

Lot 38-A,
HUBBELL HEIGHTS ADDITION,
Town of Atrisco Grant,
projected Section 22, T.10N., R.2E., N.M.P.M.,
City of Albuquerque,
Bernalillo County, New Mexico

PROPERTY ADDRESS: 6500 Central Avenue S.W., Albuquerque, New Mexico

U.P.C. No. 1-011-057-005-246-322-16

LEGAL DESCRIPTION:

Lot numbered Thirty-eight-A (38-A) of HUBBELL HEIGHTS ADDITION, within the Town of Atrisco Grant, projected Section 22, Tosnship 10 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on May 23, 2010 in Map Book 2010C, folio 86.

EXECUTIVE SUMMARY

NEW CONSTRUCTION FAST FOOD RESTAURANT (2341 SQUARE FEET) WITH DRIVE-THROUGH AT THE SOUTHEAST CORNER OF CENTRAL AVE SW (MAIN STREET & PREMIUM TRANSIT) AND COORS BLVD SW (MAJOR TRANSIT) ON A CURRENTLY VACANT LOT. DESIGN GUIDELINES SHALL FOLLOW UC-MS-PT STANDARDS.

THE MAIN FACADE OF THE BUILDING FACES NORTH TOWARDS CENTRAL AVE SW, WITH PRIMARY ACCESS TO THE SITE FROM 65TH ST SW AT THE EAST END OF THE SITE VIA AN EXISTING DRIVEWAY TO BE SHARED WITH THE ADJACENT SITE TO THE SOUTH; THERE IS A SECONDARY DRIVEWAY CONNECTION TO THE LOT TO THE SOUTH, BOTH ACCESS POINTS OF WHICH ARE INCLUDED IN THE LOT PURCHASE AGREEMENT, ADDENDUM ONE, SIGNED 03-29-2021: "THIS PROPERTY WILL SHARE THE INGRESS/EGRESS THAT IS EXISTING ON 65TH ST. ACCESS SHALL BE SHARED THROUGHOUT THE ADJOINING PARCELS" (P. 13 OF 14).

TRAFFIC CIRCULATES ONE-WAY AROUND THE NORTH SIDE OF THE BUILDING WITH A DRIVE-THROUGH AISLE AND SECONDARY ACCESS DRIVE AISLE FOR PATRONS AND DELIVERY TRUCKS. PARKING IS ACCESSED AFTER CIRCULATING THE BUILDING ON THE SOUTH SIDE OF THE SITE.

PRIOR APPROVALS

- TRAFFIC SCOPING FORM WAS APPROVED ON 07/22/2022 BY MATTHEW GRUSH INDICATING A TRAFFIC IMPACT STUDY (TIS) IS NOT REQUIRED
- SOLID WASTE APPROVED FOR ACCESS ON 08/11/2022 BY DJ LASKOWSKI
- FIRE 1 PLAN APPROVED ON 09/01/2022; PERMIT NUMBER: FP 2022-011401

SITE INFORMATION

INTEGRATED DEVELOPMENT ORDINANCE (2020)

ZONE DISTRICT - MX-M
ZONE ATLAS PAGE - K-10-Z

TABLE 2-4-5 MX-M, UC-MS-PT DIMENSIONAL STANDARDS
USABLE OPEN SPACE = 50% REDUCTION
BUILDING HEIGHT = 65 FT MAX

FRONT SETBACK = 0' MIN / 15' MAX
SIDE SETBACK = 0' MIN / 15' MAX
REAR SETBACK = 0' MIN

PARKING (INTEGRATED DEVELOPMENT ORDINANCE)

TABLE 5-5-1 OFF-STREET PARKING
RESTAURANT, UC-MS-PT
= 5 SPACES PER 1,000 SQ FT GFA
= (2341/1000)x5 = 11.71*
REQUIRED SPACES = 11.71x0.5 = 5.85

*50% REDUCTION IS ALLOWED WITHIN PREMIUM TRANSIT AREA

5-5(D) MOTORCYCLE PARKING = 1 SPACE PER 0-25 TOTAL PARKING SPACES

5-5(E) BICYCLE PARKING = 3 SPACES

NMBC, SECTION 2, TABLE 1106.1 - ACCESSIBLE PARKING SPACES
1 TOTAL REQUIRED, 1 TO BE VAN ACCESSIBLE

TOTAL OFF-STREET SPACES PROVIDED = 14 SPACES
STANDARD PARKING PROVIDED = 13 SPACES
ADA/VAN PARKING PROVIDED = 1 VAN

MOTORCYCLE PARKING PROVIDED = 1 SPACE

SPACE FOR COA APPROVAL STAMP AND/OR SIGNATURE

GENERAL NOTES

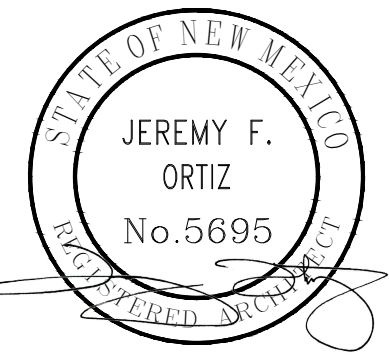
- USE FULL SCALE DRAWINGS FOR CONSTRUCTION PRINTED ON 24X36 "D" SIZE PAPER; DO NOT SCALE DRAWINGS
- REFER TO NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) STANDARD DRAWING 608-001-1 "PEDESTRIAN ACCESSIBLE ROUTE GENERAL NOTES" FOR STANDARD RAMP AND STAIR DETAILS ON CONSTRUCTING SITE STEPS, RAMPS, FINISHES AND OTHER REQUIREMENTS; ANY DETAILS OR REQUIREMENTS IN THAT DOCUMENT SUPERCEDE THESE DETAILS AND WHERE ANY DETAILS IN THAT DOCUMENT OR OTHER CURRENT ADA STANDARDS CONFLICT WITH THESE DETAILS, OR EACH OTHER, THE MOST STRINGENT REQUIREMENTS SHALL APPLY
- PROVIDE EXTERIOR GRADE SEALANTS AT EXPANSION JOINTS AT SIDEWALKS AND OTHER CONCRETE AREAS
- WASTE RECEPTACLE AND ENCLOSURE DESIGN SHALL COMPLY WITH COA SOLID WASTE MANAGEMENT DEPARTMENT STANDARD DETAILS AND REQUIREMENTS
- PROVIDE POSITIVE GRADING AROUND THE ENTIRE BUILDING
- LANDSCAPING AND SIGNAGE 3'H TO 8'H SHALL NOT BE IN CLEAR SIGHT TRIANGLE
- RE: GRADING & DRAINAGE PLAN FOR ADDITIONAL INFORMATION
- LANDSCAPING SHOWN FOR REFERENCE ONLY
- ALL IMPROVEMENTS IN THE RIGHT OF WAY MUST BE INCLUDED ON THE FINAL WORK ORDER
- GREASE TRAP MAY NOT BE LOCATED INSIDE OF WASTE RECEPTACLE ENCLOSURE; COORDINATE EXACT LOCATION OUTSIDE OF WASTE RECEPTACLE ENCLOSURE WITH ARCHITECT
- TREATMENT OF NEW ACCESS POINTS, CURB CUTS AND/OR DRIVE PADS SHALL COMPLY WITH COA DPM CHAPTER 26, SECTION 6
- ALL NEW RAMPS MUST INCLUDE TRUNCATED DOMES

SHEET KEYNOTES

- FREESTANDING SIGN, PROVIDE POWER FOR LIGHTING; SIGN DESIGN SHALL COMPLY WITH IDO TABLE 5-12-12: 100 SF MAX AREA AND 26 FT MAX HEIGHT; COORDINATE FINAL DESIGN AND FOOTING REQUIREMENTS WITH OWNER'S SIGN CONSULTANT
- ADA PARKING STALL AT 1% MIN TO 2% MAX SLOPE; 4" WIDE STRIPING, MARKED WITH PAINTED ADA MARKING LOCATED AT END OF STALL AND FACING DIRECTION AS SHOWN AND FREESTANDING SIGN; PAINT ALL STRIPING BLUE
- MOTORCYCLE PARKING WITH PAVEMENT LABEL IN "WHITE"; PROVIDE FREESTANDING SIGN
- ADA LOW-SLOPE RAMP; RE: COA STD DWG 2440
- ADA ACCESS AISLE; 4" WIDE STRIPING; PAINT ADA BLUE
- PROPERTY LINE
- NEW ASPHALT PAVING WITH PARKING STALLS AT 1% MIN TO 6% MAX SLOPE; PROVIDE 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES, 2 COATS MIN; PARKING LOT REQUIREMENTS SHALL COMPLY WITH COA STANDARD DETAILS AND MINIMUM REQUIREMENTS FOR PARKING LOTS
- WASTE RECEPTACLE AND ENCLOSURE; RE: GENERAL NOTE "J" THIS SHEET
- BICYCLE SPACES; SPACE AND RACK DESIGN SHALL COMPLY WITH IDO SECTION 5-5(E)
- 6" MIN TO 8" MAX CONCRETE BARRIER CURB AND GUTTER AT SIDEWALK
- 6" MIN TO 8" MAX CONCRETE BARRIER CURB AND GUTTER AT GRADE
- 6" WIDE x 7'-0" LONG PRE-CAST CONC WHEEL STOP; INSTALL MIN OF 2'-0" FROM FRONT EDGE OF SIDEWALK TO FRONT FACE OF STOP; ANCHOR TO PARKING LOT SURFACE
- NOT USED
- LANDSCAPING AND IRRIGATION
- CONCRETE CROSSWALK LEVEL WITH DRIVE
- CROSSWALK AT SPEED HUMP

SYMBOLS LEGEND

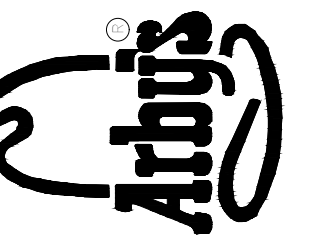
- = CABLE RISER
- = OVERHEAD UTILITY LINES
- = OVERHEAD UTILITY POLE
- = ELECTRIC RISER/TRANSFORMER
- = FIRE HYDRANT
- = SEWER MANHOLE
- = STREET LIGHT BOX
- = TELEPHONE RISER
- = TELEPHONE MANHOLE
- = TRAFFIC FLOW
- = UTILITY BOX-TYPE UNKNOWN
- = WATER METER
- = WATER VALVE



10-05-2022

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ARBY'S RESTAURANT
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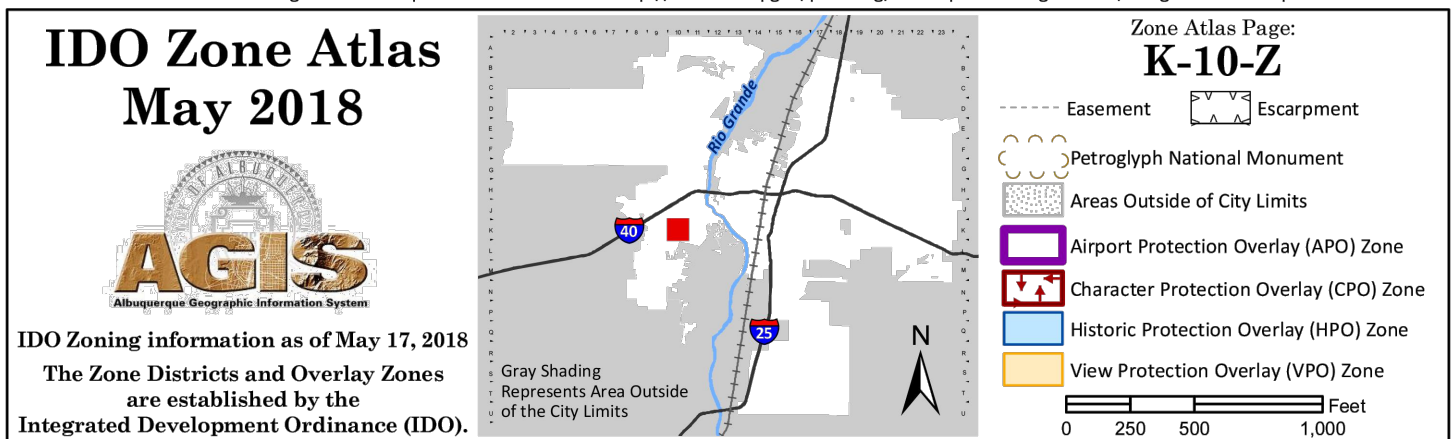
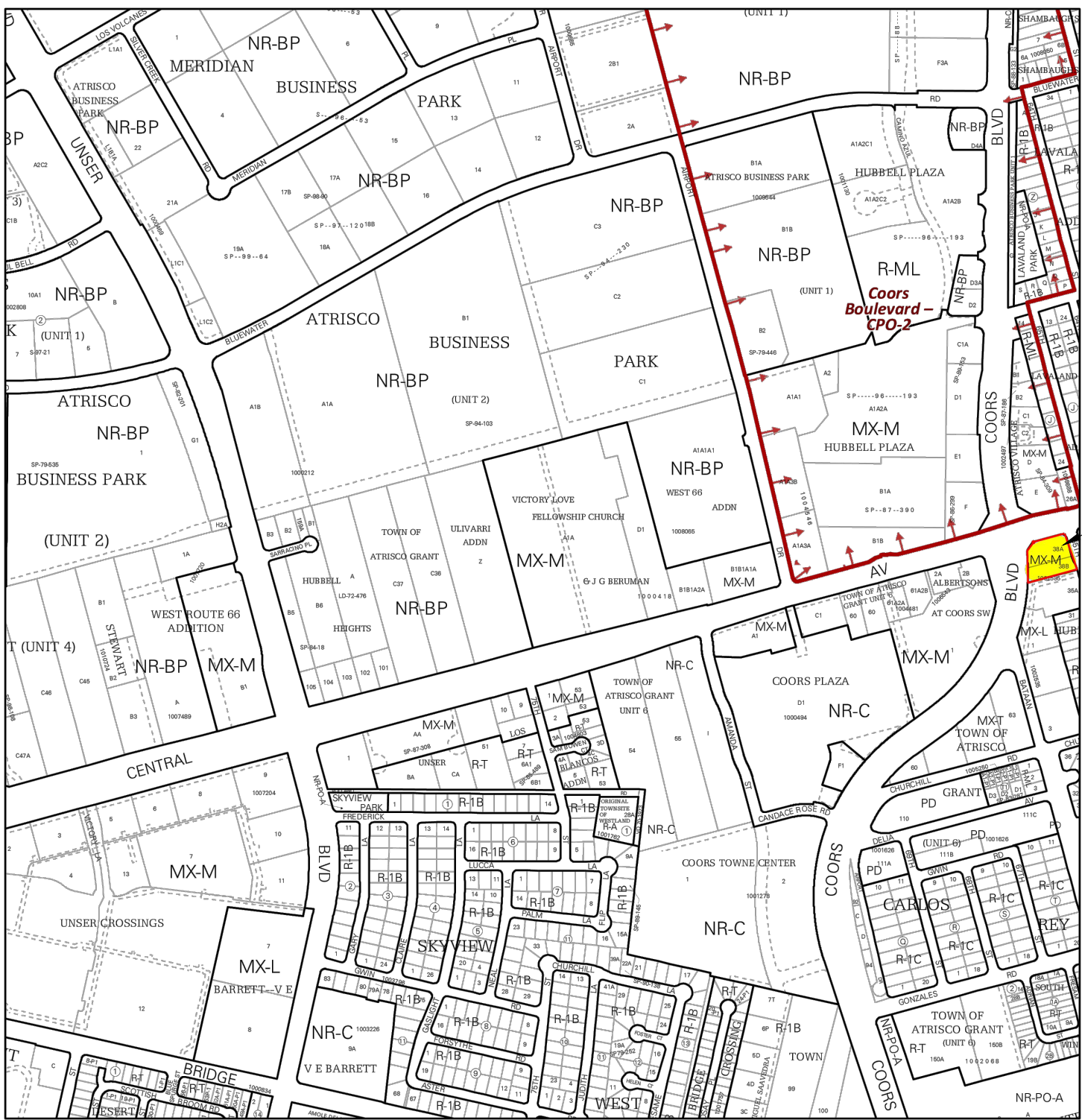
Project No. 22-004
Drawn by: AEH
Checked by: JFO

Issue Date:
November 10, 2022

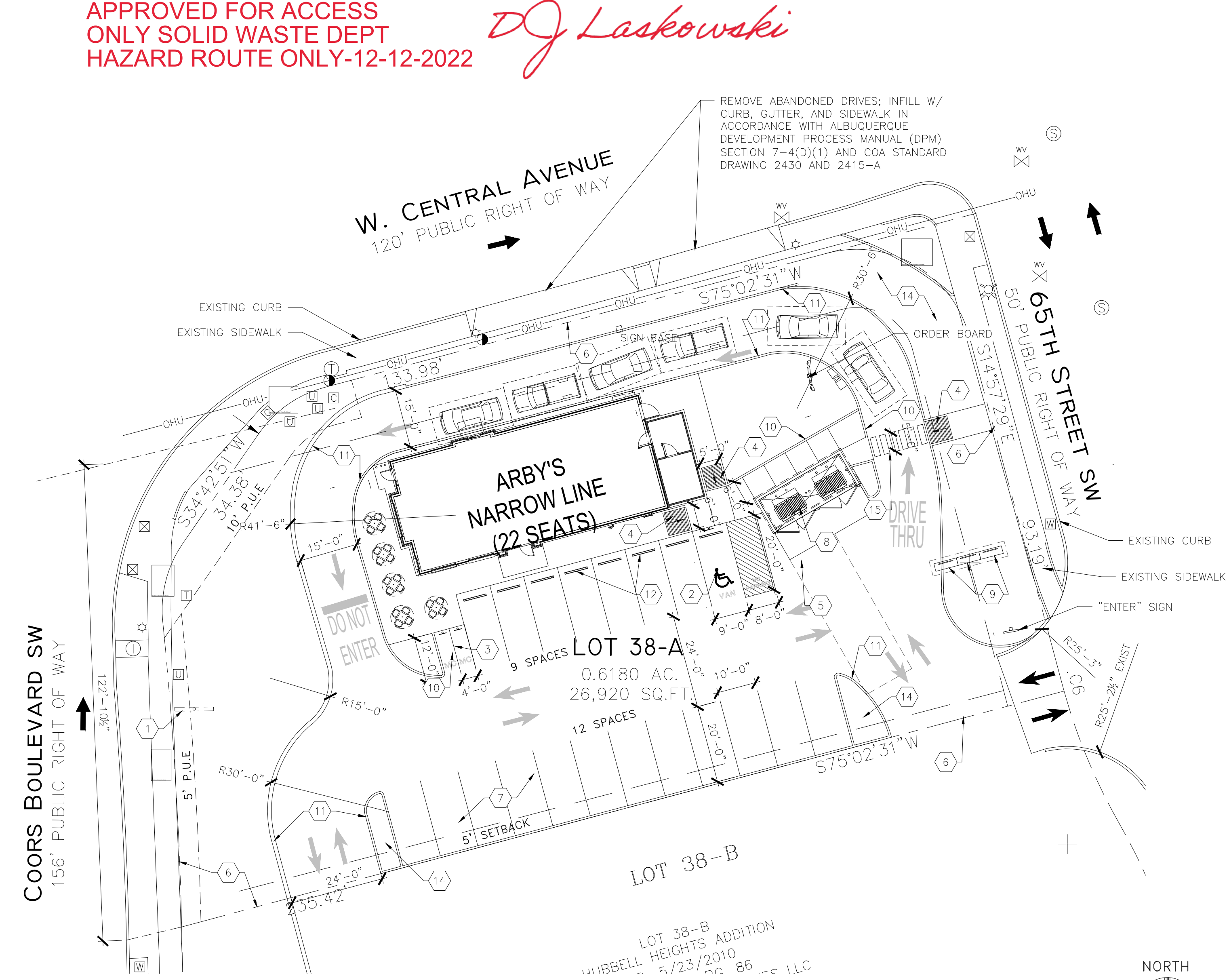
Revisions:	Date:

Sheet Title:
Traffic
Circulation
Layout

Sheet No.
AS100



A1 ZONE ATLAS MAP
SCALE: NTS



A3 ARCHITECTURAL SITE PLAN - TCL
SCALE: 1" = 20'-0"

