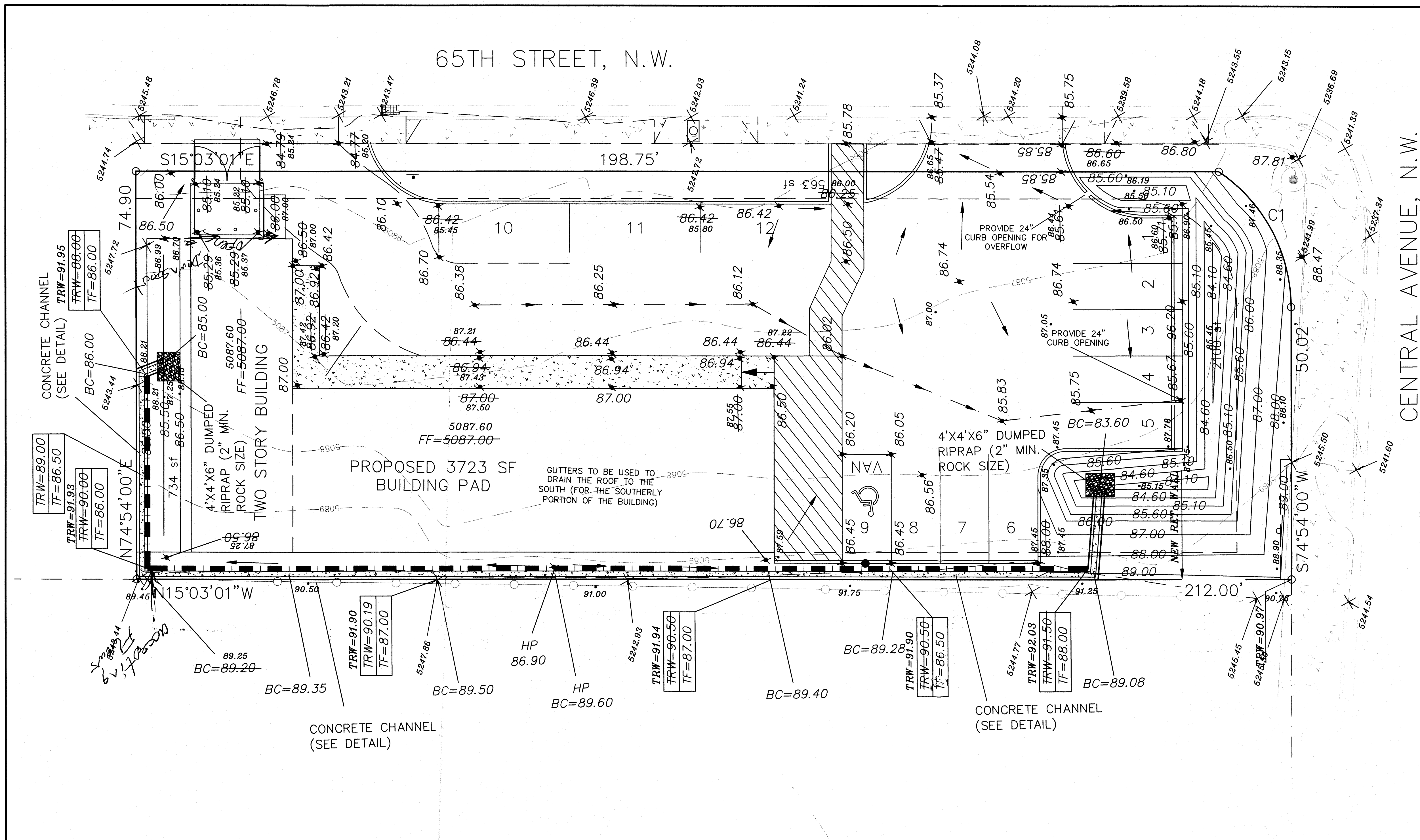




VICINITY MAP:

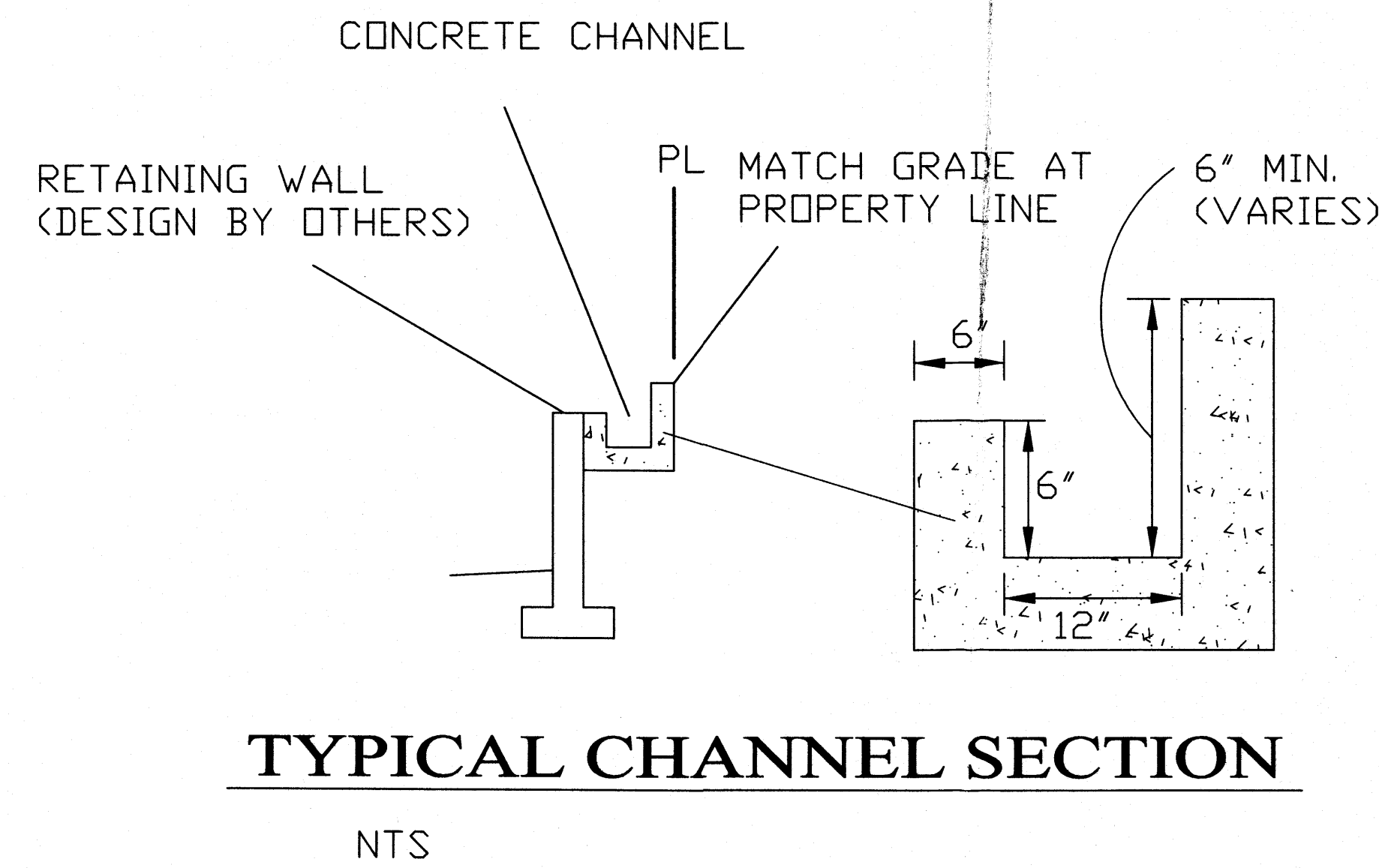
LEGAL DESCRIPTION:
 LOT 26-A, BLOCK J, LAVALAND ADDITION
 CONTAINING 15,781.00 S.F. (0.3623 ACRE)
 ZONING: C-2 USES

- GENERAL NOTES:**
1. CONTOUR INTERVAL IS HALF (1.00) FOOT.
 2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 5_K10, HAVING AN ELEVATION OF 5096.432 FEET ABOVE SEA LEVEL.
 3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 4. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 5. SLOPES ARE AT 3:1 MAXIMUM.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

---	5100	EXISTING CONTOUR (MAJOR)
---	5102	EXISTING CONTOUR (MINOR)
---		BOUNDARY LINE
X 85.46		PROPOSED SPOT ELEVATION
X 5265.16		EXISTING GRADE
X 5284.43		EXISTING FLOWLINE ELEVATION
FL		
█		PROPOSED RETAINING WALL
BC=89.08		BOTTOM OF CHANEL
TRW=91.50		TOP OF RETAINING WALL
TF=88.00		TOP OF FOOTING
HP		HIGH POINT
X 85.47		AS-BUILT GRADES

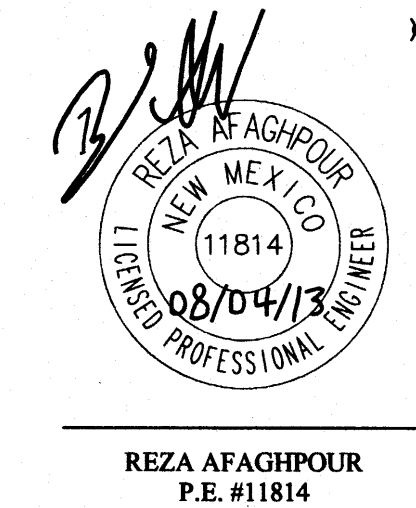
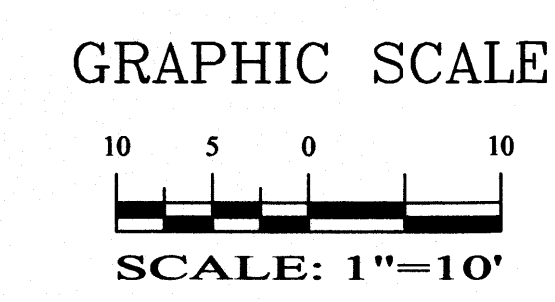


DRAINAGE CERTIFICATION

I, REZA AFAGHPUR, NMPE 11814, OF SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08-04-2013. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPS 9801, OF SBS CONSTRUCTION AND ENGINEERING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

REZA AFAGHPUR, NMPE 11814
 9/25/2014
 DATE



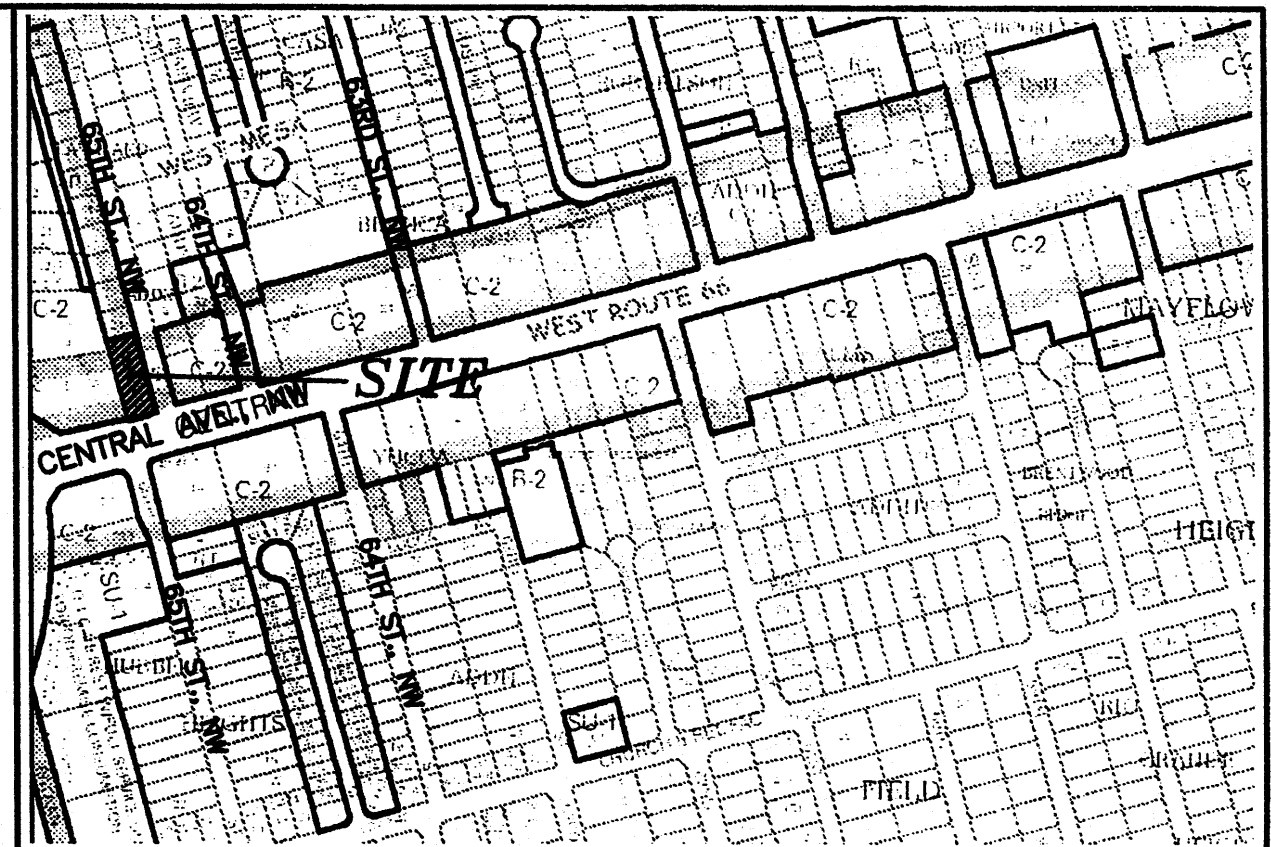
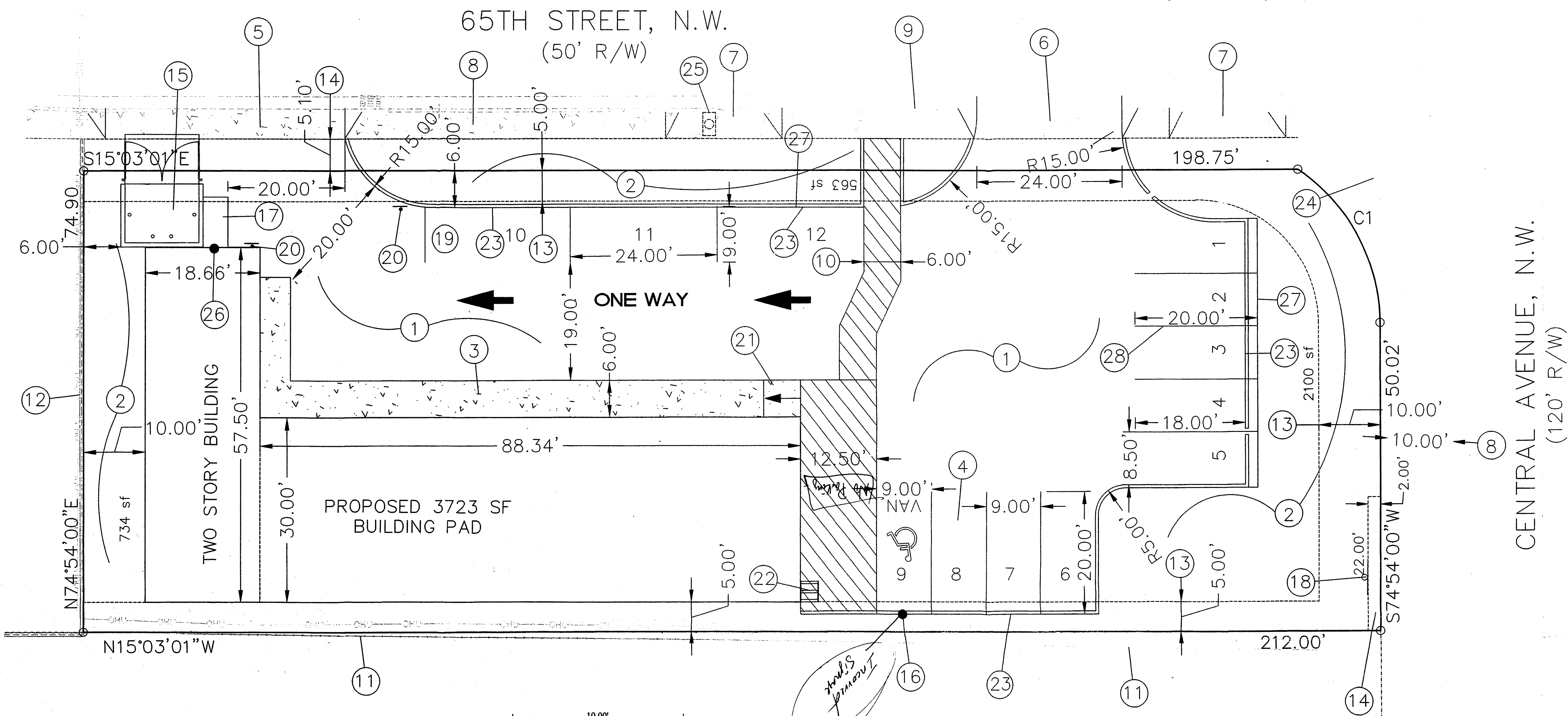
SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW
 ALBUQUERQUE, NEW MEXICO 87114
 (505)899-5570

LOT 26-A, BLOCK J, LAVALAND ADDITION GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
201314-GR.DWG	SH-B	05-29-2013	1

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	30.00'	29.53'	56°02'57"	S46°52'32"W	28.19'



VICINITY MAP: K-11-Z

LEGAL DESCRIPTION:
 LOT 26-A, BLOCK J, LAVALAND ADDITION
 CONTAINING 15,781.00 S.F. (0.3623 ACRE)
 ZONING: C-2 USES

SITE DATA

PROPOSED USAGE:	RESTAURANT/OFFICE/RETAIL
LOT AREA:	15,781.00 S.F. (0.3623 ACRE)
PROPOSED FIRST FLOOR AREA:	3,723.00 S.F.
PROPOSED SECOND FLOOR AREA:	918.00 S.F.
TOTAL	4,641.00 S.F.

LANDSCAPE CALCULATIONS:

NET LOT AREA (15,781-3,723)	12,058.00 SF ±
LANDSCAPING REQUIRED:	1,809.00 SF ±
15% OF 12,000.00 SF	
LANDSCAPE PROVIDED	3,397.00 SF ±

PARKING CALCULATIONS:

RESTAURANT:	32 SEATS/4	=	8 SPACES
OFFICE/2ND FLOOR:	846 SF/300 (2.82)	=	3 SPACES
RETAIL:	332 SF/200 (1.66)	=	2 SPACES
TOTAL			13 SPACES
BUS ROUTE DEDUCTION 10%			-1 SPACE

PARKING REQUIRED:

RESTAURANT:	32 SEATS/4	=	8 SPACES
OFFICE/2ND FLOOR:	846 SF/300 (2.82)	=	3 SPACES
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TOTAL			13 SPACES
BUS ROUTE DEDUCTION 10%			-1 SPACE

MOTORCYCLE SPACES REQUIRED: 1 SPACES

MOTORCYCLE SPACES PROVIDED: 1 SPACES

GENERAL NOTE:

"LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA." PLEASE SEE SIGHT DISTANCE EXHIBIT AT STREET INTERSECTIONS FOR CLARIFICATION (THE DEVELOPMENT PROCESS MANUAL, CHAPTER 23, PART B, SECTION 5. A)

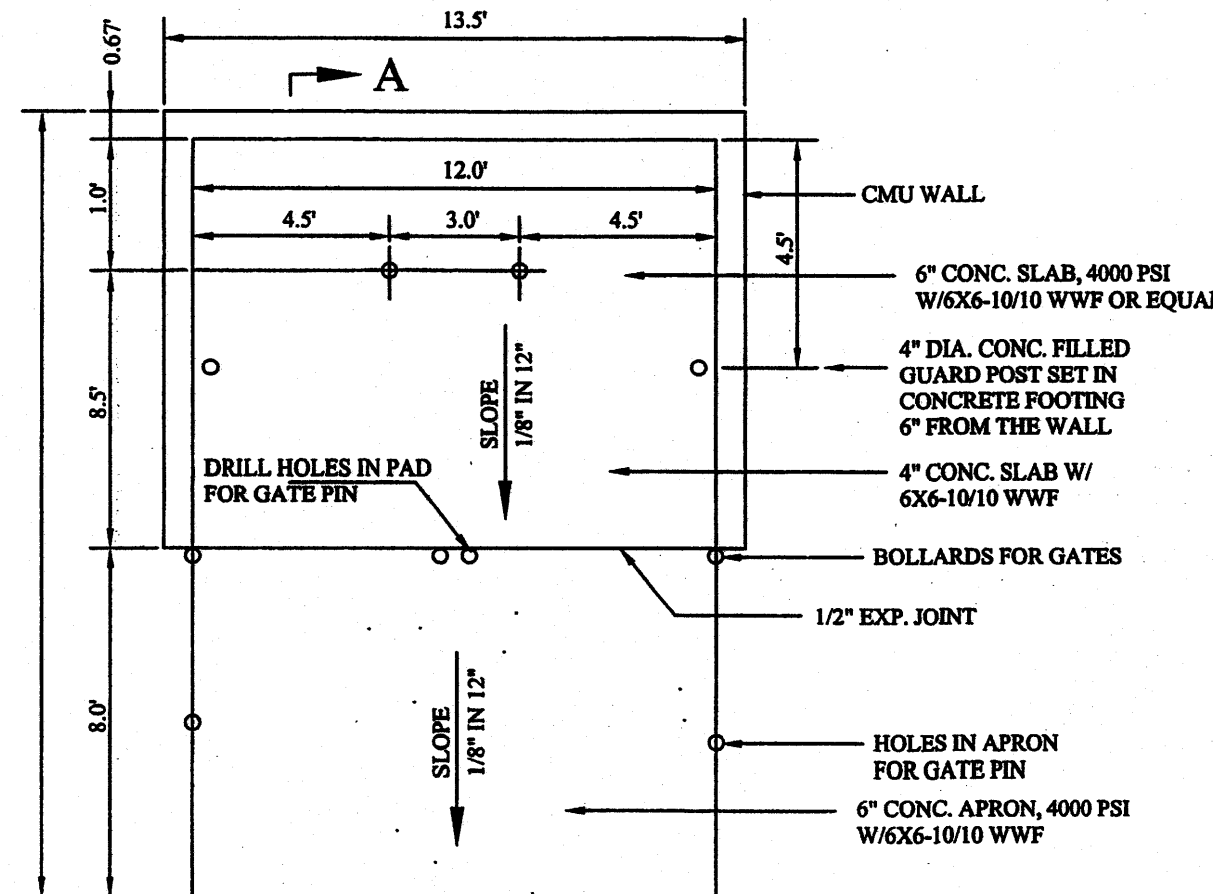
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

OKEYED NOTES:

1. ASPHALT PAVING AREA, TYP.
2. LANDSCAPING AREA.
3. NEW 6" SIDEWALK, 6" ABOVE ASPHALT
4. 9' WIDE X 20' DEEP PARKING SPACES
5. EXISTING 40' WIDE DRIVE PAD
6. NEW 24' DRIVEWAY PER COA STD DWG. #2425
7. REMOVE EXISTING DRIVEWAY, BUILD C & G AND SIDEWALK PER COA STD DWG. #2415A & 2430
8. EXISTING SIDEWALK
9. EXISTING STANDARD CURB & GUTTER
10. 6' ASPHALT, STRIPPED PEDESTRIAN ACCESS WAY, ADA COMPLIANT
11. EXISTING CHAIN LINK FENCE
12. EXISTING BLOCK WALL
13. EXISTING PUBLIC UTILITY EASEMENT
14. EXISTING SIDEWALK EASEMENT
15. NEW TRASH ENCLOSURE PER COA STANDARDS
16. HANDICAP SIGN PER COA STANDARDS
17. NEW MOTORCYCLE PARKING (4'X8')
18. EXISTING SIGN
19. 9' BY 24' PARKING SPACES
20. DO NOT ENTER SIGN
21. WC RAMP PER COA STANDARD & ADA COMPLIANT
22. BICYCLE RACK
23. INSTALL PINNED CURB TYP. I, STD DWG # 2415A
24. EXISTING FIRE HYDRANT
25. EXISTING WATER METER BOX
26. MOTORCYCLE PARKING SIGN PER COA STANDARDS
27. LIMIT OF ASPHALT PAVING
28. 8.5' WIDE X 20' DEEP PARKING SPACES

LEGEND

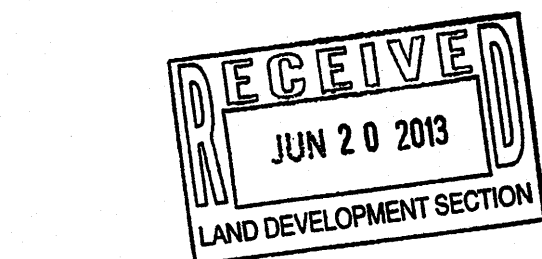
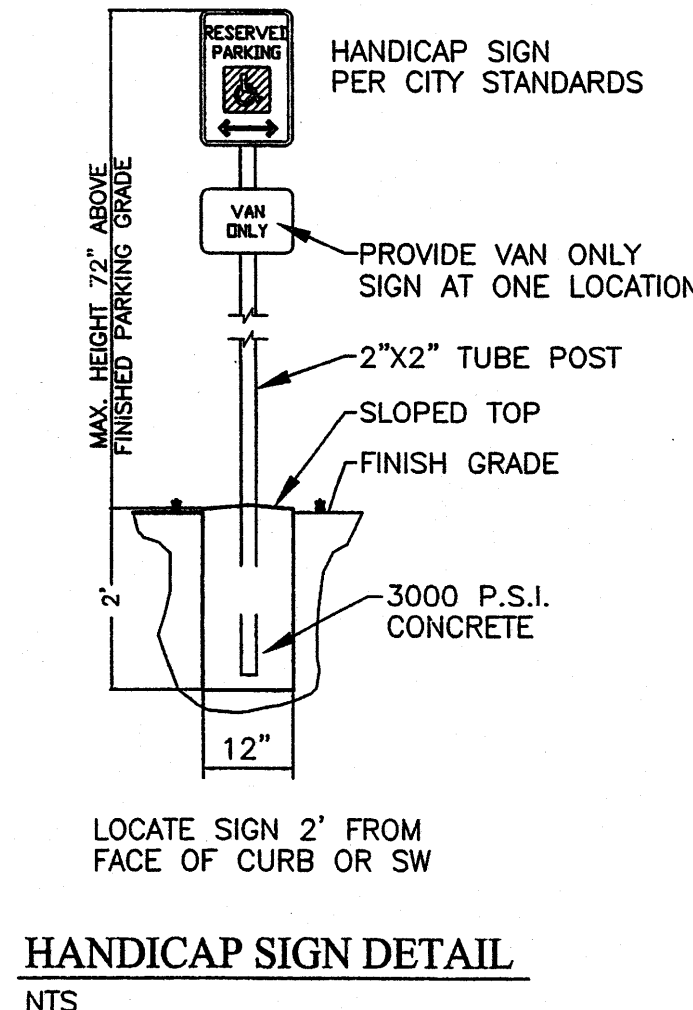
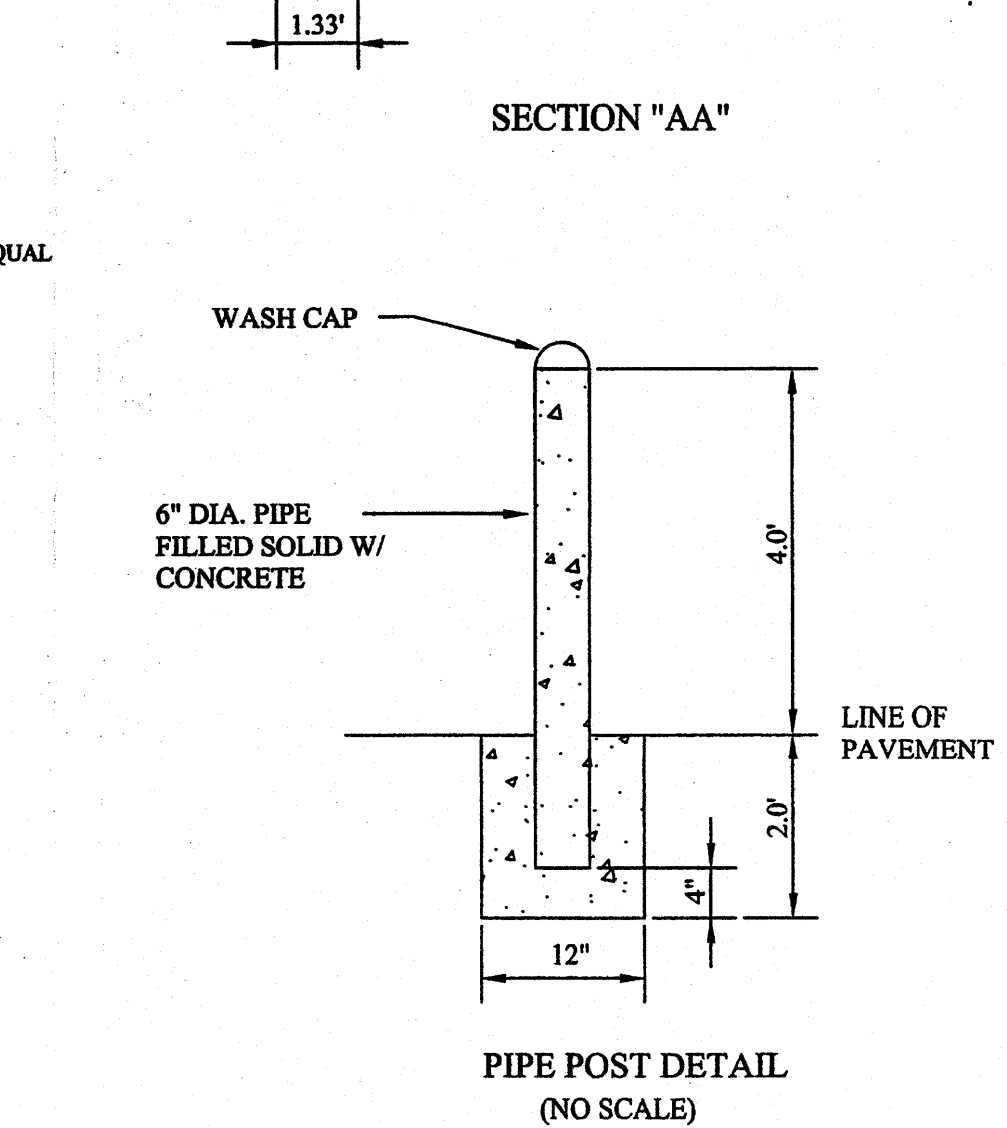
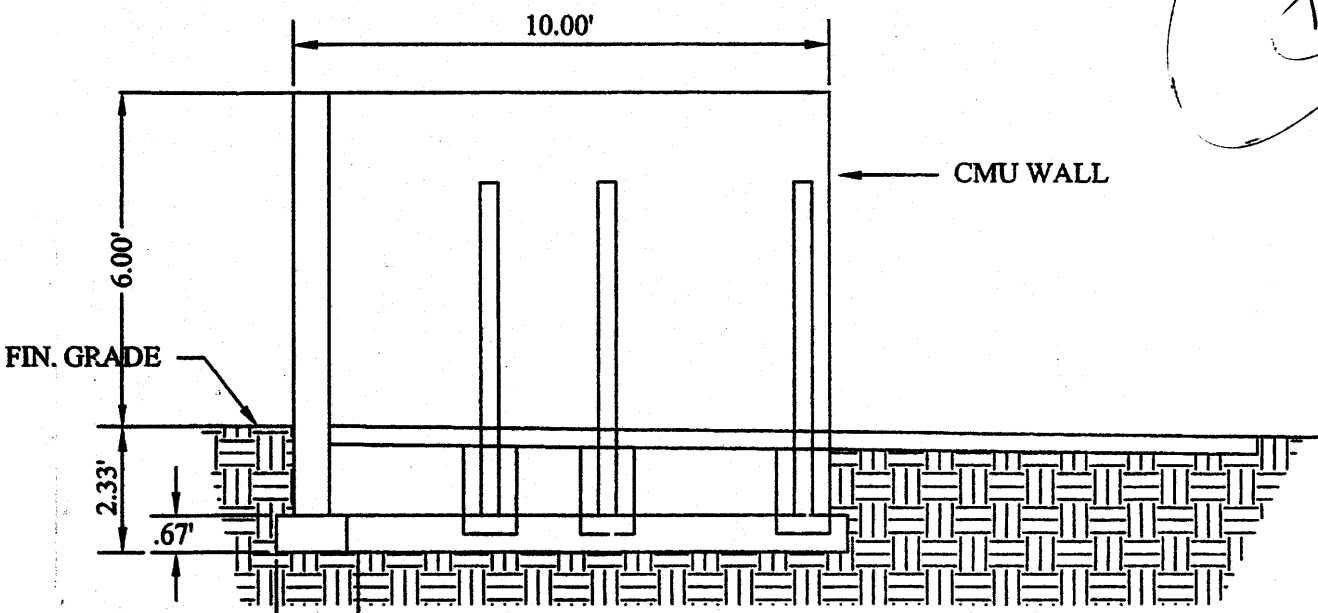
—	BOUNDARY LINE
—	EASEMENT LINE
—	EXISTING OVERHEAD UTILITY
—	EXISTING CURB & GUTTER
—	EXISTING CHAIN LINK FENCE
—	EXISTING SIDEWALK
—	EXISTING FIRE HYDRANT
—	EXISTING WATER SERVICE
—	EXISTING DROP INLET



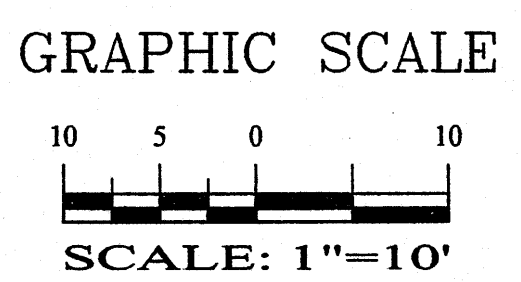
NOTE: CHAIN LINKED FENCE WITH SLATS WILL BE USED FOR THE CONSTRUCTION OF THE DUMPSTER ENCLOSURE.

DUMPSTER ENCLOSURE DETAIL

NTS



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

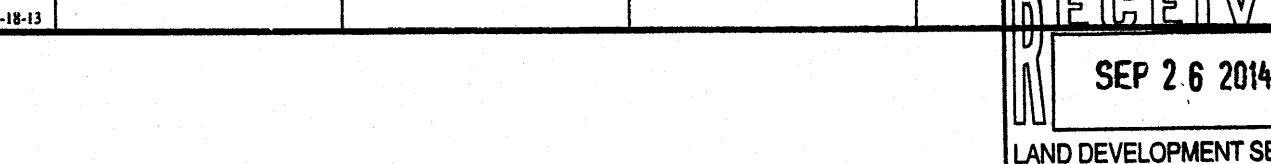


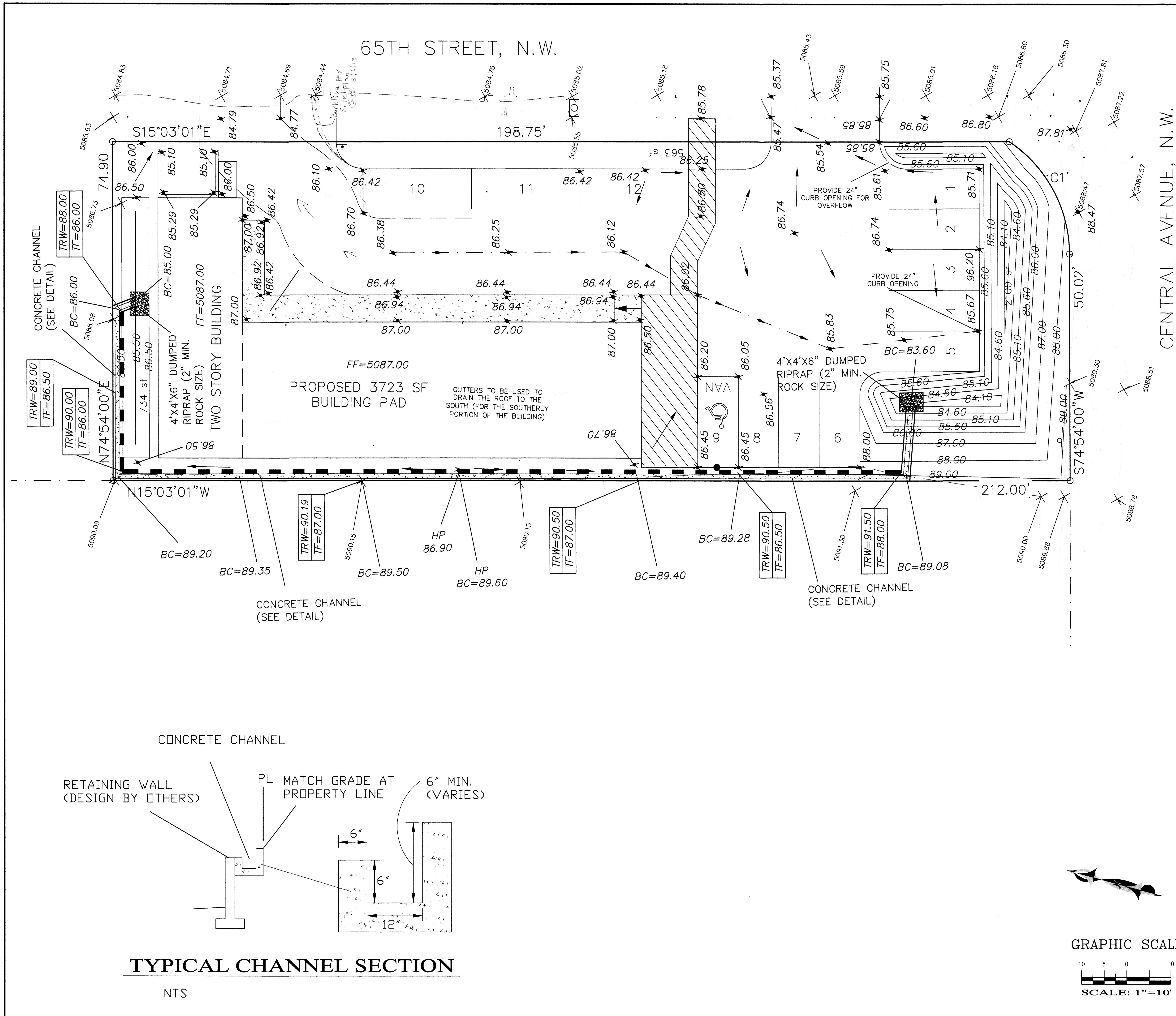
SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW
 ALBUQUERQUE, NEW MEXICO 87114
 (505)899-5570

**LOT 26-A, BLOCK J, LAVALAND ADDITION
 SITE PLAN FOR BUILDING PERMIT**

DRAWING:	DRAWN BY:	DATE:	SHEET #
201314-SP.DWG	SH-B	05-29-2013	





VICINITY MAP:

LEGAL DESCRIPTION:

LOT 26-A, BLOCK J, LAVALAND ADDITION
CONTAINING 15,781.00 S.F. (0.3623 ACRE)
ZONING: C-2 USES

GENERAL NOTES:

- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 5_K10, HAVING AN ELEVATION OF 5096.432 FEET ABOVE SEA LEVEL.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
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NOTICE TO CONTRACTORS

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5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
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7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND	
---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
---	BOUNDARY LINE
X 85.46	PROPOSED SPOT ELEVATION
X 5265.16	EXISTING GRADE
X 5284.43 FL	EXISTING FLOWLINE ELEVATION
---	PROPOSED RETAINING WALL
BC=89.08	BOTTOM OF CHANEL
TRW=91.50	TOP OF RETAINING WALL
TF=88.00	TOP OF FOOTING
HP	HIGH POINT



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LOT 26-A, BLOCK J, LAVALAND ADDITION GRADING AND DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
201314-GR.DWG	SH-B	05-29-2013	1

Drawn File K11-POB240

40' driveway
- 13.5' Refuse
- 4.0' Motorcycle Stall
- 20.0' Driveway

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	30.00'	29.53'	56°02'57"	S46°52'32"W	28.19'



VICINITY MAP: K-11-Z

LEGAL DESCRIPTION:
LOT 26-A, BLOCK J, LAVALAND ADDITION
CONTAINING 15,781.00 S.F. (0.3623 ACRE)
ZONING: C-2 USES

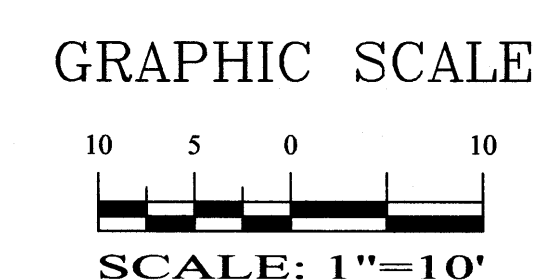
SITE DATA	
PROPOSED USAGE:	RESTAURANT/OFFICE/RETAIL
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PROPOSED FIRST FLOOR AREA:	3,723.00 S.F.
PROPOSED SECOND FLOOR AREA:	918.00 S.F.
TOTAL	4,641.00 S.F.
LANDSCAPE CALCULATIONS:	
NET LOT AREA (15,781-3,723)	12,058.00 SF ±
LANDSCAPING REQUIRED:	1,809.00 SF ±
15% OF 18,200.00 SF	
LANDSCAPE PROVIDED	3,397.00 SF ±
PARKING CALCULATIONS:	
PARKING REQUIRED:	
RESTAURANT:	32 SEATS/4 = 8 SPACES
OFFICE/2ND FLOOR:	846 SF/300 (2.82) = 3 SPACES
RETAIL:	332 SF/200 (1.66) = 2 SPACES
TOTAL	13 SPACES
BUS ROUTE DEDUCTION 10%	-1 SPACE
TOTAL PARKING REQUIRED:	12 SPACES
TOTAL PARKING PROVIDED:	12 SPACES
HC PARKING REQUIRED:	1 SPACES (1 VAN)
HC PARKING PROVIDED:	1 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:	1 SPACES
MOTORCYCLE SPACES PROVIDED:	1 SPACES

GENERAL NOTE:
✓ LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. PLEASE SEE SIGHT DISTANCE EXHIBIT AT STREET INTERSECTIONS FOR CLARIFICATION (THE DEVELOPMENT PROCESS MANUAL, CHAPTER 23, PART B, SECTION 5. A).

TRAFFIC CIRCULATION LAYOUT
APPROVED
[Signature] 4/21/13
Signed Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.



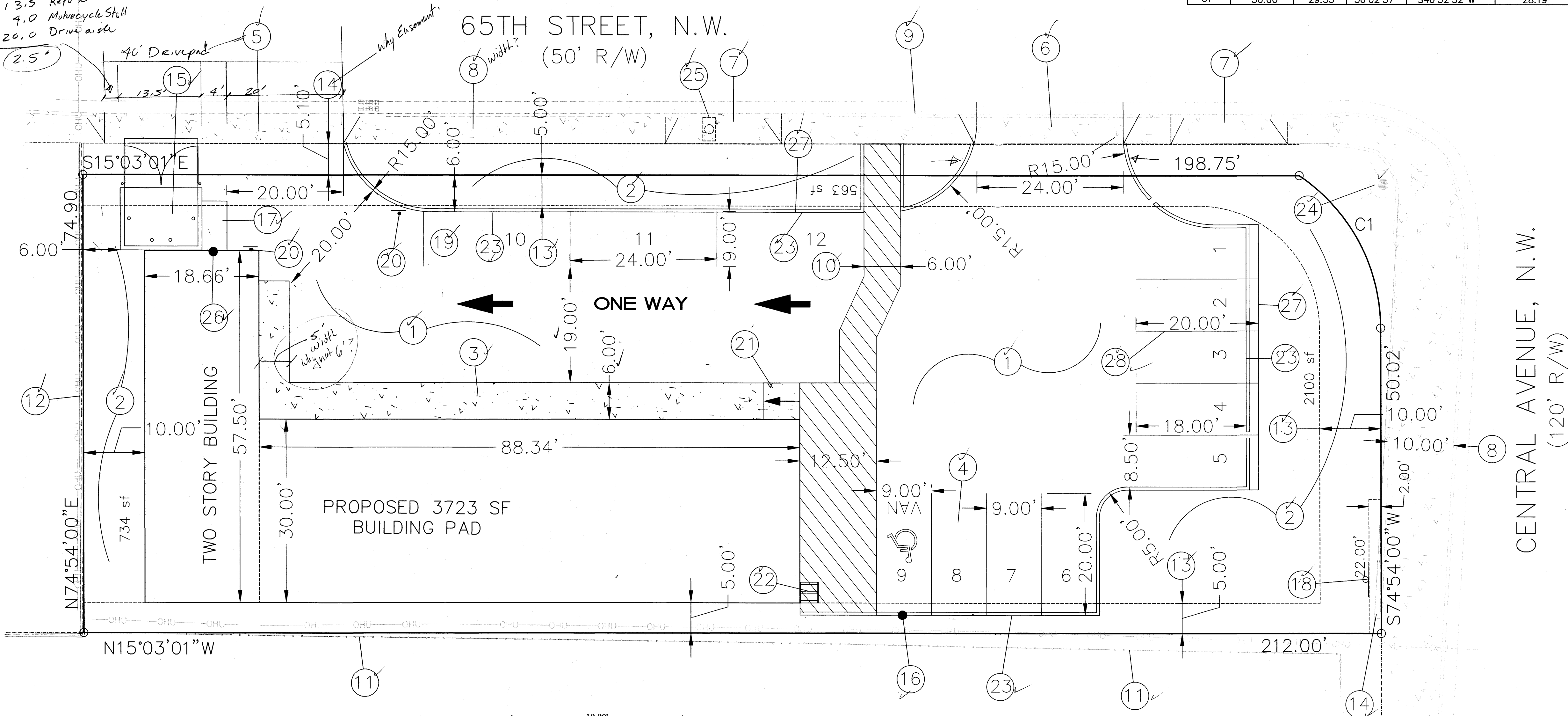
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ALBUQUERQUE, NEW MEXICO 87114
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LOT 26-A, BLOCK J, LAVALAND ADDITION
SITE PLAN FOR BUILDING PERMIT

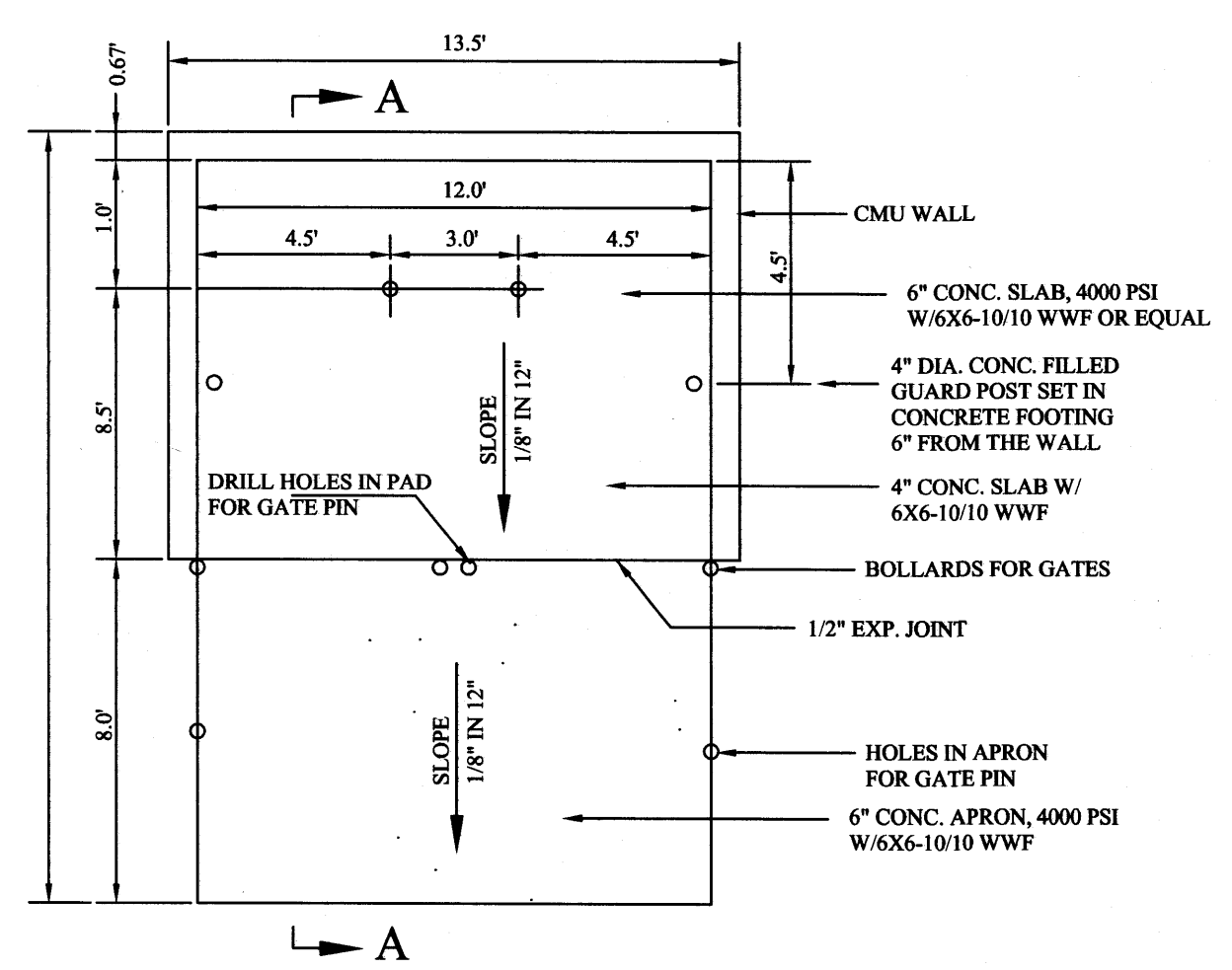
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201314-SP.DWG	SH-B	05-29-2013	1

LAST REVISION: 06-18-13



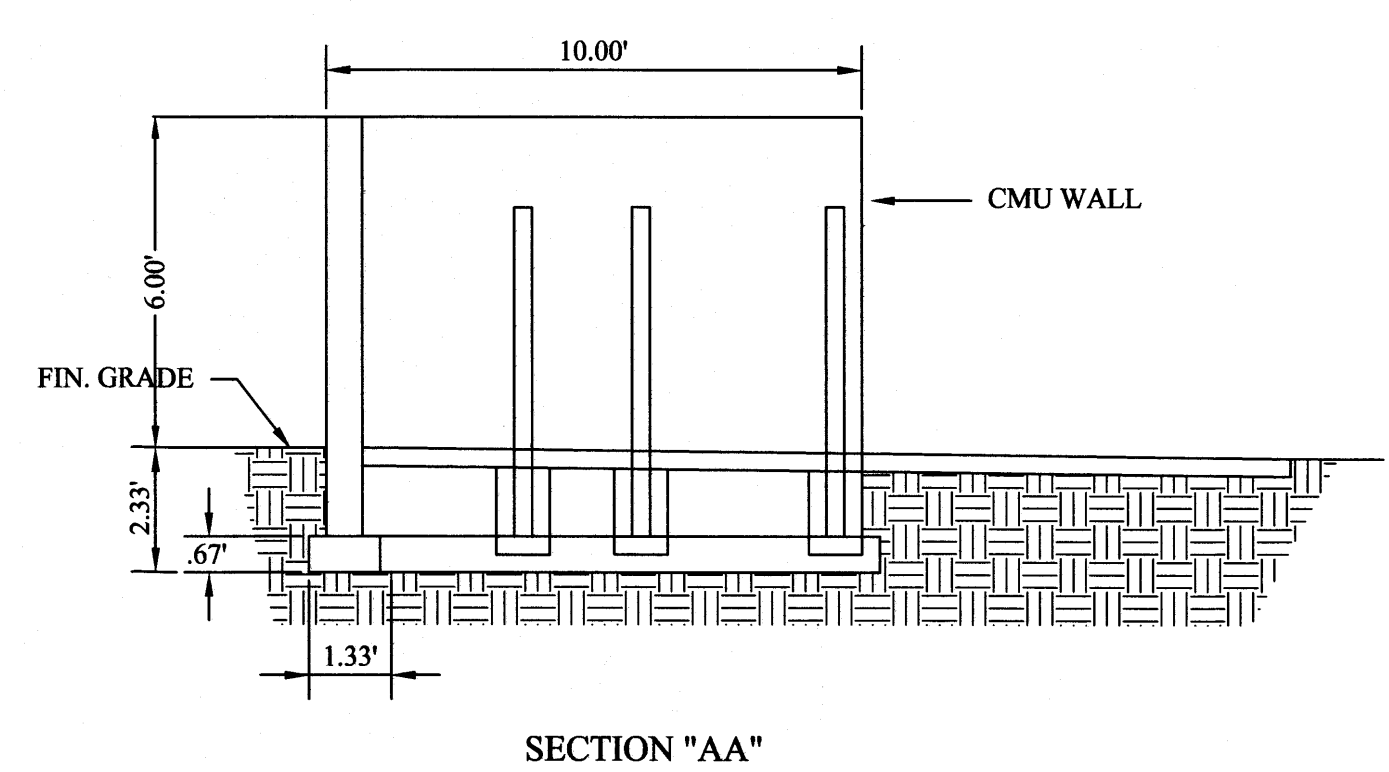
- KEYED NOTES:
- ASPHALT PAVING AREA, TYP. New or Existing?
 - LANDSCAPING AREA.
 - NEW 6' SIDEWALK, 6" ABOVE ASPHALT
 - 9' WIDE X 20' DEEP PARKING SPACES
 - EXISTING 40' WIDE DRIVE PAD
 - NEW 24' DRIVEWAY PER COA STD DWG #2425
 - REMOVE EXISTING DRIVEWAY, BUILD C & G AND SIDEWALK PER COA STD DWG. #2415A & 2430
 - EXISTING SIDEWALK WIDTH?
 - EXISTING STANDARD CURB & GUTTER
 - 6' ASPHALT, STRIPPED PEDESTRIAN ACCESS WAY, ADA COMPLIANT
 - EXISTING CHAIN LINK FENCE
 - EXISTING BLOCK WALL
 - EXISTING PUBLIC UTILITY EASEMENT
 - EXISTING SIDEWALK EASEMENT
 - NEW TRASH ENCLOSURE PER COA STANDARDS
 - HANDICAP SIGN PER COA STANDARDS Not COA, ADA
 - NEW MOTORCYCLE PARKING (4'X8')
 - EXISTING SIGN
 - 9' BY 24' PARKING SPACES
 - DO NOT ENTER SIGN
 - WC RAMP PER COA STANDARD & ADA COMPLIANT 1:12 Slope
 - BICYCLE RACK
 - INSTALL PINNED CURB TYP. I, STD DWG # 2415A
 - EXISTING FIRE HYDRANT
 - EXISTING WATER METER BOX
 - MOTORCYCLE PARKING SIGN PER COA STANDARDS
 - LIMIT OF ASPHALT PAVING
 - 8.5' WIDE X 20' DEEP PARKING SPACES

LEGEND	
	BOUNDARY LINE
	EASEMENT LINE
	EXISTING OVERHEAD UTILITY
	EXISTING CURB & GUTTER
	EXISTING CHAIN LINK FENCE
	EXISTING SIDEWALK
	EXISTING FIRE HYDRANT
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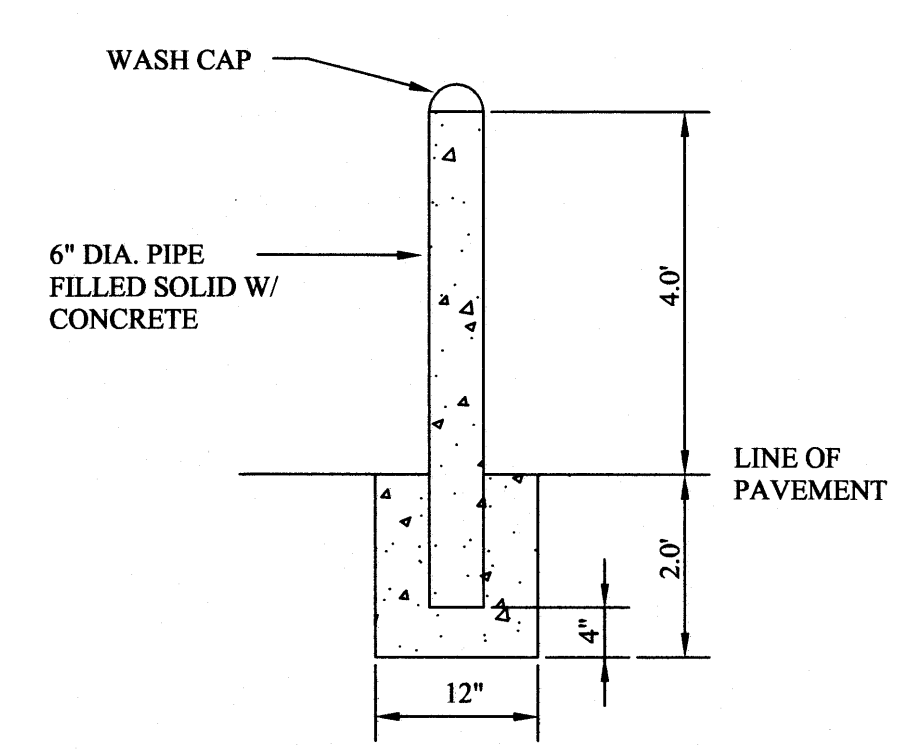


NOTE: CHAIN LINKED FENCE WITH SLATS WILL BE USED FOR THE CONSTRUCTION OF THE DUMPSTER ENCLOSURE.

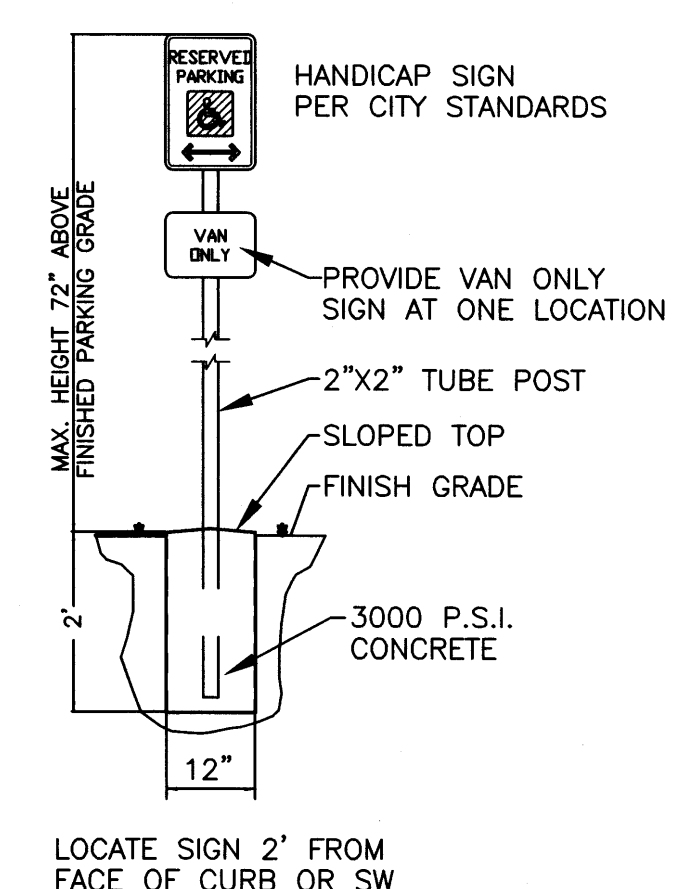
DUMPSTER ENCLOSURE DETAIL



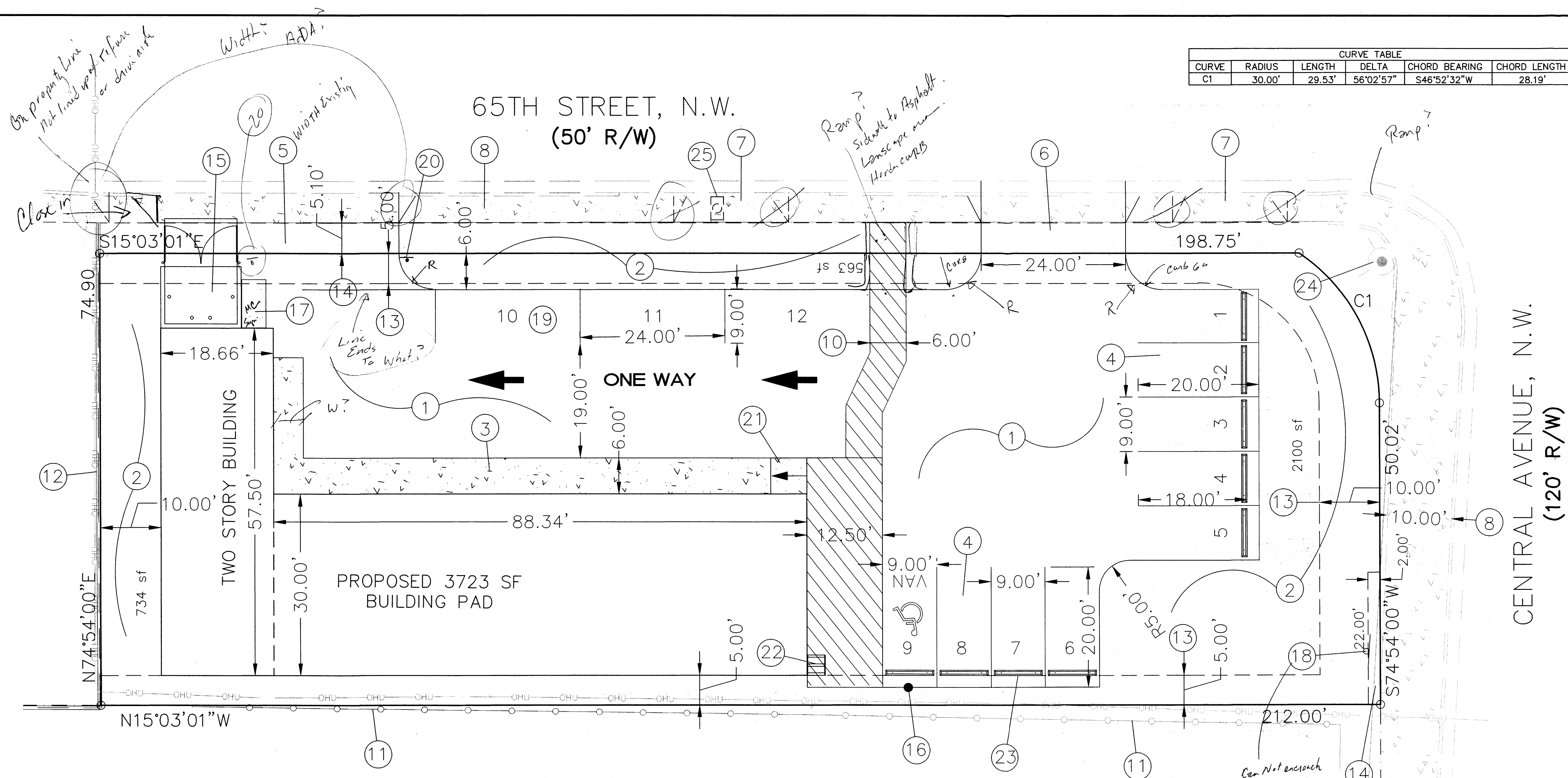
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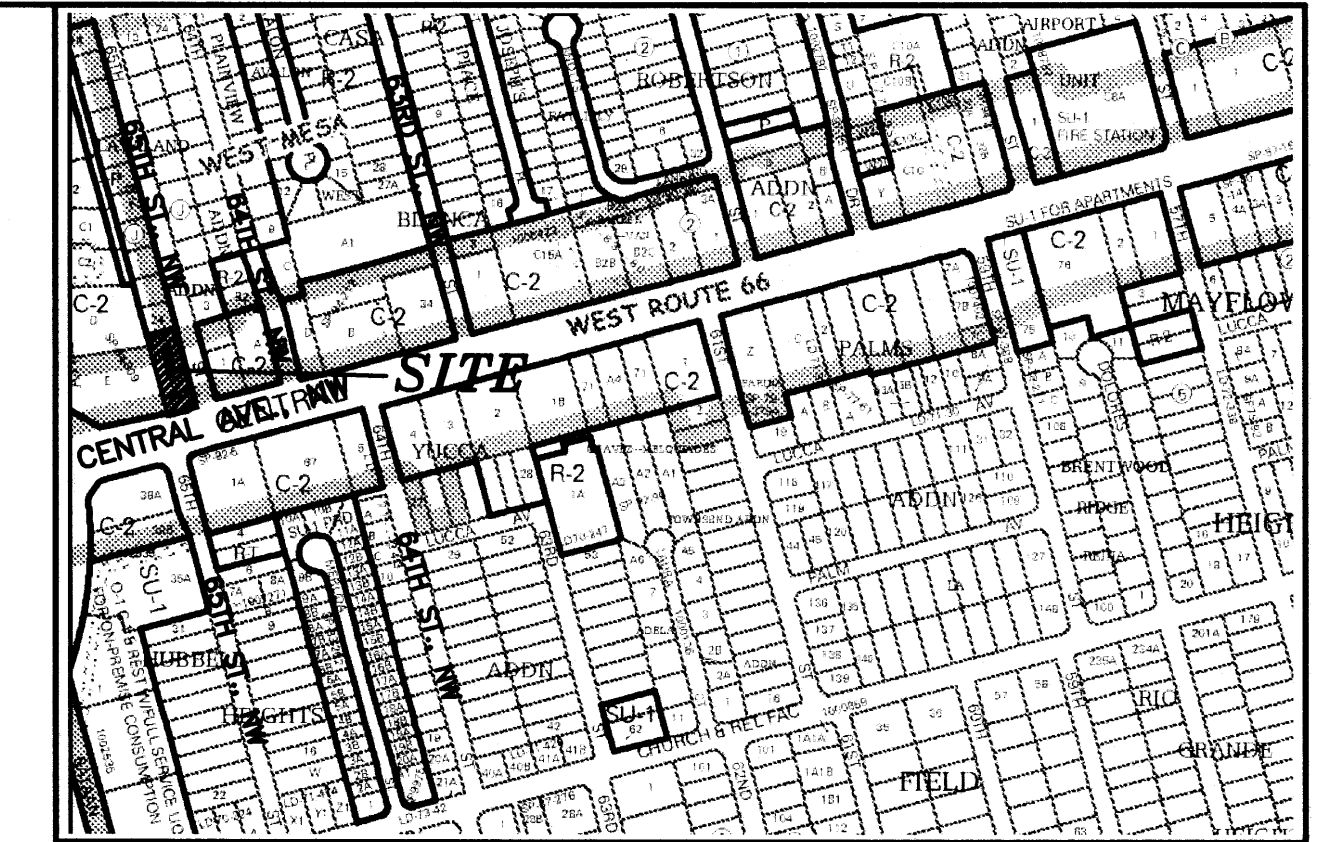
PIPE POST DETAIL (NO SCALE)



HANDICAP SIGN DETAIL
NTS



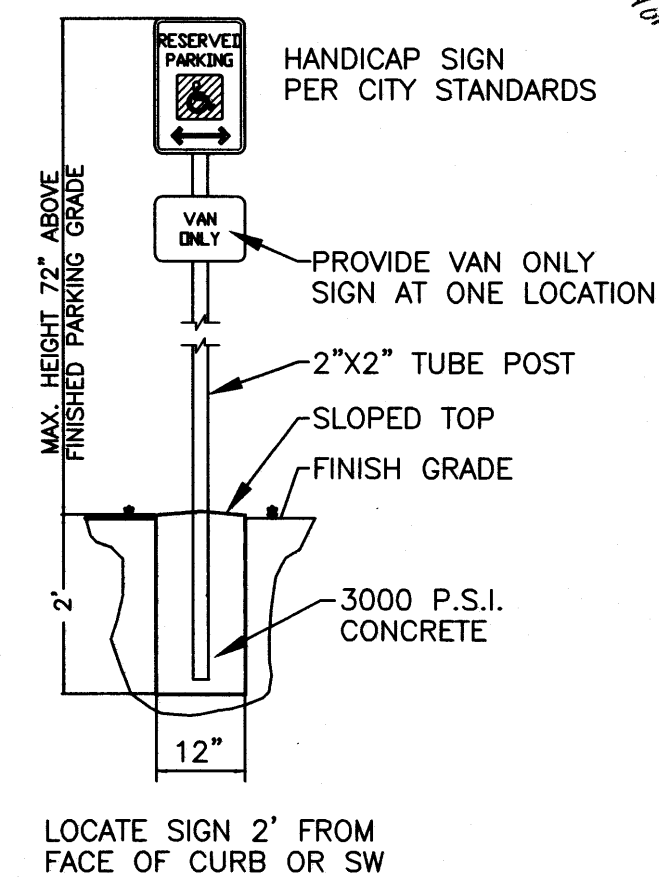
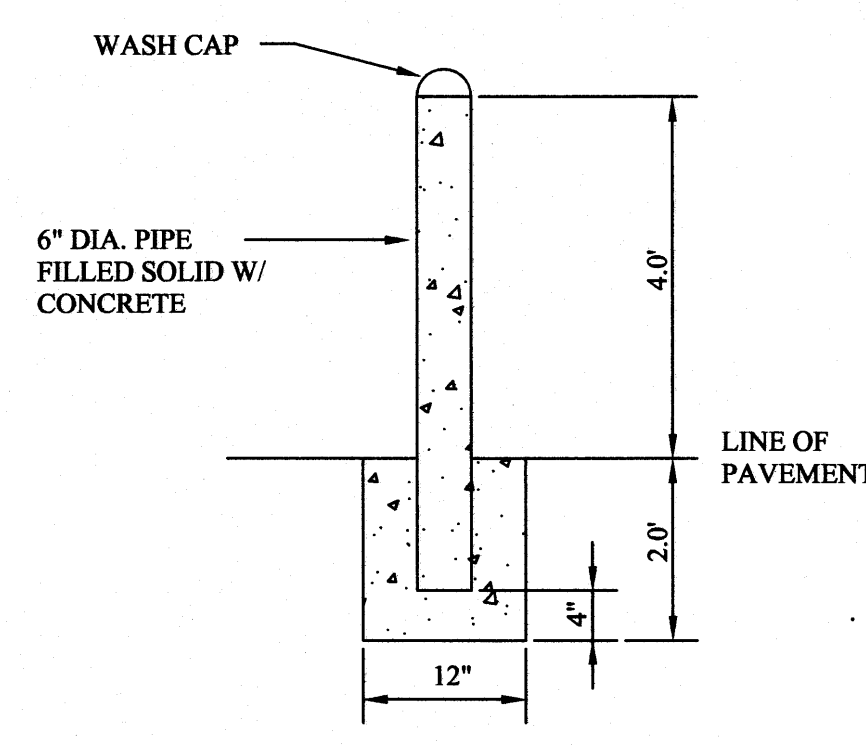
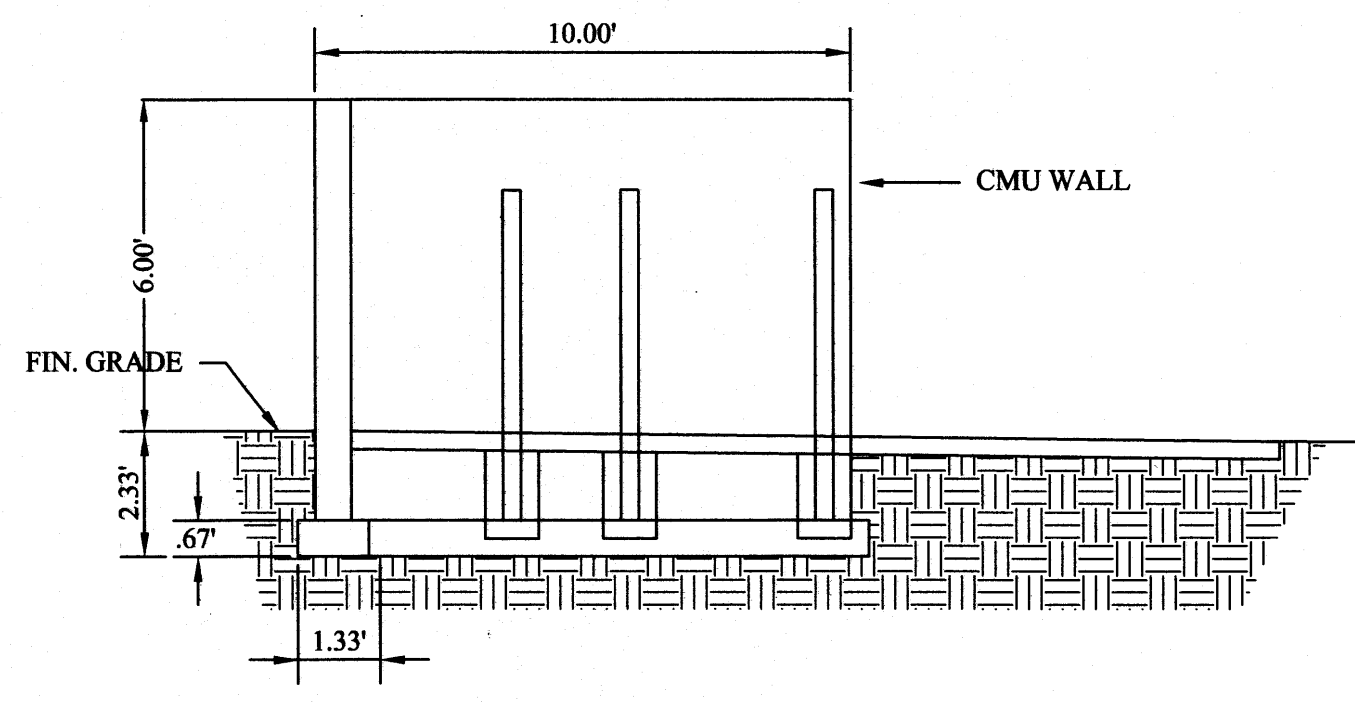
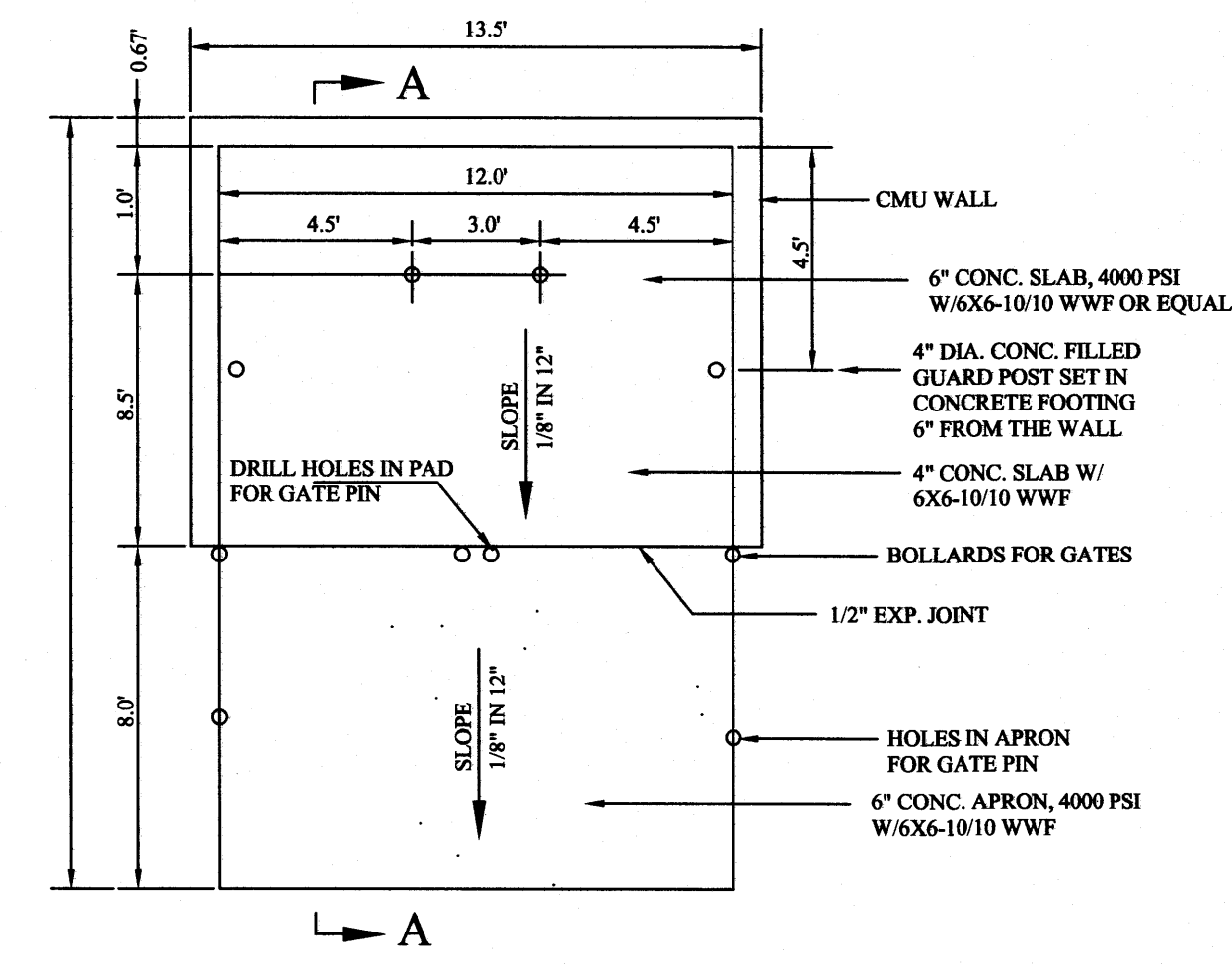
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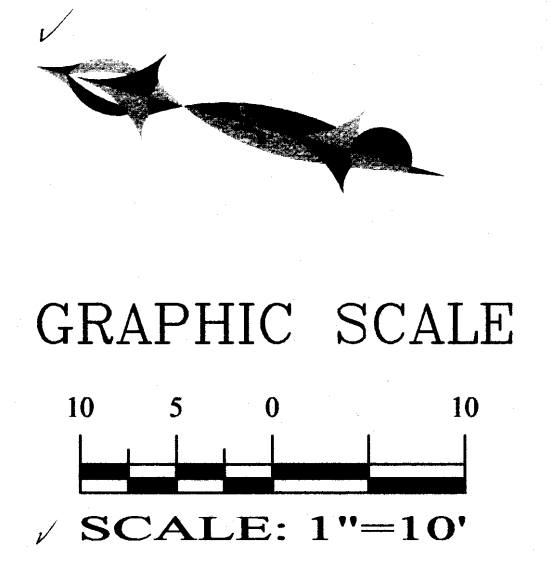
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MOTORCYCLE SPACES PROVIDED:	1 SPACES



KEYED NOTES:

- 1. ASPHALT PAVING AREA, TYP.
- 2. LANDSCAPING AREA. *Sign & Note*
- 3. NEW 6\"/>
- 4. 9\"/>
- 5. EXISTING DRIVE WAY ENTRANCE *W/OTH, ADA?*
- 6. NEW 24\"/>
- 7. REMOVE EXISTING DRIVEWAY, BUILD C & G AND SIDEWALK PER COA STD DWG. #2415A & 2430
- 8. EXISTING SIDEWALK - 10 FT. Wide? *Curbs Gutter?*
- 9. EXISTING STANDARD CURB & GUTTER
- 10. 6\"/>
- 11. EXISTING CHAIN LINK FENCE
- 12. EXISTING BLOCK WALL
- 13. EXISTING PUBLIC UTILITY EASEMENT
- 14. EXISTING SIDEWALK EASEMENT
- 15. NEW TRASH ENCLOSURE PER COA STANDARDS
- 16. HANDICAP SIGN PER COA STANDARDS
- 17. NEW MOTORCYCLE PARKING (4'x8') *Sign Posted.*
- 18. EXISTING SIGN
- 19. 9\"/>
- 20. DO NOT ENTER SIGN
- 21. MC RAMP PER COA STANDARD
- 22. BICYCLE RACK
- 23. INSTALL PRECAST CONCRETE BUMPER, 2\"/>
- 24. EXISTING FIRE HYDRANT
- 25. EXISTING WATER METER BOX

LEGEND	
	BOUNDARY LINE
	EASEMENT LINE
	EXISTING OVERHEAD UTILITY
	EXISTING CURB & GUTTER
	EXISTING CHAIN LINK FENCE
	EXISTING SIDEWALK
	EXISTING FIRE HYDRANT
	EXISTING WATER SERVICE



SBS CONSTRUCTION AND ENGINEERING, LLC

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LOT 26-A, BLOCK J, LAVALAND ADDITION SITE PLAN FOR BUILDING PERMIT			
DRAWING:	DRAWN BY:	DATE:	SHEET #
201314-SP.DWG	SH-B	05-29-2013	1

LAST REVISION: 05-29-13