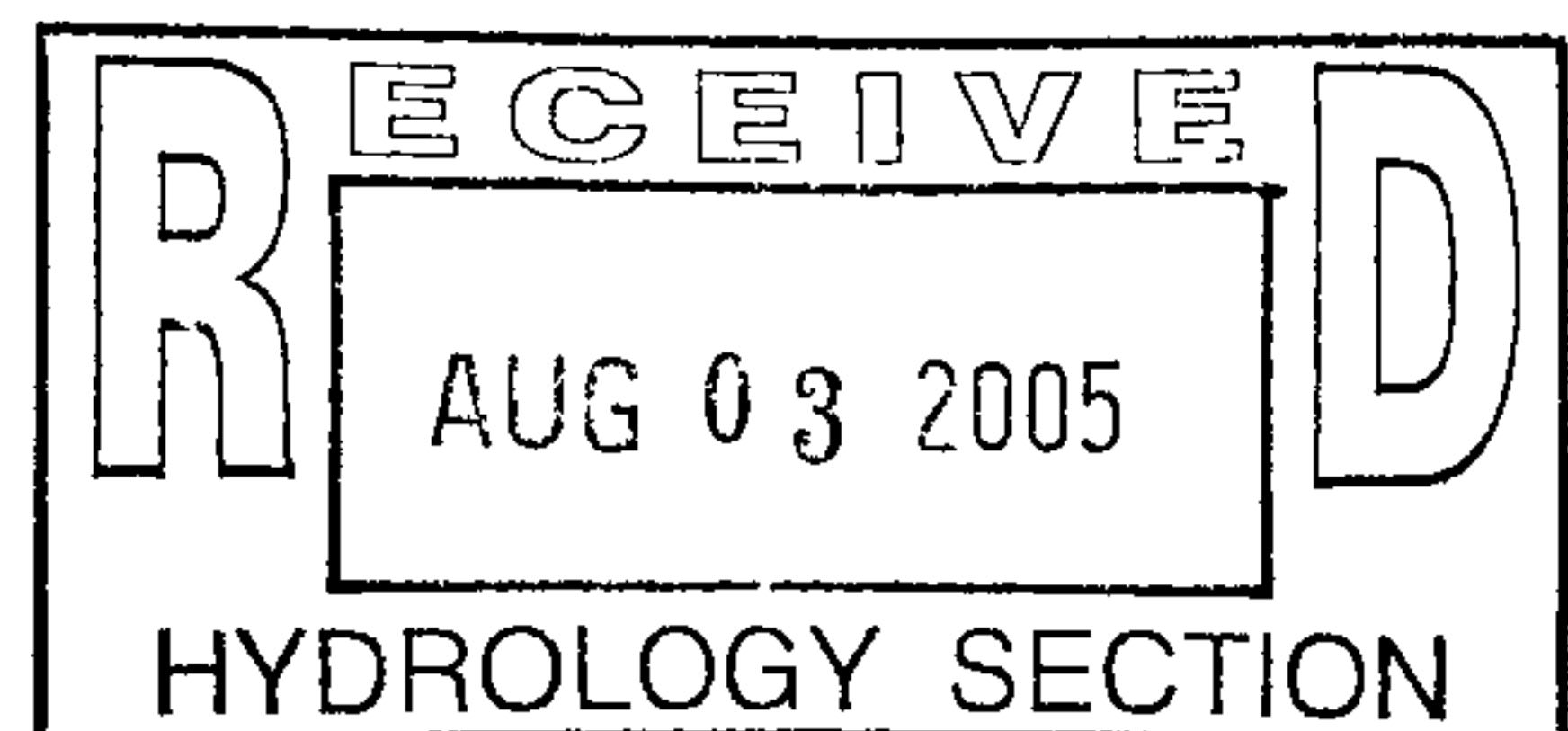
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMP/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 8-3-05 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

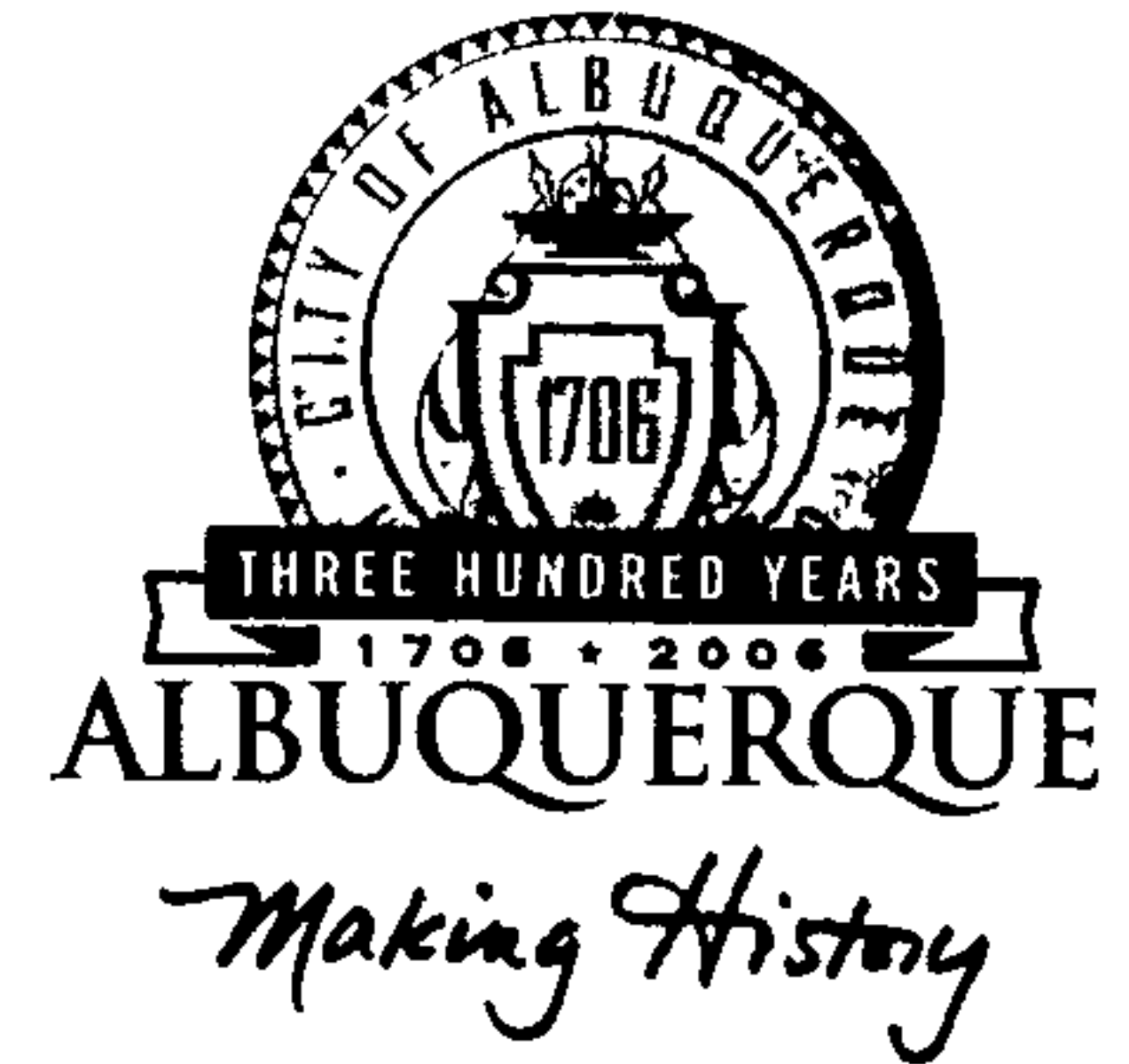
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

- UPDATE 7 ON NOTES 1
- TCL NOT GRADING PLAN
- CURB CUT ~~DRIVERAD~~ BUILD NOTES FOR BOTH LOCATIONS (REFERENCE CO.A, STD DRWG #'S)
- MIN 15' RADWS 2 ^{DRIVEWAY} ~~DRIVERADS~~
- PARKING CALCS
- DIMENSION ADA AISLE
- PURPOSE OF ISLAND IN FRONT OF GARAGE
- LENGTH OF PARKING SPACES

CITY OF ALBUQUERQUE

October 20, 2005

Del Paul Jack, R.A.
Del Paul Jack Architect
4801 Alameda Blvd. NE
Albuquerque, NM 87113



Re: Martinez Residence & Garage, 5801 Central Ave. NW
Traffic Circulation Layout - Architect's Stamp dated 10-20-05 (K11-D74)

Dear Mr. Jack,

The TCL submittal received 10-5-05 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan shall be inserted into each set of the building permit plans. Please keep the original to be used for final C.O. certification of the site required by Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Planning Dept.
Development and Building Services

cc: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: MARTINEZ RES. MAGAR ZONE MAP/DRG. FILE # K11/1074
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 32B • TORRES ADDITION
CITY ADDRESS: 5801 CENTRAL AVE. NM

ENGINEERING FIRM: CLARK CONSULTING ENGINEERS CONTACT: PHIL CLARK
ADDRESS: 17 RYAN ROAD PHONE: 281-2444
CITY, STATE: 2463 EDGEWOOD, NM 87015 ZIP CODE: _____

OWNER: CASEY AND DONNA MARTINEZ CONTACT: _____
ADDRESS: _____ PHONE: 321-2267
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: DEL PAUL JACK CONTACT: _____
ADDRESS: 4801 ALAMEDA DR. NE PHONE: 505.235 26 70
CITY, STATE: ALBQ, N.M. 87113 ZIP CODE: _____

SURVEYOR: P. CLARK CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: NOT SELECTED CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

(PREVIOUSLY REVIEWED & LETTER SENT)
TO C.C.F.

SUBMITTED BY: DEL PAUL JACK DATE: 5 OCTOBER 2005

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- VICINITY MAP

CALL

- STAMPED & SIGNED