

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 27, 2022

Jeremy F. Ortiz, RA
ARCHIS Architects, LLC
4700 Lincoln Rd. NE, Suite 102D
Albuquerque, NM 87109

Re: Arby's Restaurant
6500 Central Ave. SW
Traffic Circulation Layout
Architect's Stamp 10-05-22 (K11-D095)

Dear Mr. Ortiz,

Based upon the information provided in your submittal received 10-13-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please provide site access driveway width, and the existing access width off 65th St.
2. Shared access agreement between Lot 38-A and 38-B need to be provided. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner.
3. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
4. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
5. Please provide Bike Rack details.
6. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
7. Bicycle racks shall be sturdy and anchored to a concrete pad.
8. A 1-foot clear zone around the bicycle parking stall shall be provided.
9. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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10. The "Do Not Enter" pavement marking should be placed between the land scape island and the motorcycle parking space. "Do Not Enter" and "Stop" sing, should be placed at the same place.
11. Also, please provide "Do Not Enter" and "Stop" sings and pavement marking at the exit of the drive-thru.
12. Details for all the proposed signage and pavement marking need to be provided.
13. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
14. Clear Sight Triangle need to be shown at the main access off 65th St. and on both site driveways.
15. Please specify the City Standard Drawing Number when applicable.
16. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
17. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

Project Title: Arby's Restaurant **Building Permit #:** N/A **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 38-A, Hubbell Heights Addition
City Address: 6500 Central Avenue SW

Applicant: ARCHIS Architects, LLC **Contact:** Evan Berger
Address: 4700 Lincoln Rd NE, Suite 102D
Phone#: 505-998-7717 **Fax#:** N/A **E-mail:** evan@archisarchitects.com
Owner: Arby's MJG Corporation **Contact:** Gary Chavez
Address: 5700 Harper Dr NE, Unit 340, Albuquerque, NM 87109
Phone#: 505-292-8803 **Fax#:** N/A **E-mail:** gchaves@mjgcorp.com

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: ☒ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE MASTER PLAN
_____ DRAINAGE REPORT
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: October 5, 2022 **By:** Ashley Hartshorn, Archis Architects

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____














LEGAL DESCRIPTION:
Lot numbered Thirty-eight-A (38-A) of HUBBELL HEIGHTS ADDITION, within the Town of Atrisco Grant, projected Section 22, Tosnship 10 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on May 23, 2010 in Map Book 2010C, folio 86.

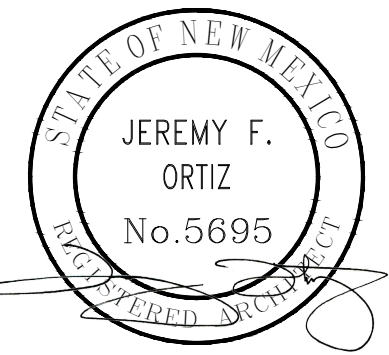
- TRAFFIC SCOPING FORM WAS APPROVED ON 07/22/2022 BY MATTHEW GRUSH INDICATING A TRAFFIC IMPACT STUDY (TIS) IS NOT REQUIRED
- SOLID WASTE APPROVED FOR ACCESS ON 08/11/2022 BY DJ LASKOWSKI
- FIRE 1 PLAN APPROVED ON 09/01/2022; PERMIT NUMBER: FP 2022-011401

TOTAL OFF-STREET SPACES PROVIDED	= 14 SPACES
STANDARD PARKING PROVIDED	= 13 SPACES
ADA/VAN PARKING PROVIDED	= 1 VAN

- A. USE FULL SCALE DRAWINGS FOR CONSTRUCTION PRINTED ON 24X36 "D" SIZE PAPER; DO NOT SCALE DRAWINGS
- B. REFER TO NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) STANDARD DRAWING 608-001-1 "PEDESTRIAN ACCESSIBLE ROUTE GENERAL NOTES" FOR STANDARD RAMPS AND STAIR DETAILS ON CONSTRUCTING SITE STEPS, RAMPS, FINISHES AND OTHER REQUIREMENTS; ANY COA OR REQUIREMENTS IN THAT DOCUMENT SUPERCEDE THESE DETAILS AND WHERE ANY DETAILS IN THAT DOCUMENT OR ANY OTHER CURRENT ADA STANDARDS CONFLICT WITH THESE DETAILS, OR EACH OTHER, THE MOST STRINGENT REQUIREMENTS SHALL APPLY
- C. PROVIDE EXTERIOR GRADE SEALANTS AT EXPANSION JOINTS AT SIDEWALKS AND OTHER CONCRETE AREAS
- D. WASTE RECEPTACLE AND ENCLOSURE DESIGN SHALL COMPLY WITH COA SOLID WASTE MANAGEMENT DEPARTMENT STANDARD DETAILS AND REQUIREMENTS
- E. PROVIDE POSITIVE GRADING AROUND THE ENTIRE BUILDING
- F. LANDSCAPING AND SIGNAGE 3'H TO 8'H SHALL NOT BE IN CLEAR SIGHT TRIANGLE
- G. RE: GRADING & DRAINAGE PLAN FOR ADDITIONAL INFORMATION
- H. LANDSCAPING SHOWN FOR REFERENCE ONLY
- I. ALL IMPROVEMENTS IN THE RIGHT OF WAY MUST BE INCLUDED ON THE FINAL WORK ORDER
- J. GREASE TRAP MAY NOT BE LOCATED INSIDE OF WASTE RECEPTACLE ENCLOSURE; COORDINATE EXACT LOCATION OUTSIDE OF WASTE RECEPTACLE ENCLOSURE WITH ARCHITECT
- K. TREATMENT OF NEW ACCESS POINTS, CURB CUTS AND/OR DRIVE PADS SHALL COMPLY WITH COA DPM CHAPTER 26, SECTION 6
- L. ALL NEW RAMPS MUST INCLUDE TRUNCATED DOMES

1. FREESTANDING SIGN, PROVIDE POWER FOR LIGHTING; SIGN DESIGN SHALL COMPLY WITH IDO TABLE 5-12-12: 100 SF MAX AREA AND 26 FT MAX HEIGHT; COORDINATE FINAL DESIGN AND FOOTING REQUIREMENTS WITH OWNER'S SIGN CONSULTANT
2. ADA PARKING STALL AT 1% MIN TO 2% MAX SLOPE; 4" WIDE STRIPING, MARKED WITH PAINTED ADA MARKING LOCATED AT END OF STALL AND FACING DIRECTION AS SHOWN AND FREESTANDING SIGN; PAINT ALL STRIPING BLUE
3. MOTORCYCLE PARKING WITH PAVEMENT LABEL IN "WHITE"; PROVIDE FREESTANDING SIGN
4. ADA LOW-SLOPE RAMP; RE: COA STD DWG 2440
5. ADA ACCESS AISLE; 4" WIDE STRIPING; PAINT ADA BLUE
6. PROPERTY LINE
7. NEW ASPHALT PAVING WITH PARKING STALLS AT 1% MIN TO 6% MAX SLOPE; PROVIDE 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES, 2 COATS MIN; PARKING LOT REQUIREMENTS SHALL COMPLY WITH COA STANDARD DETAILS AND MINIMUM REQUIREMENTS FOR PARKING LOTS
8. WASTE RECEPTACLE AND ENCLOSURE; RE: GENERAL NOTE "J" THIS SHEET
9. BICYCLE SPACES; SPACE AND RACK DESIGN SHALL COMPLY WITH IDO SECTION 5-5(E)
10. 6" MIN TO 8" MAX CONCRETE BARRIER CURB AND GUTTER AT SIDEWALK
11. 6" MIN TO 8" MAX CONCRETE BARRIER CURB AND GUTTER AT GRADE
12. 6" WIDE x 2'-0" LONG PRE-CAST CONC WHEEL STOP; INSTALL MIN OF 2'-0" FROM FRONT EDGE OF SIDEWALK TO FRONT FACE OF STOP; ANCHOR TO PARKING LOT SURFACE
13. NOT USED
14. LANDSCAPING AND IRRIGATION
15. CONCRETE CROSSWALK WITH DRIVE
16. CROSSWALK AT SPEED HUMP

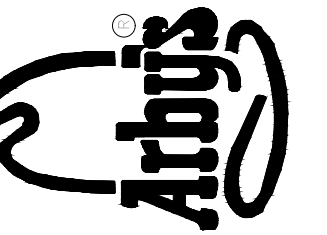
	= CABLE RISER
	= OVERHEAD UTILITY LINES
	= OVERHEAD UTILITY POLE
	= ELECTRIC RISER/TRANSFORMER
	= FIRE HYDRANT
	= SEWER MANHOLE
	= STREET LIGHT BOX
	= TELEPHONE RISER
	= TELEPHONE MANHOLE
	= TRAFFIC FLOW
	= UTILITY BOX-TYPE UNKNOWN
	= WATER METER
	= WATER VALVE



10-05-2022

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ARCHITECTS

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www.archisarchitects.com



ARBY'S RESTAURANT
22 SEAT NARROW
6500 CENTRAL AVE SW
ALBUQUERQUE, NEW MEXICO

Project No. 22-004	Drawn by: AEH
	Checked by: JFO

Issue Date:
October 5, 2022

Revisions:

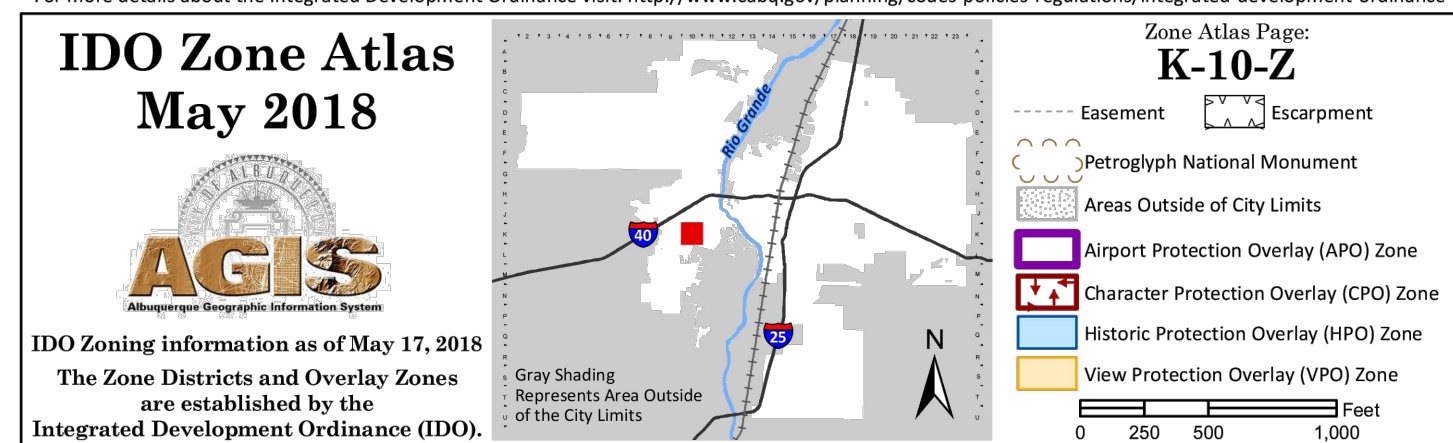
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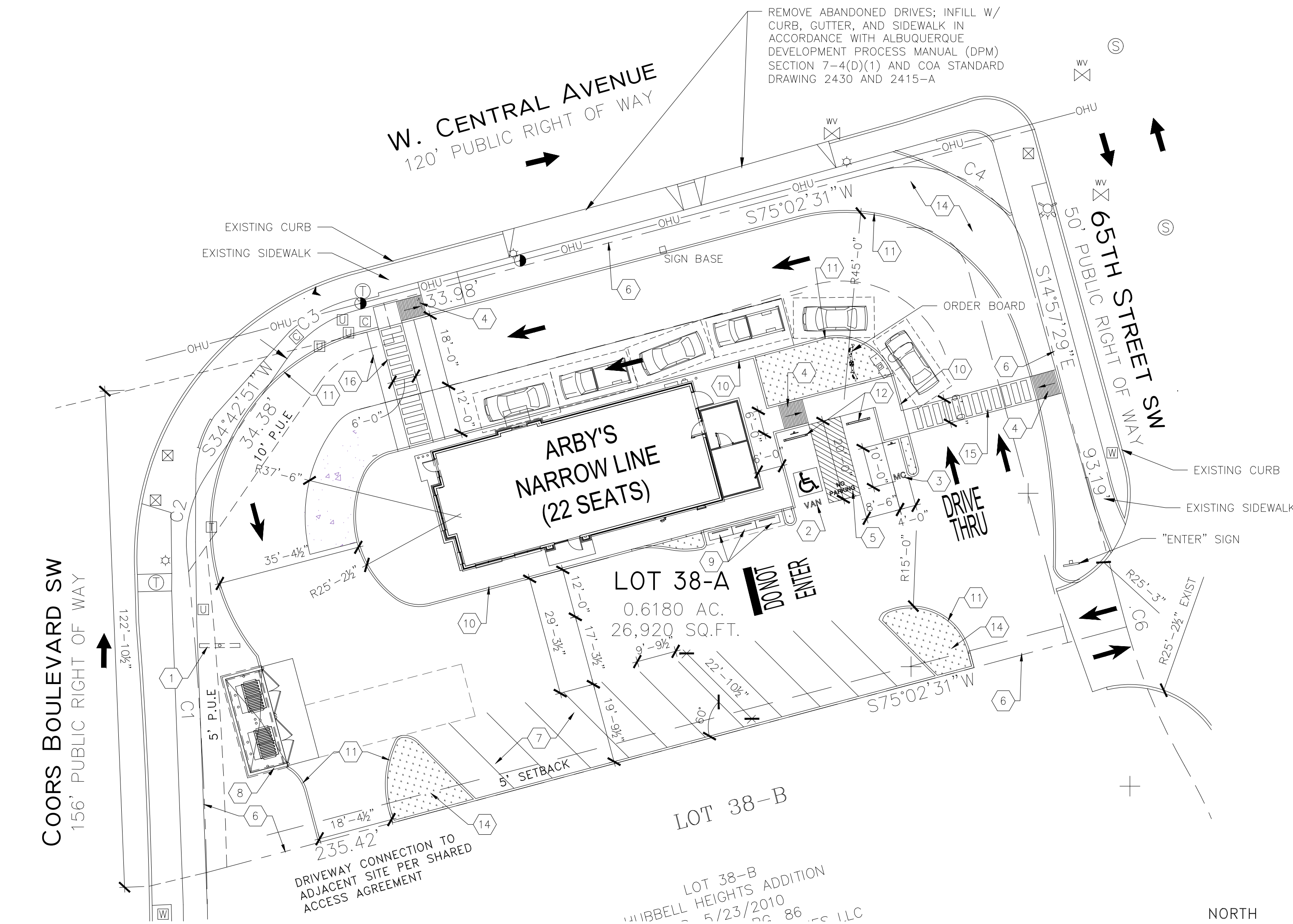
Traffic Circulation Layout

Sheet No.

AS100



A1 ZONE ATLAS MAP
SCALE: NTS



A3 ARCHITECTURAL SITE PLAN – TCL
SCALE: 1" = 20'-0"

