CITY OF ALBUQUERQUE

PLANNING DEPARTMENT - Development Review Services



August 27, 2015

David Soule, P.E. Rio Grande Engineering P.O. Box 93924 Albuquerque, NM 87199 Richard J. Berry, Mayor

RE: Sunset Gardens Subdivision (File: K12D003)
Drainage Report, Engineer's Stamp Date 1-19-15
Grading and Drainage Plan, Engineer's Stamp Date 8-20-15

Dear Mr. Soule:

Based upon the information provided in your submittal received 8-20-15 the above referenced submittal is approved for Building Permit, with the following conditions:

- 1) It is noted that this project was originally designed and approved by others, and the site has already been rough graded. The pad elevations are intended to remain the same as the original design. However, the road design changed and is sloped to allow for surface drainage. As a result Lot 13 (and other lots) has a pad that is high relative to the road resulting in a drive pad with a 16% slope. Pad elevations need to be adjusted such that the drivepad is at a maximum of 15% slope. This should be reflected both on the Work Order Construction set and the Engineer's Certified plan.
- 2) A LOMR-F is required prior to Building Permit for lots 46 and 47

Albuquerque

PO Box 1293

The following items need to be corrected/shown/provided for the Work Order Construction Set:

1. Show removal of the Existing wall in the roadway near Powell

New Mexico 871032.

- 2. Roadway tract needs a paper drainage easement prior to DRC
- 3. Obtain a Flood plain permit for construction in the flood zone prior to DRC
- 4. Provide inlet detail. Show how the bottom is to slope for the interim condition, and how it is intended to be modified for the future condition. (The inverts into pond are lower than the "future use inverts." When the inverts to the pond are plugged in the future, lean fill can be poured to slope the bottom of the inlet to the "future use" invert.)

www.cabq.gov

- 5. Adjust the Flowline El. And T.O.Curb Elev. at inlet discharging to Pond E. F.L and Grate are shown at same elev. and grate cannot be lowered as it is already at the MAX WSEL of Pond E.
- 6. Correct the "INLET TO INTERIM POND =4942.30" for inlets discharging to Ponds D and E. Invert should be less than the "FUTURE USE INVERT OUT=40.30"

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.

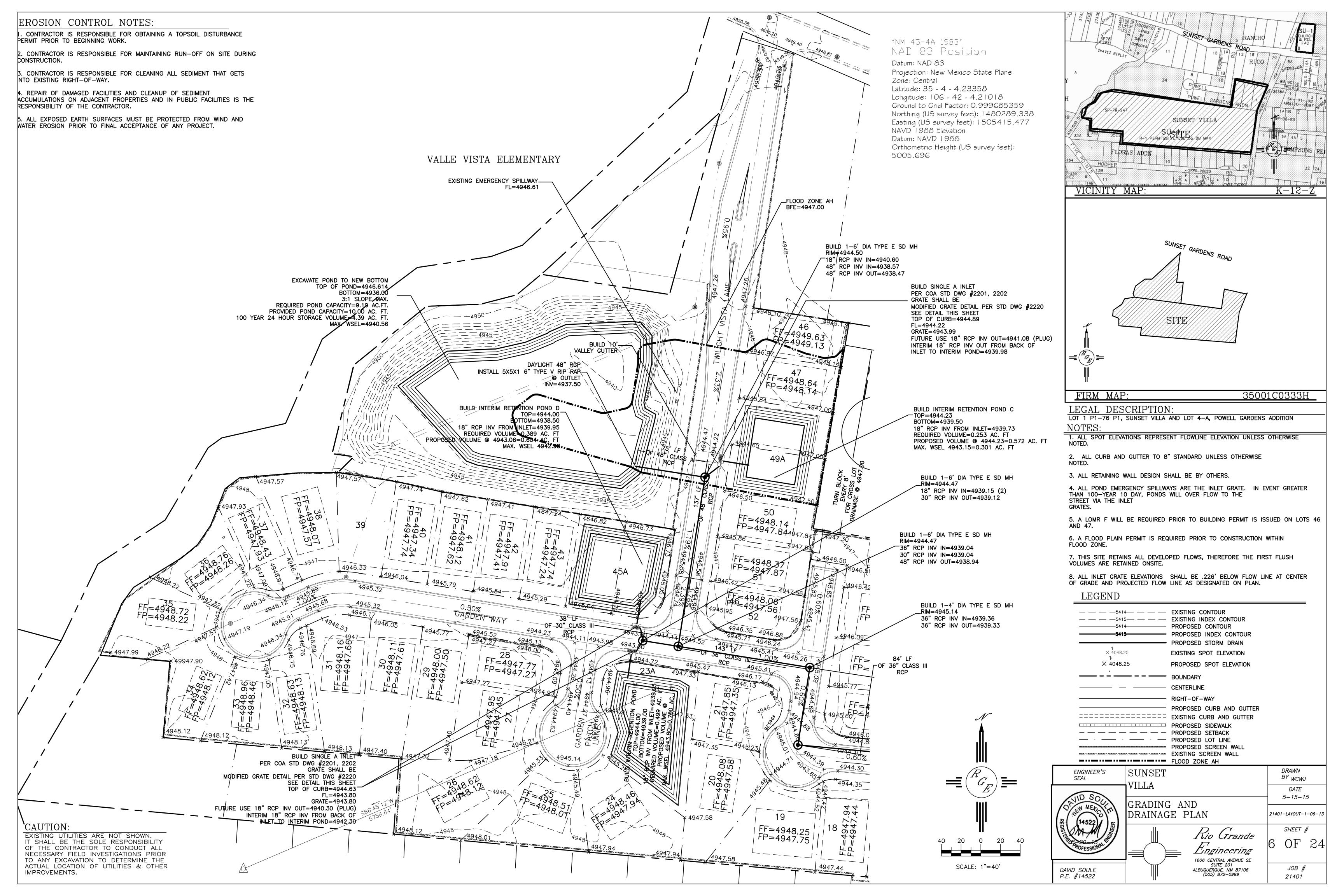
Senior Engineer, Planning Dept.

Development Review Services

Drainage file

Orig: c.pdf:

via Email: Recipient



2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION. 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY. 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT. FF=4949.63 FR=4949.13 ×4946.97 -BUILD INTERIM RETENTION POND C TOP=#944.23 FF=4948.64 BOTTQM=4939.50 FP=4948.74/ 18" RCP INV FROM INLET=4939.73
REQUIRED VOLUME=0.253 AC. FT
PROPOSED VOLUME @ 4944.23=0.572 AC. FT
MAX/ WSEL 4943.15=0.301 AC. FT 4947.75 4945.84 - 4947.00 4948.31 4947/52 4947.86 A947.62 4947.86 4949.44 REMOVE EX. | FF=4949.94| FP=4949.44 V W POWELL ROAD 04 $\infty \infty$ |FF=4949.94 | FP=4949.44 49,49 4947.44 BUILD 1-4' DIA TYPE E SD MH 4947.50 _RIM*=*/4945.14 36" RCP INV IN=4939.36 * 4947.46 T BUILD INTERIM RETENTION POND B

TOP=4944.00 36" RCP INV OUT=4939.33 FF=4948.14 BOTTOM = 4939.00, | FF=4948.76 | FP=4947.844947.84 4947.30 18" RCP INV FROM INLET=4939.38
REQUIRED VOLUME=0.567 AC. FT
PROPOSED VOLUME @4943.23=1.07 AC. FP=4948.26 Q 69 94 94 MAX. WSEL 4942.13 53 FF=4948.37 /FF=4947.84 NO FP=4947.87 o.FP=4947.34 FF=4948.48/ FP=4947.98 94 $\frac{4947.34}{}$ FF=4948.06 F46=4947.56 10' IRRIGATION AND FF=4948.52 1 4946.87 UTILTY EASEMENT |FF=4947.84| FP=4948.02 7 FF=4948.97 | | 4948.347 $\sqrt{(2/13/49)}$ BOOK FP=4947.34 62 4947.72** |FP=4948.47| FOLIO 131 4946.35 4946.88 4945.71 4946.24 ×4946.09——— 4,947.04 တတ 4944.77 4945.41 FF=4947.22 FF=4948.97 5 တဲ့ တဲ့ FP=4947.72 FP=4948.47 FF=4947.27 |FP=4946.77| 4945.41 59A 4946.17 *4946.35 FF = 4947.9685/ 35/ \bigcirc |FP=4947.46 FF=4948.82 4947. 4947. FP=4948.32 $\infty \infty$ 4945.60P = 4947.13 4946.10 4944.84FF = 4947.78FF=4948.91 4945.94 FP=4947.28 4944.52 FP=4948.41 i 4945.90 — 4948,46 4946.54 08 58/ 894943.47 4943.63 4944.30 GARDEN WAY 0.60% 20 4948. 4947. 4944.8 4944.09 49 ## | | 1 | | 1 1944.32 4944.54 4944.32 4944.52 4944.92 4945.12 494 494 494 FF=4948.25 1766 00 FP=4947.75 00 00 N ,64 4947.58 ၂တတ 1 4947.44 1044 49 900 BUILD INTERIM A - RETENTION POND BUILD 1-4' DIA TYPE E SD MH TOP=4944.00 BUILD 1-4' DIA TYPE E SD MH RIM=4944.60_ BOTTOM=4938'.70 RIM = 4944.60 -30" RCP INV IN=4939.91 18" RCP INV FROM INLET=4939.62 18" RCP INV IN=4939.56 (2) 36" RCP INV OUT=4939.89 REQUIRED VOLUME=0.663 30" RCP INV OUT=4939.53 PROPOSED VOLUME @ 4943.47=0.764 AC. FT MAX. WSEL=4942.92 BUILD DOUBLE A INLET —PER COA STD DWG #2201, 2202 BUILD DOUBLE A INLET CAUTION: GRATE SHALL BE MÖDIFIED GRATE DETAIL PER COA STD DWG #2201, 2202 — EXISTING UTILITIES ARE NOT SHOWN. PER STD DWG #2220-SEE DETAIL THIS SHEET GRATE SHALL BE MODIFIED GRATE DETAIL IT SHALL BE THE SOLE RESPONSIBILITY TOP OF CURB=4943.90 PER STD DWG #2220-SEE DETAIL THIS SHEET OF THE CONTRACTOR TO CONDUCT ALL FL=4943.23 TOP OF CURB=4944.14 GRATE=4943.00 NECESSARY FIELD INVESTIGATIONS PRIOR FL=4943.47 TO ANY EXCAVATION TO DETERMINE THE FUTURE USE 18" RCP INV OUT=4939.73 (PLUG) GRATE=4943.24 ACTUAL LOCATION OF UTILITIES & OTHER INTERIM 18" RCP INV OUT FROM BACK OF FUTURE USE 18" RCP INV OUT=4939.97 (PLUG) IMPROVEMENTS. INLET TO INTERIM POND=4939.63 INTERIM 18" RCP INV OUT FROM BACK OF INLET TO INTERIM POND=4939.87

EROSION CONTROL NOTES:

PERMIT PRIOR TO BEGINNING WORK.

. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE

"NM 45-4A 1983".
NAD 83 Position

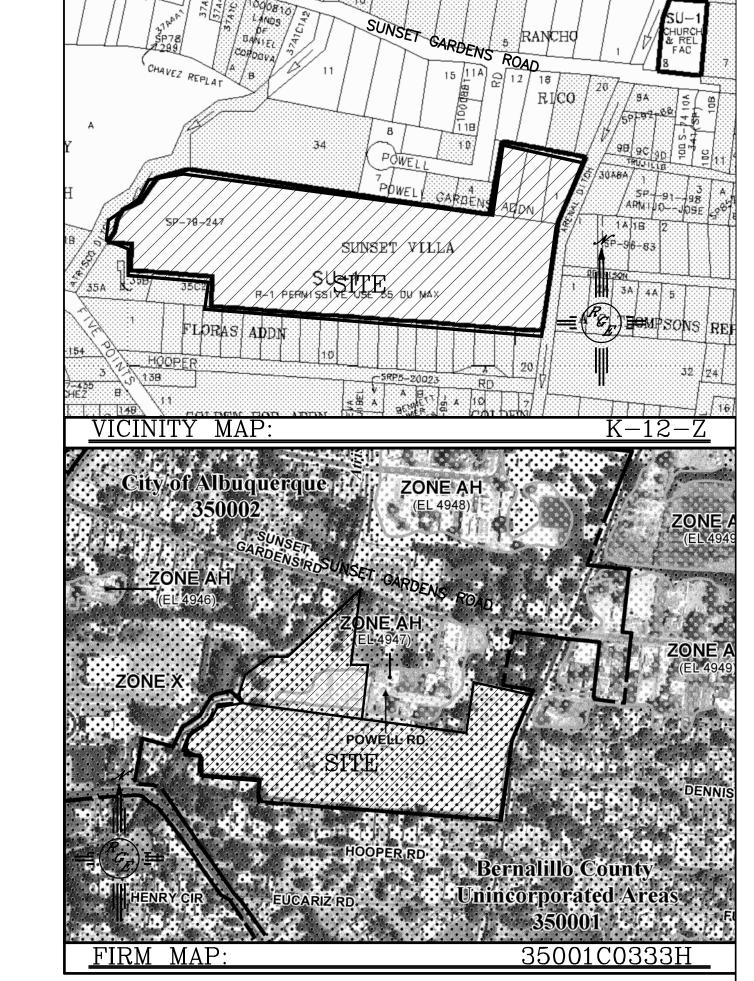
Datum: NAD 83

Projection: New Mexico State Plane
Zone: Central
Latitude: 35 - 4 - 4.23358
Longitude: 106 - 42 - 4.21018
Ground to Grid Factor: 0.999685359
Northing (US survey feet): 1480289.338
Easting (US survey feet): 1505415.477
NAVD 1988 Elevation

Orthometric Height (US survey feet):

Datum: NAVD 1988

5005.696



LEGAL DESCRIPTION:

LOT 1 P1-76 P1, SUNSET VILLA AND LOT 4-A, POWELL GARDENS ADDITION

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

2. ALL CURB AND GUTTER TO 8" STANDARD UNLESS OTHERWISE

3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.

4. ALL POND EMERGENCY SPILLWAYS ARE THE INLET GRATE. IN EVENT GREATER

THAN 100-YEAR 10 DAY, PONDS WILL OVER FLOW TO THE STREET VIA THE INLET GRATES.

5. A LOMR F WILL BE REQUIRED PRIOR TO BUILDING PERMIT IS ISSUED ON LOTS 46 AND 47.

6. A FLOOD PLAIN PERMIT IS REQUIRED PRIOR TO CONSTRUCTION WITHIN FLOOD ZONE.

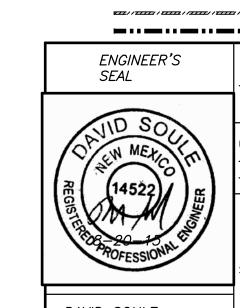
7. THIS SITE RETAINS ALL DEVELOPED FLOWS, THEREFORE THE FIRST FLUSH VOLUMES ARE RETAINED ONSITE.

8. ALL INLET GRATE ELEVATIONS SHALL BE .226' BELOW FLOW LINE AT CENTER

OF GRADE AND PROJECTED FLOW LINE AS DESIGNATED ON PLAN.

LEGEND

— — — — 5414— — — EXISTING CONTOUR — — — — 5415— — — EXISTING INDEX CONTOUR —5414————— PROPOSED CONTOUR PROPOSED INDEX CONTOUR PROPOSED STORM DRAIN × 4048.25 EXISTING SPOT ELEVATION X 4048.25 PROPOSED SPOT ELEVATION — – – — BOUNDARY CENTERLINE RIGHT-OF-WAY PROPOSED CURB AND GUTTER PROPOSED SIDEWALK PROPOSED SETBACK — · — PROPOSED LOT LINE PROPOSED SCREEN WALL EXISTING SCREEN WALL



SCALE: 1"=40'

SUNSET
VILLA

GRADING AND
DRAINAGE PLAN

Ploof Trande

FLOOD ZONE AH

DRAWN
BY WCWJ

DATE
1-19-15

21401-LAYOUT-1-06-13

SHEET #

6A OF 24

Rio Grande

Lingineering

1606 CENTRAL AVENUE SE
SUITE 201

ALBUQUERQUE, NM 87106
(505) 872-0999

JOB #

21401

DAVID SOULE P.E. #14522