

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

May 3, 2021

Jeffrey T. Wooten, P.E.  
Wooten Engineering  
PO Box 15814  
Rio Rancho, NM 87174

**RE: Starbucks**  
**4201 Central Ave. NW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 02/10/21**  
**Hydrology File: K12D005**

Dear Mr. Wooten:

Based upon the information provided in your submittal received 04/26/2021, the Grading and Drainage Plan is approved for Building Permit.

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

Also, please provide the Drainage Covenant for the proposed stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. There is a recording fee (\$25, payable to Bernalillo County). Please contact Charlotte LaBadie ([clabadie@cabq.gov](mailto:clabadie@cabq.gov), 924-3996). Due to COVID-19, please follow the instructions:

Either email a pdf copy of the executed drainage covenant and the exhibit to [clabadie@cabq.gov](mailto:clabadie@cabq.gov) or either mail or drop off the originals. Please mail the \$25.00 recording fee check made payable to Bernalillo County to:

Planning Dept./DRC  
Attn: Charlotte LaBadie  
600 2nd St. NW, Ste. 400  
ABQ, NM, 87102

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If you drop off the originals, there is a drop box outside the building labeled DRC. Once approved and recorded, Charlotte will email you a copy.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

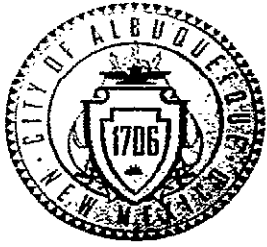
Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

**Project Title:** Starbucks **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** K12-D005  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Tract A, Land of Rancho Village Partners  
**City Address:** 4201 Central Ave NW

**Applicant:** Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.  
**Address:** PO Box 15814, Rio Rancho, NM 87174  
**Phone#:** 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_ # OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

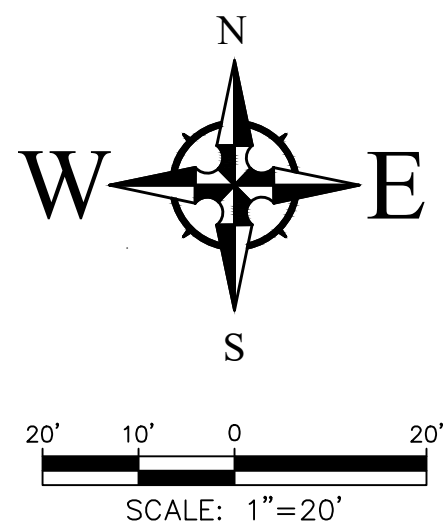
**DATE SUBMITTED:** April 23, 2021 **By:** Jeffrey T. Wooten, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

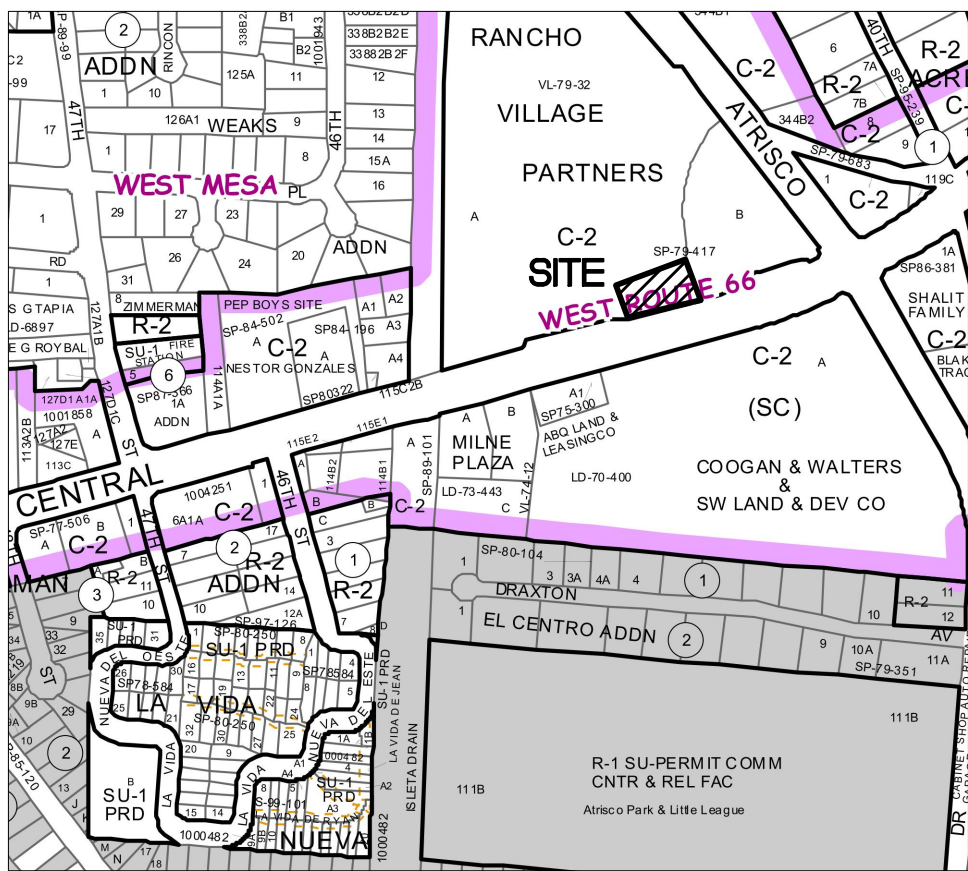
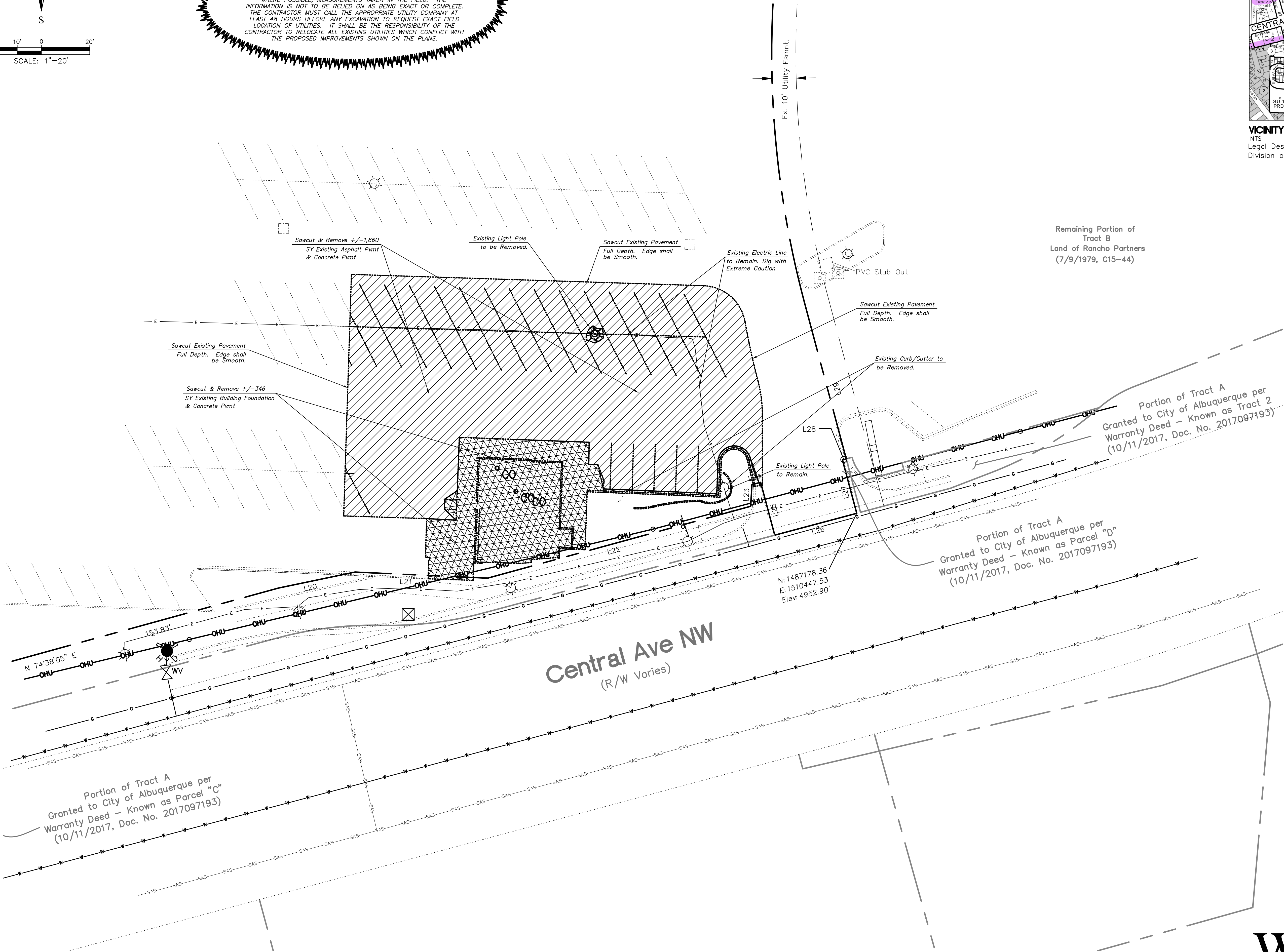
FEE PAID: \_\_\_\_\_





**CAUTION!!!!**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



**VICINITY MAP - Zone Atlas Page K-12-Z**  
NTS  
Legal Description: A Portion of Tract A of the Plat A & B, a Division of Land of Rancho Village Partners, Albuquerque, NM.

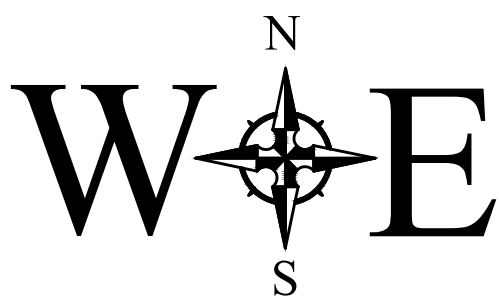
REV	DATE	BY	REVISION
1	02/10/2021	JEFF WOOTE	PROJECT START
2	02/10/2021	ROLAND GATTI	DESIGN DEVELOPMENT
3	02/10/2021	ROLAND GATTI	PERMITTING
4	02/10/2021	ROLAND GATTI	CONSTRUCTION
5	02/10/2021	ROLAND GATTI	CLOSURE

**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

2/10/2021

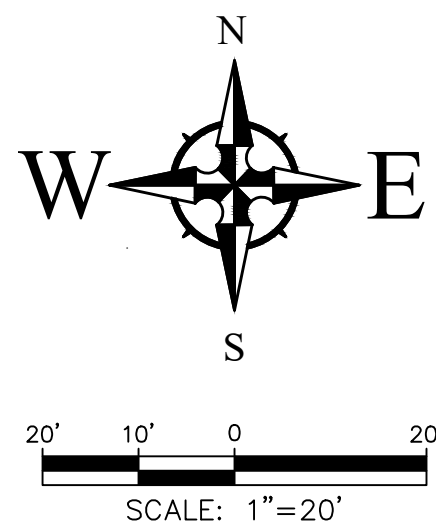
PROJECT TITLE <b>STARBUCKS</b> CENTRAL AVE NW ALBUQUERQUE, NEW MEXICO 87105	DRAWN BY: ROLAND GATTI
PROJECT MANAGER JEFF WOOTE	JOB NO. 2020026
SHEET TITLE <b>Demolition Plan</b>	

DATE: 02/10/2021	Sheet: <b>C1.1</b>
SCALE: AS NOTED	of 3



**Wooten Engineering**  
PO Box 15814  
Rio Rancho, N.M. 87174  
Phone: (505) 980-3560





Existing Drainage Calculations

This table is based on the COA DPM Chapter 6.2, Zone: 1									
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)
SITE AREA	18560	0.43	0.0%	0.0%	15.0%	85.0%	4.15	1.77	1.82
TOTAL	18560	0.43					1.77		

Proposed Drainage Calculations

Ultimate Development Conditions Basin Data Table

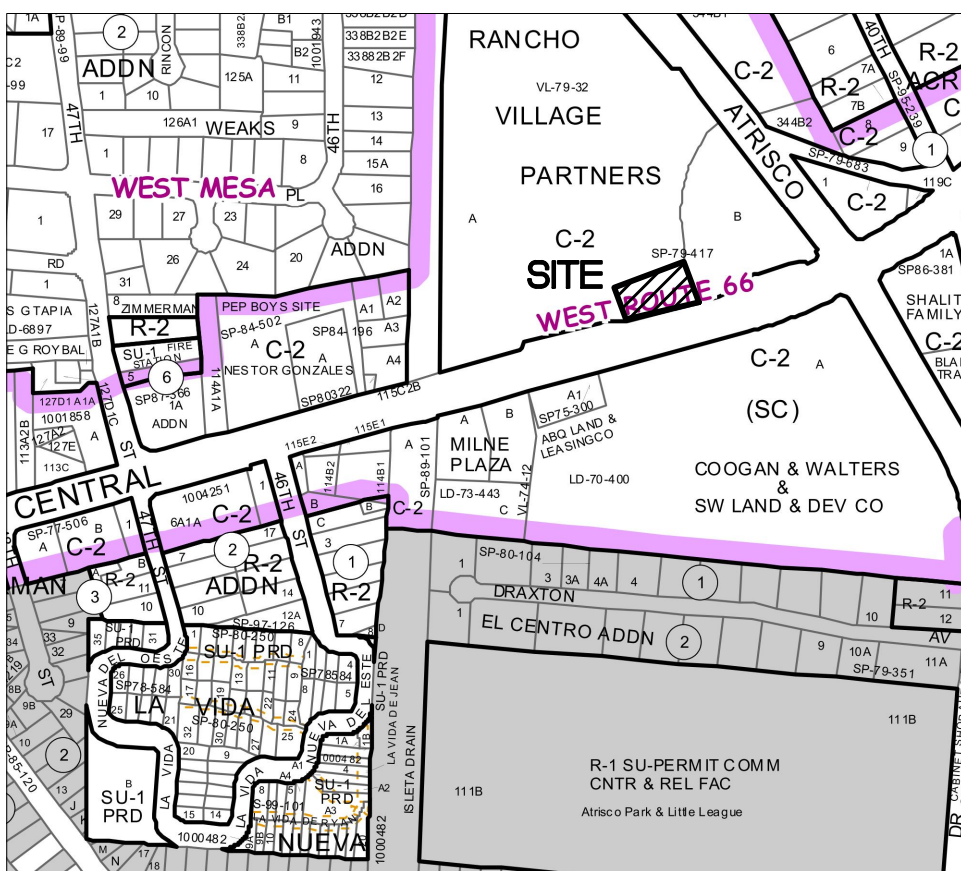
This table is based on the COA DPM Chapter 6.2, Zone: 1									
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)
SITE AREA	18560	0.43	0.0%	0.0%	40.0%	60.0%	3.77	1.61	1.58
TOTAL	18560	0.43					1.61		

IMPERVIOUS AREA CALCULATIONS

SITE AREA  
TOTAL BASIN AREA: 18,560 SF  
PERVIOUS AREA (40.0%): 7,490 SF  
IMPERVIOUS AREA (60.0%): 11,070 SF  
WATER QUALITY POND CALCULATION  
TOTAL IMPERVIOUS AREA = 11,070 SF  
FIRST FLUSH = 11,070 \* 0.26" / 12 = 240 CF  
TOTAL VOLUME PROVIDED = 1,892 CF

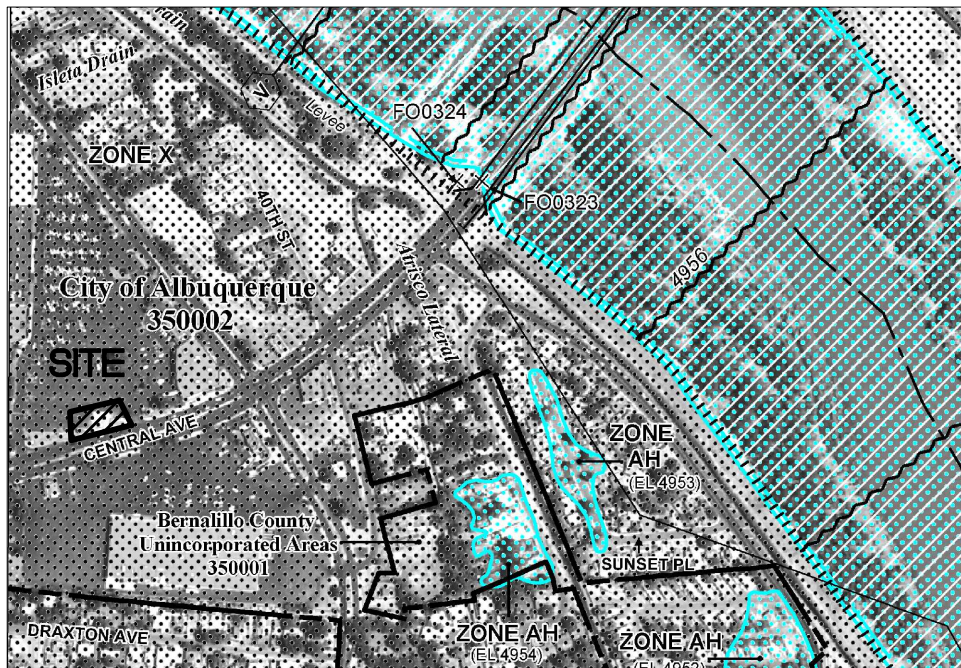
LEGEND

- 27.8' PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8' PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8' PROPOSED TOP OF CURB ELEVATIONS
- TS27.8' PROPOSED TOP OF SIDEWALK ELEVATIONS
- 24"C.O. PROPOSED 24" CURB OPENING
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE



VICINITY MAP - Zone Atlas Page K-12-Z

Legal Description: A Portion of Tract A of the Plat A & B, a Division of Land of Rancho Village Partners, Albuquerque, NM.



FIRM MAP 35001C0333H

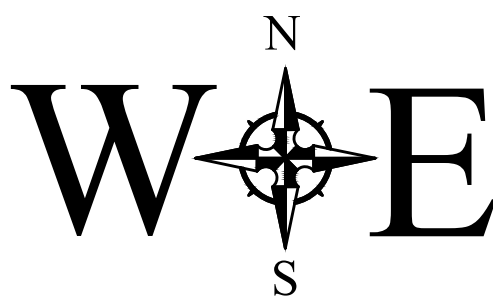
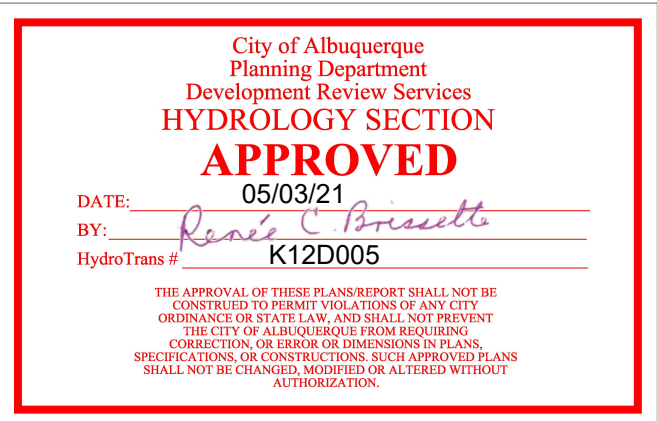
Per FIRM Map 35001C0333H, dated August 16, 2012, the site is located inside of the 0.2% Annual Chance Floodplain.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMES OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

CAUTION!!!!

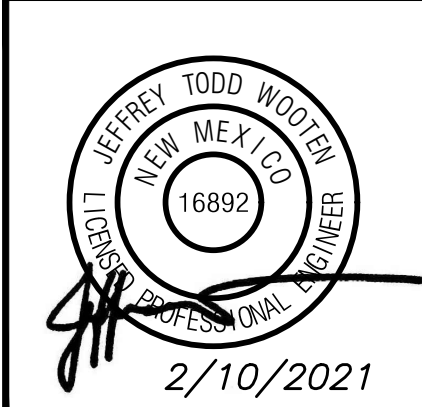
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REV	DATE	BY	REVISION
6			
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4			
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2			
1			

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100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE STARBUCKS CENTRAL AVE. NW ALBUQUERQUE, NEW MEXICO 87105		JOB NO. 2020026	DRAWN BY: ROLAND GATTI	SHEET TITLE Grading Plan
PROJECT MANAGER JEFF WOOTEN				
DATE: 02/10/2021		sheet: C2.1		
SCALE: AS NOTED		of 3		