

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



August 27, 2015

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

Richard J. Berry, Mayor

**RE: Sunset Gardens Subdivision (File: K12D003)**  
**Drainage Report, Engineer's Stamp Date 1-19-15**  
**Grading and Drainage Plan, Engineer's Stamp Date 8-20-15**

Dear Mr. Soule:

Based upon the information provided in your submittal received 8-20-15 the above referenced submittal is approved for Building Permit, with the following conditions:

- 1) It is noted that this project was originally designed and approved by others, and the site has already been rough graded. The pad elevations are intended to remain the same as the original design. However, the road design changed and is sloped to allow for surface drainage. As a result Lot 13 (and other lots) has a pad that is high relative to the road resulting in a drive pad with a 16% slope. Pad elevations need to be adjusted such that the drivepad is at a maximum of 15% slope. This should be reflected both on the Work Order Construction set and the Engineer's Certified plan .
- 2) A LOMR-F is required prior to Building Permit for lots 46 and 47

The following items need to be corrected/shown/provided for the Work Order Construction Set:

1. Show removal of the Existing wall in the roadway near Powell
2. Roadway tract needs a paper drainage easement prior to DRC
3. Obtain a Flood plain permit for construction in the flood zone prior to DRC
4. Provide inlet detail. Show how the bottom is to slope for the interim condition, and how it is intended to be modified for the future condition. (The inverts into pond are lower than the "future use inverts." When the inverts to the pond are plugged in the future, lean fill can be poured to slope the bottom of the inlet to the "future use" invert. )
5. Adjust the Flowline El. And T.O.Curb Elev. at inlet discharging to Pond E. F.L and Grate are shown at same elev. and grate cannot be lowered as it is already at the MAX WSEL of Pond E.
6. Correct the "INLET TO INTERIM POND =4942.30" for inlets discharging to Ponds D and E. Invert should be less than the "FUTURE USE INVERT OUT=40.30"

If you have any questions, you can contact me at 924-3695.

Sincerely,

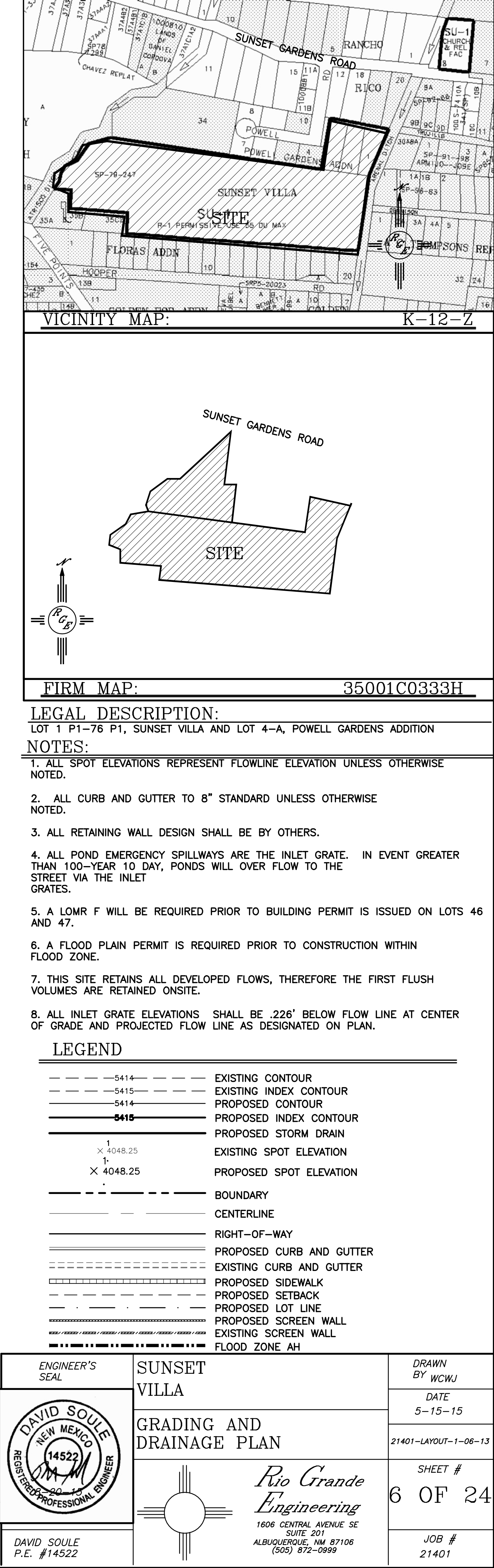
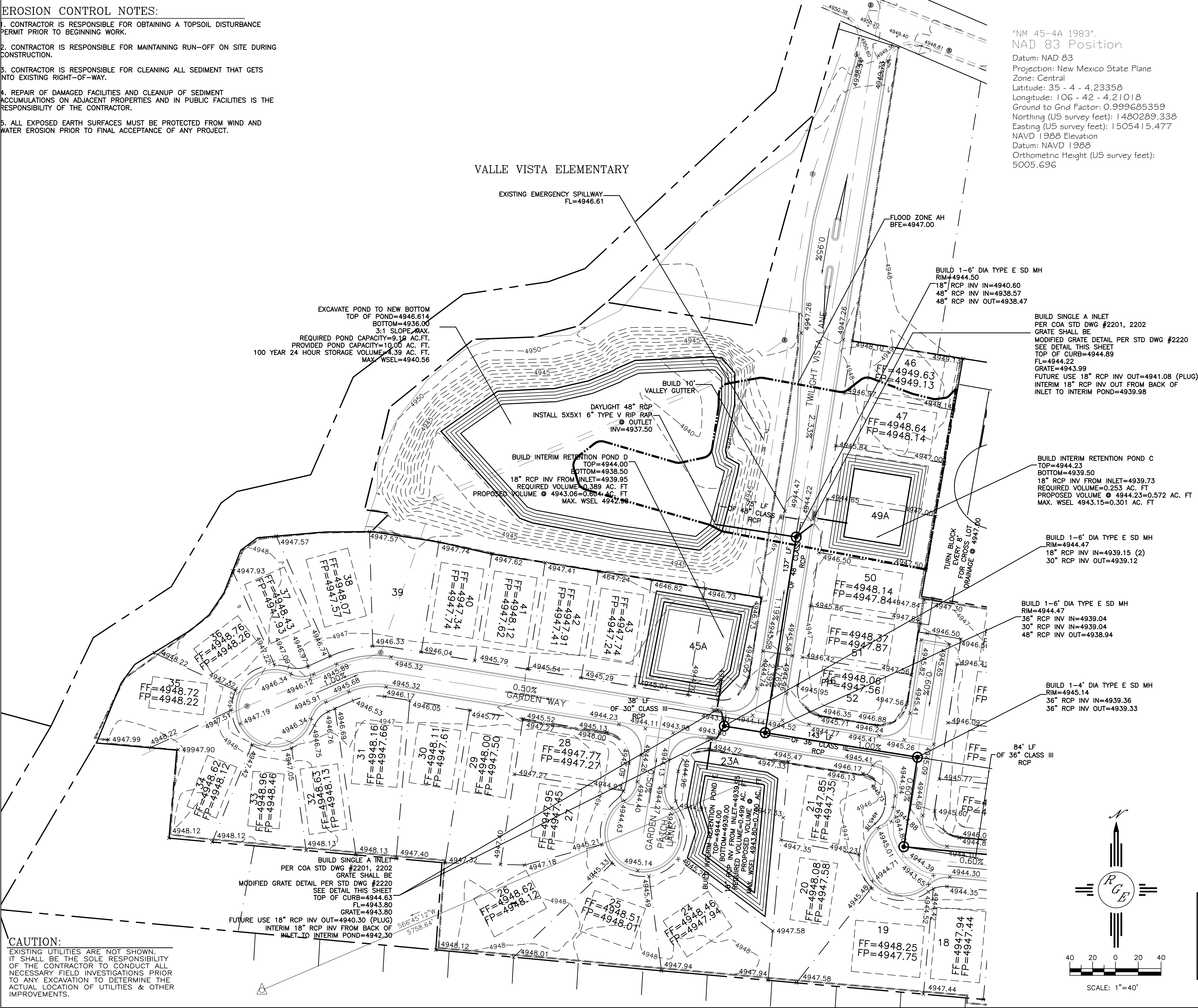
A handwritten signature in black ink, appearing to read "Rita Harmon", with a long horizontal flourish extending to the right.

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf: via Email: Recipient

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

"NM 45-4A 1983",  
NAD 83 Position

Datum: NAD 83

Projection: New Mexico State Plane

Zone: Central

Latitude: 35 - 4 - 4.23358

Longitude: 106 - 42 - 4.21018

Ground to Grid Factor: 0.999685359

Northing (US survey feet): 1480289.338

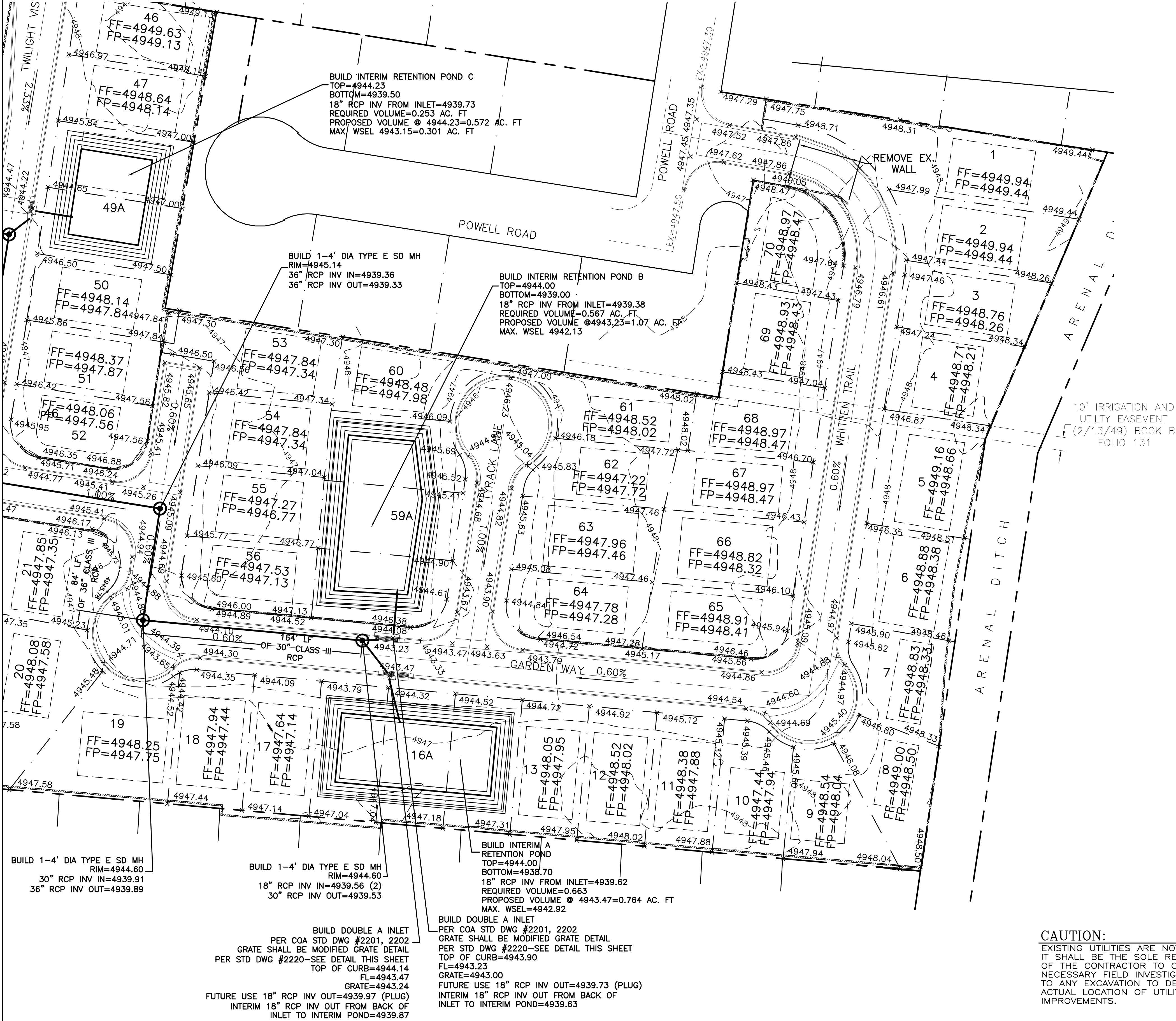
Easting (US survey feet): 1505415.477

NAVD 1988 Elevation

Datum: NAVD 1988

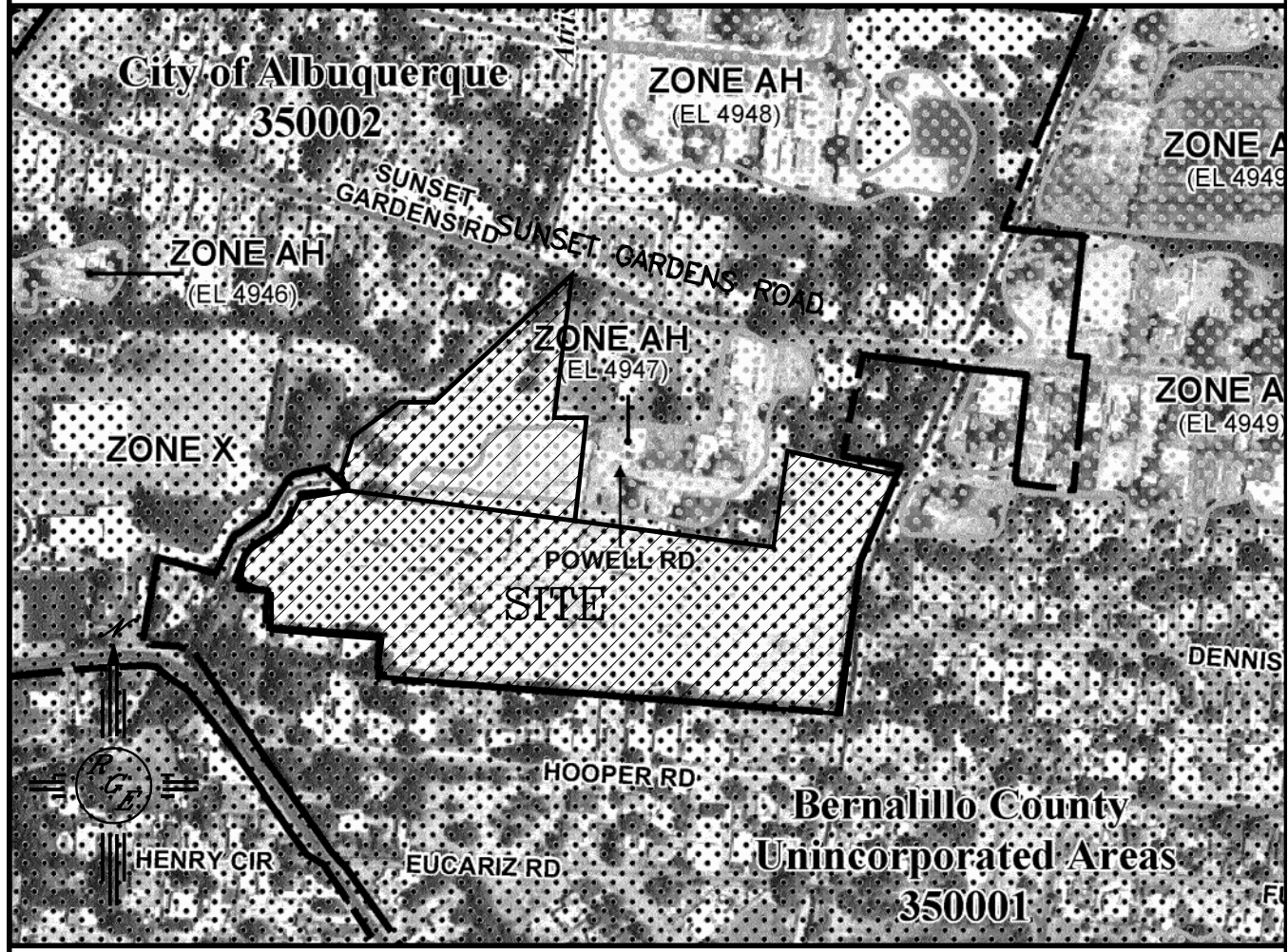
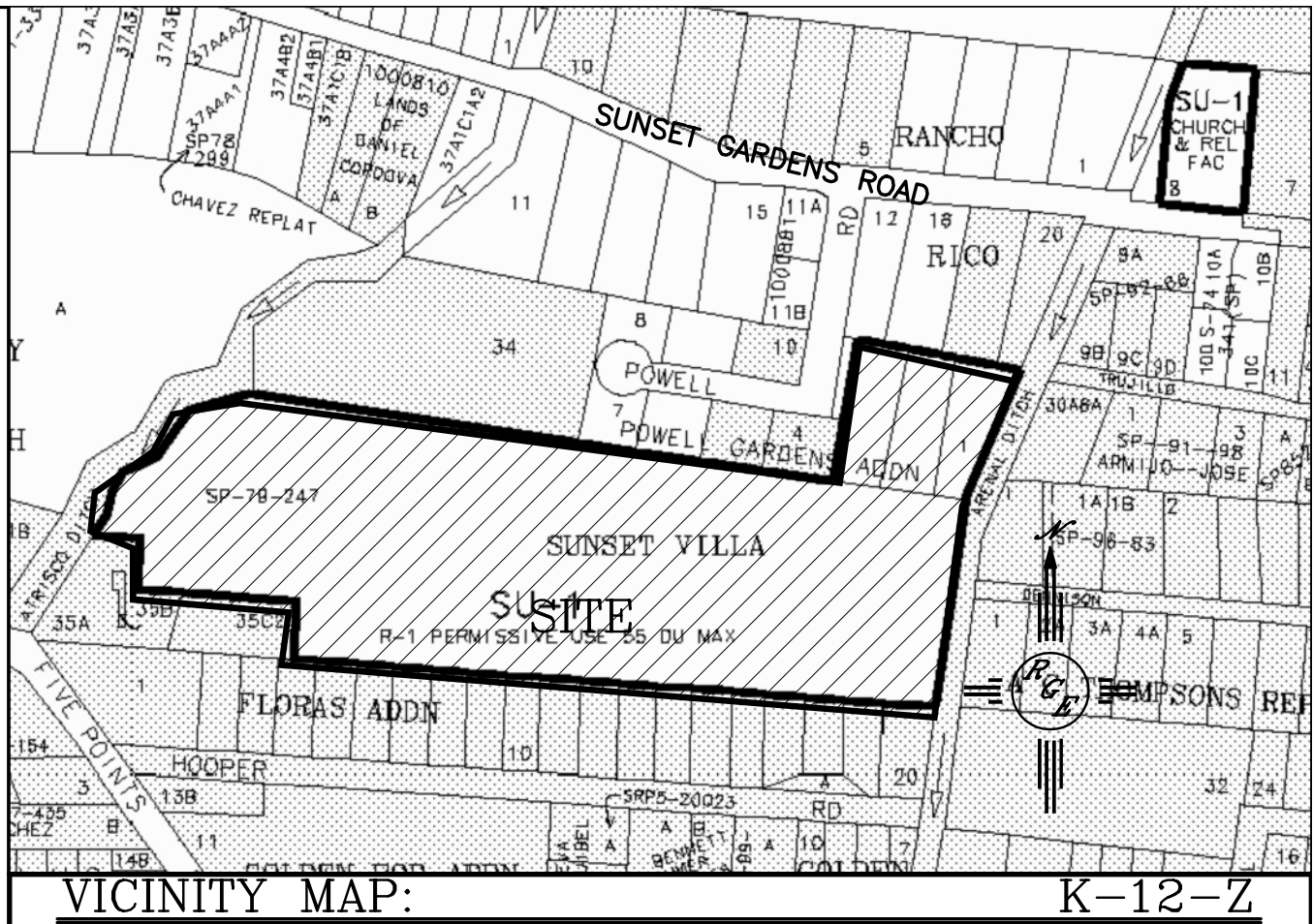
Orthometric Height (US survey feet):

5005.696



CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



LEGAL DESCRIPTION:

LOT 1 P1-76 P1, SUNSET VILLA AND LOT 4-A, POWELL GARDENS ADDITION

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 8" STANDARD UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ALL POND EMERGENCY SPILLWAYS ARE THE INLET GRATE. IN EVENT GREATER THAN 100-YEAR 10 DAY, PONDS WILL OVER FLOW TO THE STREET VIA THE INLET GRATES.
5. A LOWR F WILL BE REQUIRED PRIOR TO BUILDING PERMIT IS ISSUED ON LOTS 46 AND 47.
6. A FLOOD PLAIN PERMIT IS REQUIRED PRIOR TO CONSTRUCTION WITHIN FLOOD ZONE.
7. THIS SITE RETAINS ALL DEVELOPED FLOWS, THEREFORE THE FIRST FLUSH VOLUMES ARE RETAINED ONSITE.
8. ALL INLET GRATE ELEVATIONS SHALL BE .226' BELOW FLOW LINE AT CENTER OF GRADE AND PROJECTED FLOW LINE AS DESIGNATED ON PLAN.

LEGEND

- |     |         |                          |
|-----|---------|--------------------------|
| --- | 5414    | EXISTING CONTOUR         |
| --- | 5415    | EXISTING INDEX CONTOUR   |
| --- | 5416    | PROPOSED CONTOUR         |
| --- | 5417    | PROPOSED INDEX CONTOUR   |
| --- | 5418    | PROPOSED STORM DRAIN     |
| x   | 4048.25 | EXISTING SPOT ELEVATION  |
| x   | 4048.25 | PROPOSED SPOT ELEVATION  |
| --- |         | BOUNDARY                 |
| --- |         | CENTERLINE               |
| --- |         | RIGHT-OF-WAY             |
| --- |         | PROPOSED CURB AND GUTTER |
| --- |         | EXISTING CURB AND GUTTER |
| --- |         | PROPOSED SIDEWALK        |
| --- |         | PROPOSED SETBACK         |
| --- |         | PROPOSED LOT LINE        |
| --- |         | PROPOSED SCREEN WALL     |
| --- |         | EXISTING SCREEN WALL     |
| --- |         | FLOOD ZONE AH            |

<div>ENGINEER'S SEAL</div> <div>DAVID SOULE</div> <div>NEW MEXICO</div> <div>14522</div> <div>REGISTERED PROFESSIONAL ENGINEER</div>	SUNSET VILLA	GRADING AND DRAINAGE PLAN	DRAWN BY: WCWJ
			DATE: 1-19-15
			21401-LAYOUT-1-06-13
			SHEET # 6A OF 24
DAVID SOULE P.E. #14522		1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0898	JOB # 21401