

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



Richard J. Berry, Mayor

October 21, 2016

Mr. Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Rd.
Edgewood, NM 87015

RE: **Cosme Retail
Grading & Drainage Plan
Engineer's Stamp Date 10-12-2016 (File: K11D077)**

Dear Mr. Clark:

Based upon the information provided in your submittal received 10-14-2016, the above referenced Grading and Drainage Plan is approved for ESC Building Permit. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. A completed floodplain permit will be required prior to sign off for CO.

Albuquerque

Please ensure that the Developer/Contractor process an ESC Grading Permit (attached), they can be submitted to Curtis Cherne. An approved ESC Plan will be required to approve the Permit.

New Mexico 87103

If you have any questions you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: CLARK CONSULTING ENGINEERS **Contact:** Philip Clark

Address: 19 Ryan Road Edgewood, NM 87015

Phone#: 281.2444 **Fax#:** _____ **E-mail:** CCEalbq@aol.com

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
- ☐ TRAFFIC/ TRANSPORTATION
- ☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

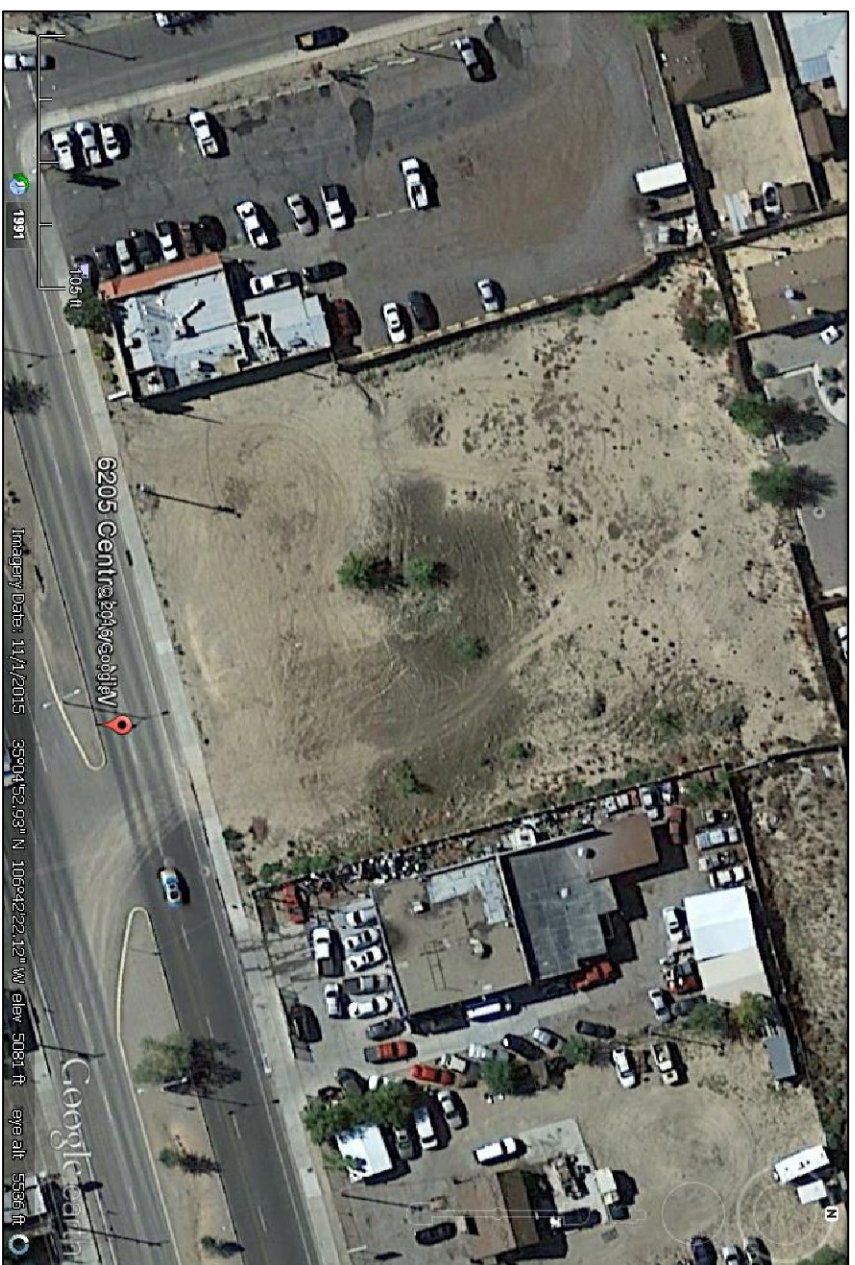
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ GRADING/ESC PERMIT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ **PRE-DESIGN MEETING?**
- ☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

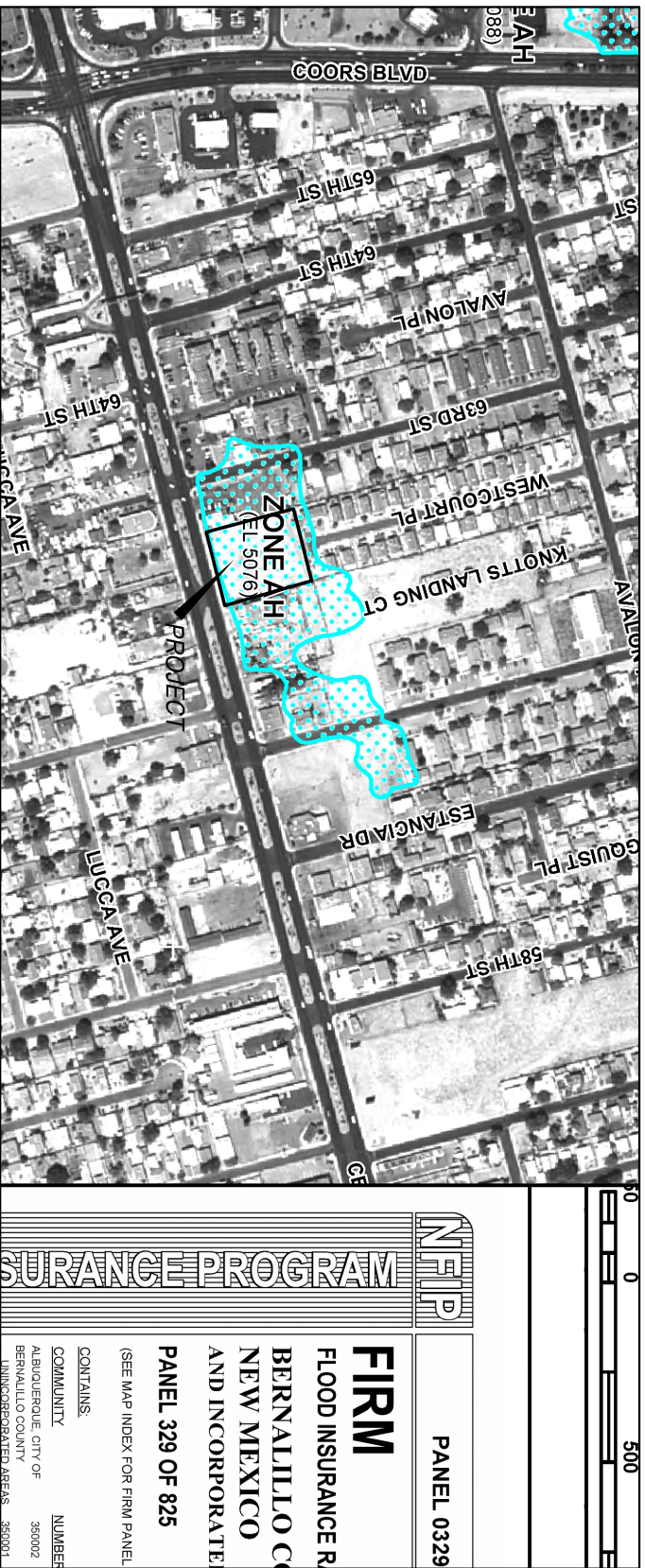
DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ **ELECTRONIC SUBMITTAL RECEIVED:** _____

FEE RECEIVED: _____



ORTHO-PHOTO, DATED 11-1-2015



SITE DOES LIE IN SPHA PANEL # 329 H

GRADING & DRAINAGE PLAN

THE COMMERCIAL RETAIL PROJECT IS LOCATED IN THE WEST CENTRAL AREA OF ALBUQUERQUE, APPROXIMATELY 3 MILES WEST OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNILLO COUNTY FLOOD HAZARD ORDINANCE, NO.86-46, AND THE NEW MEXICO FLOOD DAMAGE PREVENTION ACT, AND THE ORDER OF THE BOARD OF ENGINEERS REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS, INCLUDING PREVIOUSLY DEVELOPED LOT
2. PROPOSED IMPROVEMENTS: 12,400 SF OFFICE-RETAIL BLDG, ON-SITE PARKING, NEW GRADE ELEVATIONS, FLATWORK AND LANDSCAPING
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS
4. QUANTIFICATION AND ACCEPTANCE OF UPSTREAM OFF-SITE FLOWS WHICH CONTRIBUTE TO THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF FROM THE PROJECT AND EXISTING ADJACENT PROPERTIES THROUGH THE PROPERTY. PRESENTLY THE SITE IS BOUNDED ON THE EAST AND WEST BY COMMERCIAL USE. CENTRAL AVE ON THE SOUTH IS 4-LANE PAVED DEVELOPED WITH 6' WIDE SIDEWALKS AND CURB & GUTTER. THE SITE CURRENTLY DOES NOT DRAIN OR DISCHARGE RUNOFF. HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. SINCE CENTRAL AVE. IS IMPROVED NO GRADING IS PROPOSED WITHIN THE CITY R.O.W. THE FIRST FLUSH 1/2-INCH RAINSTORM IS RETAINED ON-SITE. ADDITIONALLY, RUNOFF IS ROUTED TO LANDSCAPING AND WATER HARVESTING IS RECOMMENDED. THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

CALCULATIONS

DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REISED JANUARY 1993 FOR CITY OF ALBUQUERQUE, ADOPTED BY THE COUNTY OF BERNILLO DISCHARGE RATE: 0.04 CFS/AC X AREA. Peak discharge rates for small watersheds DISCHARGE RATE: 0.04 CFS/AC X AREA. DESIGN VOLUME: 1.2 AC X 4.360 SF X 0.37" / 12" = 1612 CF DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

EXISTING CONDITIONS (PREVIOUSLY DEVELOPED)

TOTAL AREA = 1.2 ACRES, WHERE EXCESS PRECIP. 'C' = 0.99 in. [0.44"]
PEAK DISCHARGE, Q100 = 3.5 CFS [1.9], WHERE UNIT PEAK DISCHARGE 'N' = 2.9 CFS/AC. [1.9]
THEREFORE, VOLUME 100 = 4312 CF [1916]

DEVELOPED CONDITIONS

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

AREA	LAND TREATMENT	Q Peak	E
UNDEVELOPED	0.0XX AC (XXX)	1.29 [0.24]	0.49 [0.08]
LANDSCAPING / Harvest	0.20 AC (17%)	2.03 [0.16]	0.67 [0.22]
GRAVEL & COMPACTED SOIL	0.0 AC (0%)	2.87 [1.49]	0.99 [0.44]
ROOF - PAVEMENT	1.0 AC (83%)	4.40 [2.90]	1.97 [1.24]
1.2 AC			

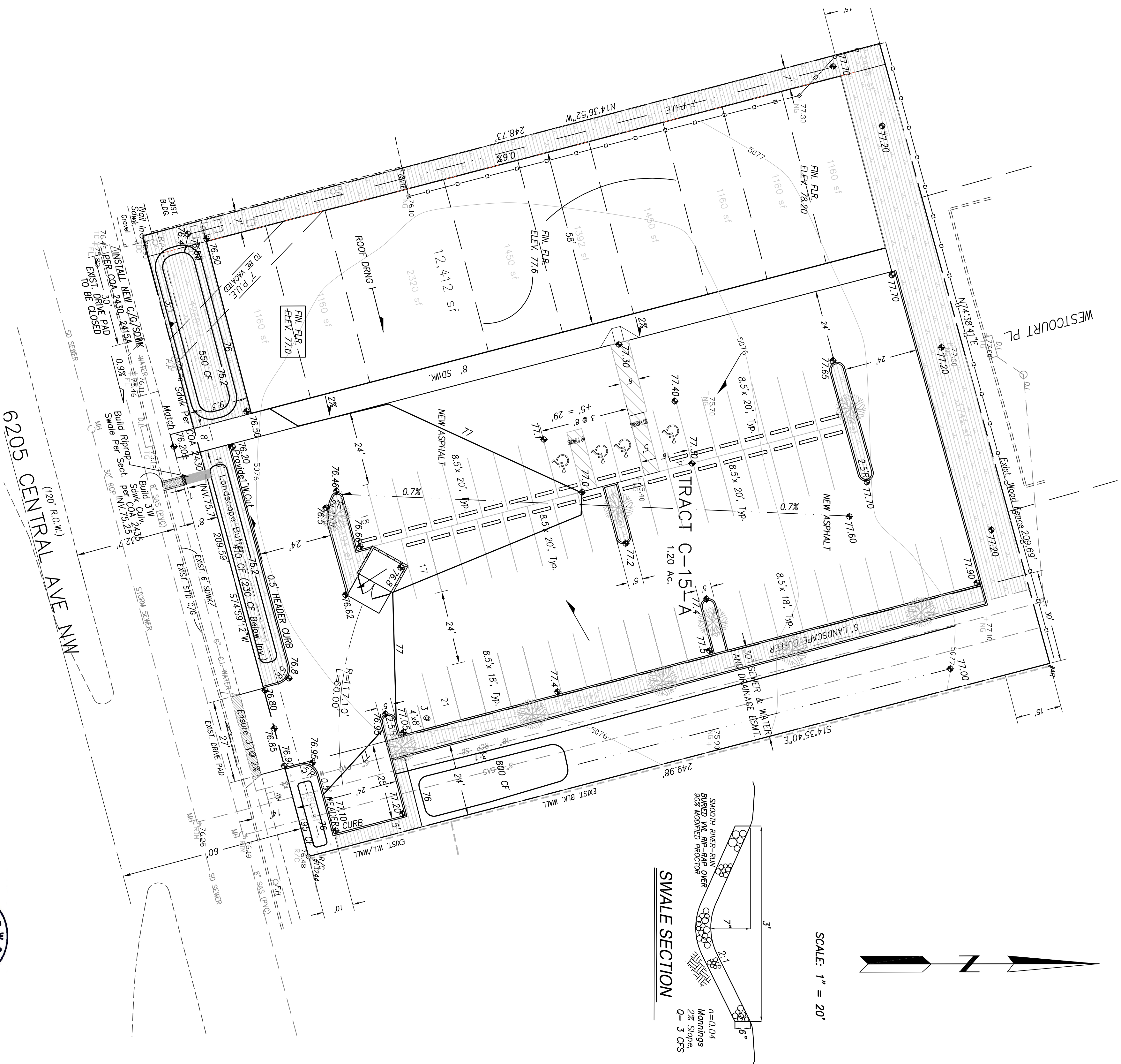
THEREFORE, $E_{Weighted} = 1.75 \text{ in.} [1.07"]$ & $Q100 = 4.81 \text{ CFS}$ & $VOLUME 100 = 7623 \text{ CF}$
 $Q10 = 3.10 \text{ CFS}$ & $VOLUME 10 = 4660 \text{ CF}$

RECOMMEND: ROUTE DEVELOPED RUNOFF THROUGH EXISTING/UPGRADED SOFT LANDSCAPING INCLUDING DEPRESSED LANDSCAPING STRIP ALONG PARKING AS SHOWN

(CENTRAL BASIN TO CURVERT=0.08 AC, OR ~3.3 CFS...SEE ABOVE)

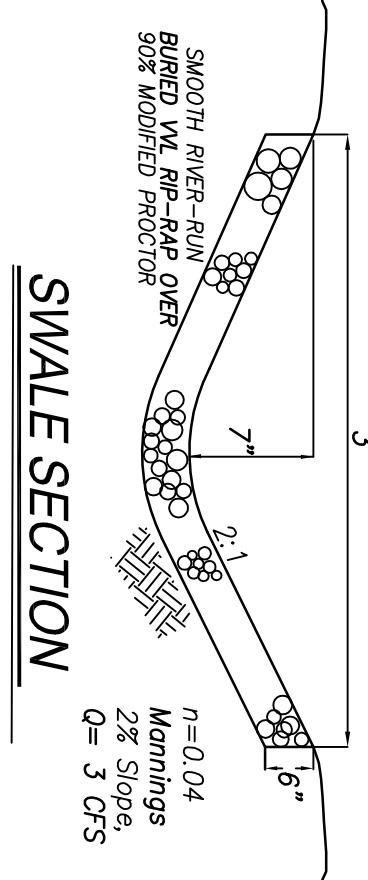
PHILLIP W. CLARK

NMPE #10265

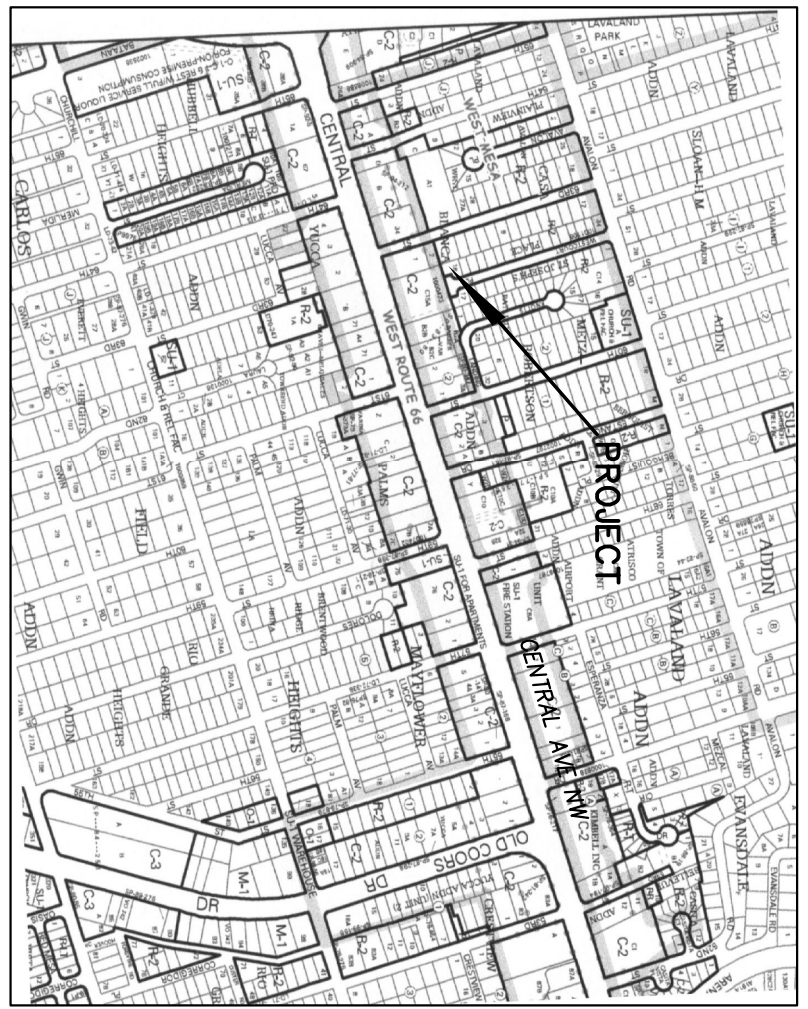


SCALE: 1" = 20'

SWALE SECTION



VICINITY MAP ZONE K-11



NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION W/ 9 UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.
5. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
6. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1012, NATIVE SEED MIX.
7. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3:1 HORIZONTAL TO 1 VERTICAL, 3:1. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.

LEGEND

EXIST. SPOT ELEVATION	+24.0
EXIST. CONTOUR	10
NEW SPOT ELEVATION	+24.0
NEW CONTOUR	12
NEW SWALE	12
DRAINAGE DIRECTION, EXISTING	→
NEW P.C.C., CONCRETE	▬
TOP OF CURB, EXISTING	▬
FLOWLINE	FL
EXISTING POWER POLE	○
FACE OF CURB/FACE OF CURB	F-F
HIGH POINT	HP

PROJECT DATA

LEGAL DESCRIPTION

LOT C-15A, BLOCK 2, TOWN OF ATRISCO GRANT, ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO

PROJECT BENCHMARK

TOP OF REBAR/CAP #13244 AT THE SOUTHEAST CORNER N.S.L. ELEVATION = 5076.48 AS TIED FROM COA 3.3-1/4" DIAMETER ALUM DISK, ACS 18 411, NAVD 88, M.S. ELEV. 5076.47, LOCATED AT THE ENVE CURB RETURN OF 63TH ST. AND CENTRAL AVE.

TOPOGRAPHIC DESIGN SURVEY

PROVIDED BY ALPHA PRO SURVEYING SUPPLEMENTED BY CLARK CONSULTING ENGINEERS UNDER DIRECTION OF GARY E. GRITSKO, N.M.P.S., DATED APRIL 2016

Clark Consulting Engineers
19 Ryan Road
Edgewood, New Mexico 87015
Tel: (505) 281-2444 Cell: (505) 284-6042

DATE	REVISION	LOT C-15A, BLOCK 2, TOWN OF ATRISCO GRANT, ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO
		6205 CENTRAL AVE NW
		RETAIL SUITES
		Grading & Drainage Plan

DESIGNED BY: PWC	DRAWN BY: CCE	JOB #: BURK-CONSUE
CHECKED BY: PWC	DATE: 4/20/16	FILE #: C/O