

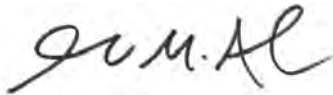
ADMINISTRATIVE AMENDMENT

FILE #: SI-2021-00084

PROJECT #: PR-2021-004972

Addition of 918 sq ft restaurant/coffee shop with drive through on existing pad site;

Addition of (3) required parking spaces and (1) ADA parking space; Provision of
required landscaping.

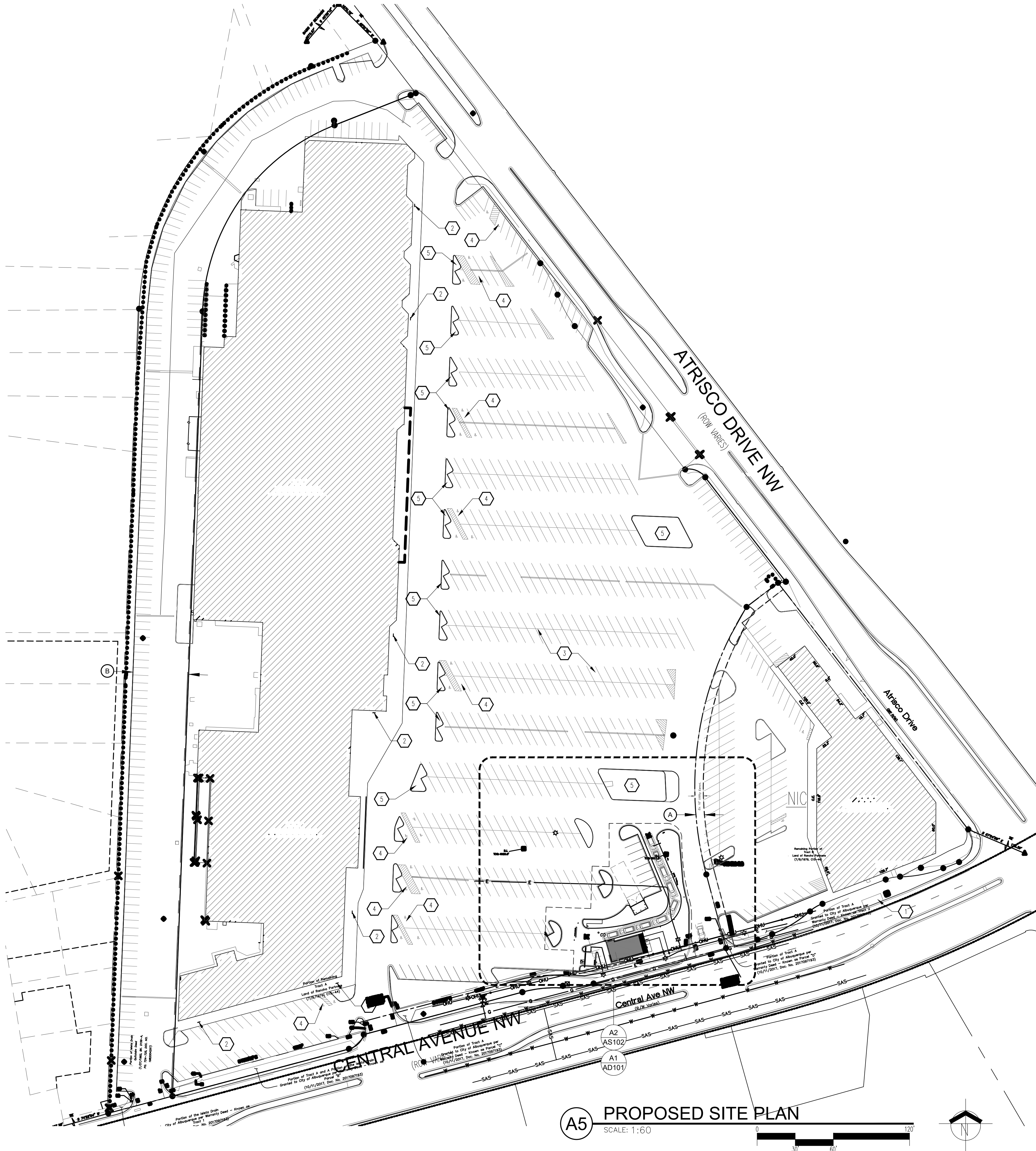


Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of Albuquerque,
ou=Planning Department, email=jmaranda@cabq.gov, c=US
Date: 2022.01.06 09:53:55 -07'00'

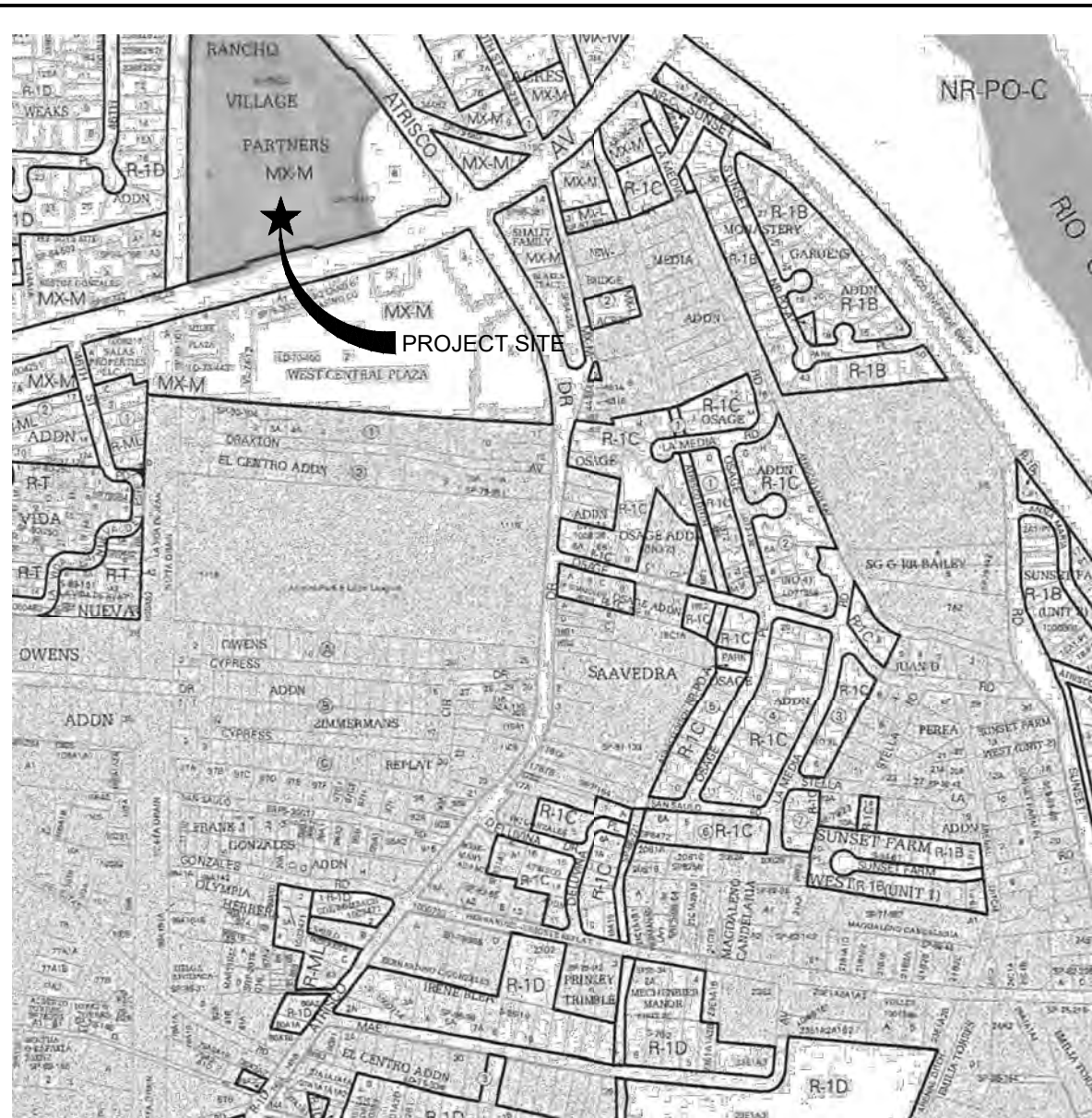
1/6/2022

APPROVED BY

DATE



A5 PROPOSED SITE PLAN
SCALE: 1"=60'



VICINITY MAP

Zone Atlas Map K-12-Z

TRACTS LETTERED "A" AND "B", A DIVISION OF LAND OF RANCHO VILLAGE PARTNERS, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 9, 1979, IN PLAT BOOK C15, FOLIO 44, TOGETHER WITH THE ADJACENT LAND AREA FORMERLY KNOWN AS A PORTION OF THE ISLETA DRAIN, MORE PARTICULARLY DESCRIBED BY SURVEY OF ELDER COMPANY IN NOVEMBER, 1979, AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER, WHICH IS THE SOUTHWEST CORNER OF THE LAND OF RANCHO VILLAGE PARTNERS ABOVE MENTIONED AND RUNNING:
THENCE S 74°52'10" W, ALONG THE NORTHERLY LINE OF CENTRAL AVENUE WEST, 78.50 FEET TO THE SOUTHWEST CORNER;
THENCE N 02°02'40" E, ALONG THE WESTERLY LINE OF THE FORMER RIGHT-OF-WAY OF THE ISLETA DRAIN, 950.77 FEET TO A POINT OF CURVE;
THENCE NORTHEASTERLY AND TO THE RIGHT, FOLLOWING A CURVE IN SAID FORMER RIGHT-OF-WAY HAVING A RADIUS OF 321.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING 35°09'50" E, 351.30 FEET) A DISTANCE ALONG THE ARC 371.66 FEET TO A POINT OF TANGENCY;
THENCE N 68°17' E, 81.46 FEET TO THE NORTHERMOST CORNER, A POINT ON THE WESTERLY LINE OF ATRISCO DRIVE SW;
THENCE S 37°46'30" E, ALONG SAID ATRISCO DRIVE LINE, 78.05 FEET;
THENCE S 68°17' W, LEAVING SAID LINE, 103.05 FEET TO A POINT OF CURVE;
THENCE SOUTHWESTERLY AND TO THE LEFT, FOLLOWING A CURVE HAVING A RADIUS OF 246.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING S 35°09'50" W, 269.35 FEET) A DISTANCE ALONG THE ARC OF 265.07 FEET TO A POINT OF TANGENCY;
THENCE S 02°02'40" W, 927.59 FEET TO THE POINT OF BEGINNING.

GENERAL NOTES

- A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- B. PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3.7.2.
- C. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

KEYED NOTES

- 1. EXISTING COVERED BUS STOP.
- 2. EXISTING BIKE RACK TO REMAIN.
- 3. EXISTING PARKING TO REMAIN.
- 4. EXISTING ACCESSIBLE PARKING STALL TO REMAIN, TYPICAL.
- 5. PARKING ISLAND TO REMAIN.

EASEMENTS

- A. EXISTING 10' UTILITY EASEMENT (07/09, 1979, C15-44).
- B. SUBJECT TO EASEMENT OF RECORD RESERVED BY M.R.G.C.D. IN INSTRUMENT NO. 82-4297 (01/27/1982, BK. D-156-A, PGS. 724-725).

GRAPHIC LEGEND

--- PROPERTY LINE

PARKING CALCULATION

BUILDING AREA	EXISTING	AREA (GROSS SQUARE FEET)
EXISTING MAIN MASS AREA	189,210 SF	189,210 SF
EXISTING CORNER BUILDING	24,999 SF	24,999 SF
PROPOSED PAD	3,000 SF	1,052 SF
TOTAL		215,117 SF
PARKING REQUIREMENTS		REQUIRED
60,000-217,000 SF @ 1/300		524 SPACES
15,000-60,000 SF		180 SPACES
RESTAURANT = 5/1,000 SF		4 SPACES
TOTAL REQUIRED # PARKING SPACES		708 SPACES
LESS 15% (BUS STOP W/ SHELTER)		(-107 SPACES)
TOTAL # PARKING SPACES REQUIRED		601 SPACES
TOTAL # PARKING SPACES PROVIDED		835 SPACES

	REQUIRED	PROVIDED
ACCESSIBLE PARKING SPACE	16 SPACES	26 SPACES
BIKE PARKING SPACE (1 BIKE RACK PER 20 SPACES)	6 RACKS *	6 RACK *
* 5 BIKE SPACE PER 1 BIKE RACK		

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

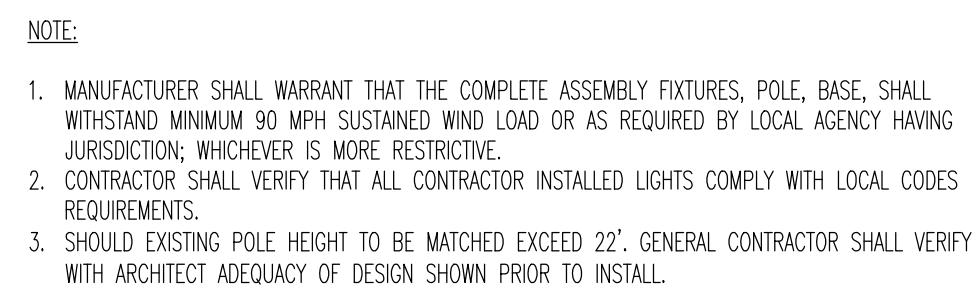
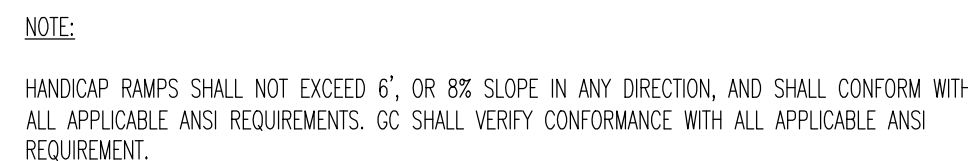
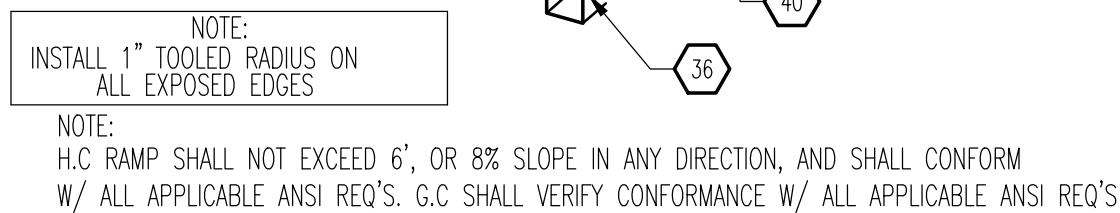
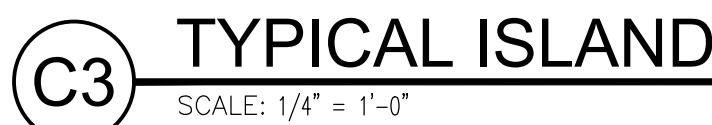
MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



STARBUCKS
4201 CENTRAL AVE. NW
ALBUQUERQUE, NEW MEXICO 87105

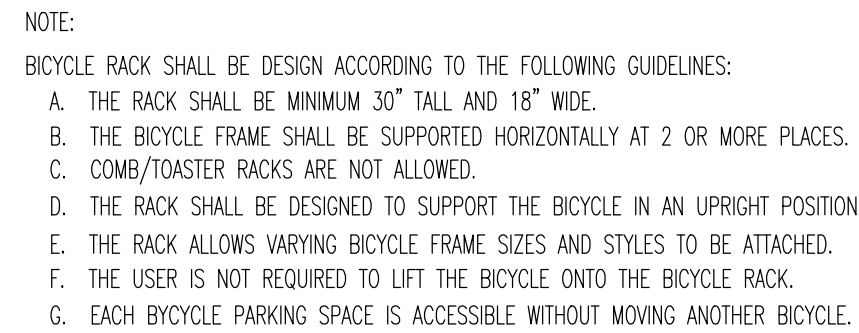
PROJECT TITLE: **STARBUCKS**
JOB NO.: **ABO**
DRAWN BY: **DIN**
PROJECT MANAGER: **DEVIN NGUYEN**
SHEET TITLE: **OVERALL SITE PLAN**

DATE: **16 FEB 2021**
SCALE: **AS NOTED**
SHEET: **AS101**



2. WHEEL ADA APPROVED TRUNCATED CONCRETE STRIP.
3. CURB AND GUTTER: SEE B1/A1.1.
4. CONCRETE SIDEWALK: SEE B3/A1.1.
5. CONCRETE EXPANSION JOINT: SEE B5/A1.1.
6. CONCRETE CONTROL JOINT: SEE B5/A1.1.
7. BROOM FINISH CONCRETE SURFACE AREA INSIDE OF TOOLED EDGE TO CREATE PICTURE FRAME EFFECT.
8. SMOOTH TOUND FINISH AROUND BROOMS, TYPICAL.
9. MONOLITHIC CONCRETE HANDICAP RAMP INTEGRALLY COLORED DAVIS COLORS #160 "BRICK RED"; SMOOTH TEXTURE FINISH WITH $\frac{3}{8}$ " DEEP x $\frac{1}{4}$ " WIDE GROOVES AT 2' OC.
10. CONCRETE FLUSH WITH PAVEMENT.
11. CURB, BEYOND.
12. 2% CROSS SLOPE, MAXIMUM.
13. RAMP, BEYOND.
14. RETAINING CURB.
15. SUBGRADE: COMPACTED AS SPECIFIED.
16. PAVEMENT AS SPECIFIED.
17. CONCRETE TURNDOWN CURB.
18. 4" THICK CONCRETE SIDEWALK.
19. SIDEWALK ELEVATIONS VARY - HOLD FLUSH WITH FINISHED FLOOR AT ENTRANCEWAYS. PLANTING AREAS MAY EXIST BETWEEN THE BUILDING AND THE BACK-OF-SIDEWALK (SEE SITE PLAN). EXPANSION JOINTS DO NOT APPLY TO SIDEWALK SECTION ADJACENT TO PLANTING AREAS.
20. $\frac{1}{2}$ " EXPANSION JOINT MATERIAL.
21. STABILIZED AGGREGATE BASE COARSE, AS SPECIFIED.
22. STRUCTURAL FOUNDATION SYSTEM: SEE STRUCTURAL FOUNDATION PLAN.
23. CONCRETE CURB AND GUTTER.
24. SQUARE, STRAIGHT, STEEL ANCHOR BASE POLE. POLE & BRACKETS SHALL BE FACTORY FINISHED, PAINTED SEMI GLOSS BLACK WRAP POLES FOR SHIPPING, PROVIDE 1 OT. MATCHING PAINT TO TOUCH ANY SCRATCHES ON POLES ON JOB. SEE LIGHT FIXTURE SCHEDULE FOR SPECIFICATIONS.
25. CONNECT GROUND ROD TO REINFORCING BARS.
26. (3) #3 TIES AT $\frac{1}{2}$ OC IN TOP 5'.
27. #6 BARS - GROUND WIRE.
28. CONDUIT AS INDICATED ON ELECTRICAL PLAN.
29. (6) #6 BARS VERTICAL.
30. 8" - Ø COPPER WELD GROUND ROD BY ELECTRICAL CONTRACTOR.
31. NON-SHRINK GROUT.
32. 2" CHAMFER.
33. FINISHED GRADE.
34. #3 TIES @ 12" OC.
35. #6 RETAINING CURB.
36. MONOLITHIC INTEGRALLY COLORED CONCRETE HANDICAP RAMP (4,000 PSI); PROVIDE ARCHITECT WITH SAMPLE COLOR FOR APPROVAL.
37. PROVIDE $\frac{3}{8}$ " DEEP BY $\frac{1}{4}$ " WIDE GROOVES @ 2' OC. EXTEND THE PULL WIDTH AND DEPTH OF THE RAMP.
38. 6" STANDUP CURB OR CURB AND GUTTER AS APPLICABLE (SEE SITE PLAN).
39. PROVIDE ADA APPROVED TRUNCATED STRIP AT 2' WIDTH.
40. EXPANSION JOINT.
41. WIDTH VARIES (6" MINIMUM): SEE SITE PLAN.
42. PROVIDE A 5' OF LAND AT TOP OF RAMP FOR CHANGE IN DIRECTION.
43. (4) 2" THICK: SEE SITE PLAN (MINIMUM 5' WIDTH).
44. HANDICAP PARKING SIGNAGE: SEE B4/1.2.
45. EXISTING PUBLIC SIDEWALK TO REMAIN.
46. 6" HIGH CONCRETE CURB.
47. CONCRETE LANDING.

PROJECT TITLE		JOB NO.		DRAWN BY:	
STARBUCKS		460		DTN	
4201 CENTRAL AVE. NW		PROJECT MANAGER		SHEET TITLE	
ALBUQUERQUE, NEW MEXICO 87105		DEVIN NGUYEN		SITE DETAILS	
DATE:		sheet:			
16 FEB 2021		A1.1			
SCALE:		of:			
AS NOTED					

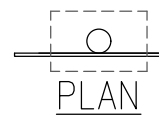


SCALE: $1/2" = 1'-0"$



SCALE: $\frac{3}{4}" = 1'-0"$

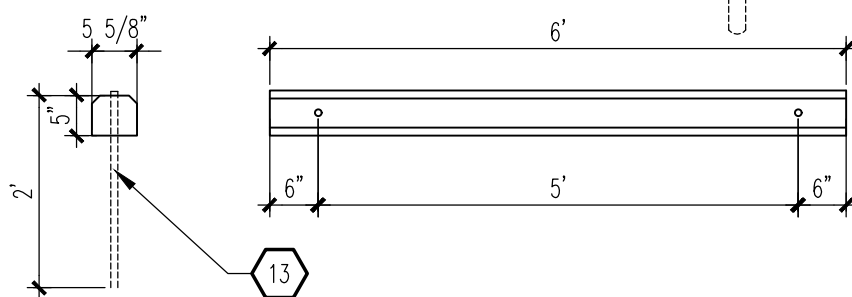
NOTE:



SCALE: $\frac{3}{4}" = 1'-0"$

SCALE: $3/4" = 1'-0"$

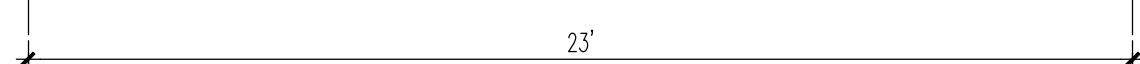
NOTE:



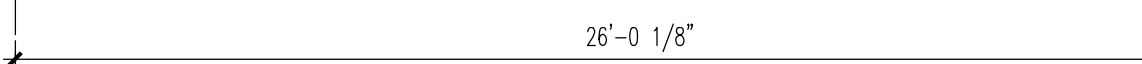
SCALE: $\frac{3}{4}" = 1'-0"$



SCALE: $3/4" = 1'-0"$



(A1) — HC PAR
SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: $\frac{3}{4}" = 1'-0"$


A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

1. PAINT BLUE.
2. PAINT WHITE.
3. 12" HIGH BY 4" WIDE "NO PARKING" MARKING - WHITE PAINT.
4. HANDICAP PAVEMENT MARKING: SEE A5/A1.2.
5. FLEARED RAMP: SEE A3/A1.1.
6. WHEEL STOP: SEE B5/1.2.
7. WALKWAY PAVEMENT MARKING: SEE C5/A1.2.
8. HANDICAP STOP SIGNAGE: SEE B4/A1.2.
9. TOP OF REINFORCING BAR FLUSH WITH TOP OF CONCRETE.
10. 3/8" DIAMETER HOLE.
11. (2) #4 BARS CONTINUOUS.
12. 3/4" REINFORCING BAR EMBEDDED 24" INTO SUBGRADE.
13. #5 REINFORCING BAR.
14. NOT USED.
15. 3,500 PSI CONCRETE FOUNDATION.
16. FINISHED SURFACE.
17. BITUMINOUS JOINT FILLER (CONCRETE PAVEMENT ONLY).
18. 6" DIAMETER STEEL PIPE FILLED WITH CONCRETE.
19. ROUND CONCRETE TOP.
20. PAINT SAFETY YELLOW.
21. 2" OD GALVANIZED STEEL SIGN POST.
22. "VAN ACCESSIBLE" SIGN WHERE INDICATED ON SITE PLAN.
23. JET SET RATE WITH CONTINUOUS WELD ALONG INTERSECTION OF PIPE POST AND PLATE.
24. CONCRETE FOUNDATION.
25. PRIME AND PAINT STEEL MEMBER FLAT BLACK.
26. 2 3/8" STANDARD DUTY PIPE CENTER SUPPORT.
27. ADA APPROVED TRUNCATED CONE STRIP.

REV	DATE	BY	REVISION
6			
2			
4			
3			
4			

MODULUS ARCHITECTS

100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



STATE OF NEW MEXICO
STEPHAN A. DUNBAR
REGISTERED ARCHITECT OF NEW MEXICO
No. 4218
12 JULY 2021

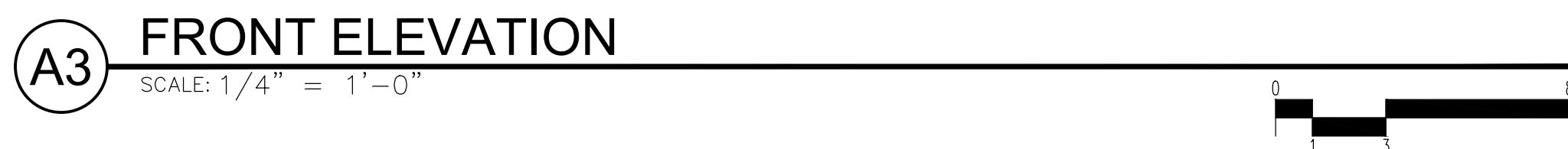
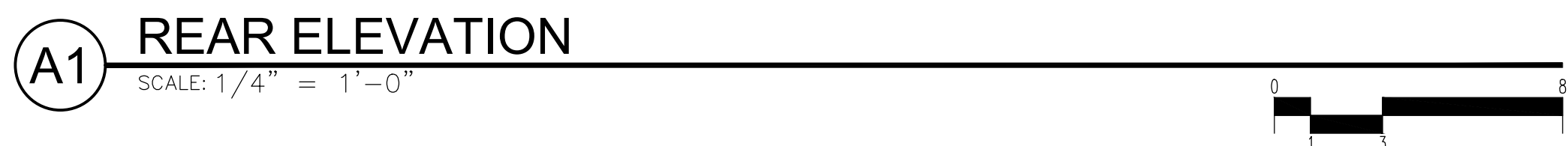
PROJECT TITLE	STARBUCKS 4201 CENTRAL AVE. NW ALBUQUERQUE, NEW MEXICO 87105
PROJECT MANAGER	DEWIN NGUYEN
JOB NO.	400
DRAWN BY:	DTN

SHEET TITLE	SITE DETAILS
-------------	--------------

DATE:	16 FEB 2021
SCALE:	A1.2
AS NOTED	



DATE: 13 AUG 2020	sheet- LS101
SCALE: AS NOTED	of-

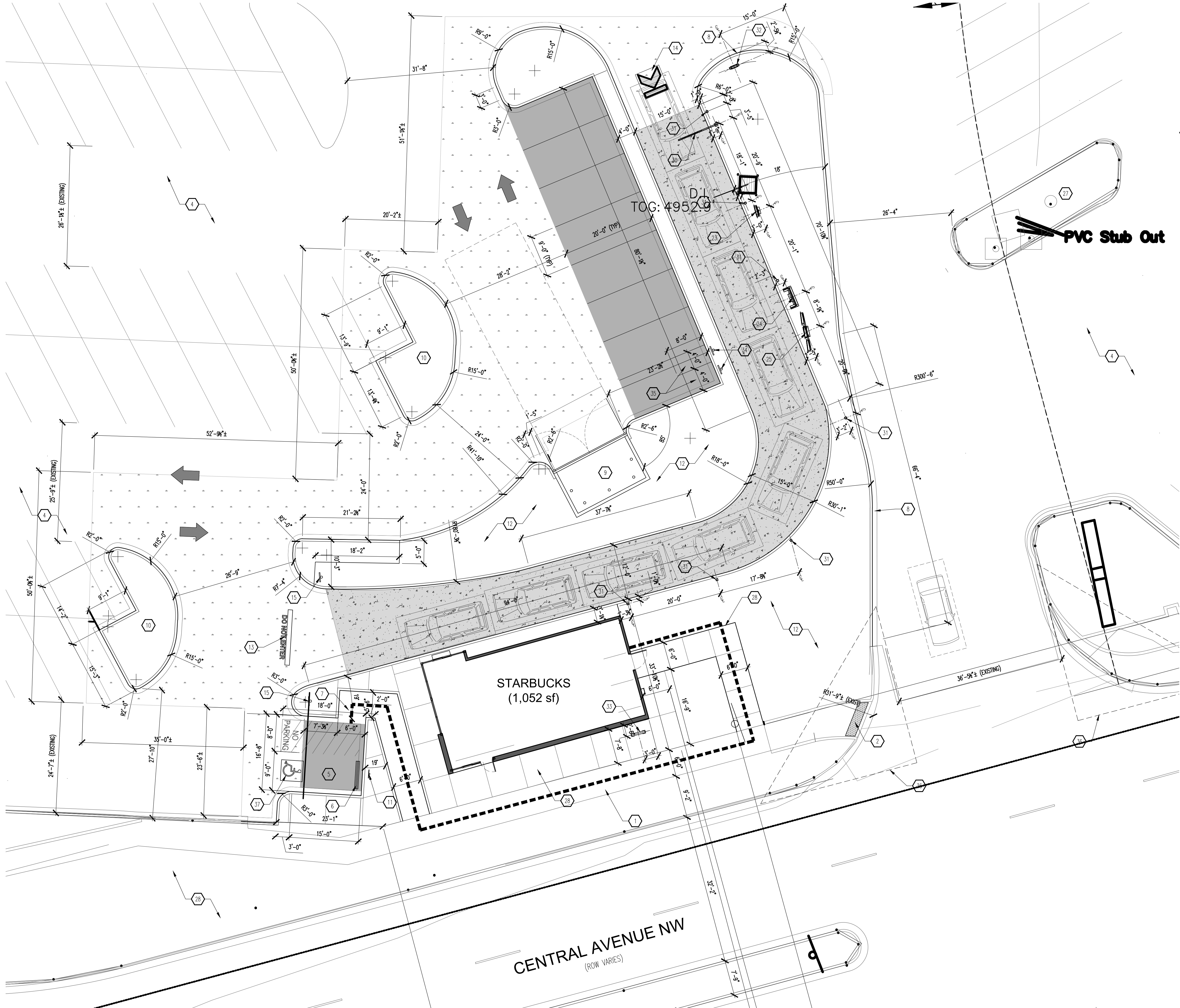


STUCCO-1	2-COAT STUCCO SYSTEM COLOR = SHERWIN WILLIAMS SW#7636 ORIGAMI WHITE
STUCCO-2	2-COAT STUCCO SYSTEM COLOR = SHERWIN WILLIAMS SW#7605 GALE FORCE
PAINT-1	PAINt FINISH COLOR = SHERWIN WILLIAMS SW#2936 BLACK EMERALD
PAINT-2	PAINt FINISH COLOR = SHERWIN WILLIAMS SW#6882 DAREDEVIL
PAINT-3	PAINt FINISH COLOR = SHERWIN WILLIAMS SW#7636 ORIGAMI WHITE
WOOD-1	WOOD VENEER LONGBOARD PRODUCTS - LIGHT CHERRY.
GLAZ-1	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LOW-E COLOR: ANODIZED BRONZE
SHADE-1	STEEL SHADE STRUCTURE COLOR: SHERWIN WILLIAMS SW#6006 BLACK BEAN

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			



PROJECT TITLE STARBUCKS 4201 CENTRAL AVE. NW ALBUQUERQUE, NEW MEXICO 87105		JOB NO. 490		DRAWN BY: DYN	
PROJECT MANAGER DEWIN NGUYEN		SHEET TITLE EXTERIOR ELEVATIONS			
DATE 16 FEB 2021		sheet- A201			
SCALE AS NOTED		et-			



A2 ENLARGED SITE PLAN
SCALE: 1:20

GENERAL NOTES

- A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- B. PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3.7.2.
- C. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

KEYED NOTES

- 1. EXISTING SIDEWALK TO REMAIN.
- 2. INSTALL A 2'-0" WIDE TRUNCATED DOME STRIP.
- 3. EXISTING CURB AND GUTTER TO REMAIN.
- 4. EXISTING ASPHALT TO REMAIN.
- 5. ACCESSIBLE PARKING: SEE A1&A3/A1.2.
- 6. WHEEL STOP: SEE B5/A1.2.
- 7. CURBED RAMP: SEE A6/A1.2.
- 8. CURB & GUTTER: SEE B1/A1.1.
- 9. AREA OF REFUSE: SEE D2/A1.3.
- 10. PARKING ISLAND.
- 11. HANDICAP PARKING SIGNAGE: SEE B4/A1.2.
- 12. LANDSCAPING: SEE LANDSCAPE PLAN ON SHEET LS101.
- 13. 'DO NOT ENTER' PAVEMENT MARKING: SEE A1/A1.3.
- 14. 'DRIVE-THRU' PAVEMENT MARKING: SEE B1/A1.3.
- 15. 'DO NOT ENTER' SIGNAGE: SEE B3/A1.2.
- 16. 10" COMPACTED SUBGRADE @ 95%.
- 17. 2" ASPHALT CONCRETE PAVEMENT.
- 18. 4" BASE COURSE.
- 19. 6" BASE COURSE.
- 20. 3" ASPHALT CONCRETE PAVEMENT.
- 21. CLEARANCE BAR: SEE B3/A601.
- 22. SPEAKER POST: SEE B1/A601.
- 23. DRIVE-THRU PRE-MENU BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE C1/A501.
- 24. ORDER STATION BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE A3/A501.
- 25. DRIVE-THRU MENU BOARD UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE A4/A501.
- 26. DRIVE-THRU ARROW SIGN: SEE B2/A601.
- 27. EXISTING PARKING ISLAND TO REMAIN.
- 28. NEW SIDEWALK: SEE B3/A1.1.
- 29. EXISTING LANDSCAPE TO REMAIN (INC).
- 30. CLEARANCE HEIGHT BAR BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE FOUNDATION - SEE B3/A501.
- 31. NON-ILLUMINATED BOLLARD BY TENANT: CONTRACTOR TO PROVIDE CONCRETE FOUNDATION - SEE B1/A501.
- 32. DRIVE-THRU ARROW SIGNAGE BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE B2/A501.
- 33. BIKE RACK: SEE B1/A1.2.
- 34. MOTOR CYCLE PARKING SIGN: SEE B2/A1.2.
- 35. MOTOR CYCLE PARKING.
- 36. DASHED LINE INDICATES CLEAR SIGHT TRIANGLE. NOTE: CLEAR SITE AREA SHALL BE FREE OF SIGNS, WALLS, TRESS, AND SHRUBS BETWEEN 3' AND 8' AS MEASURED VERTICALLY FROM ADJACENT GUTTER PAN.
- 37. ADA PAVEMENT MARKING: SEE A5/A1.2.

GRAPHIC LEGEND

- HEAVY DUTY ASPHALT: SEE A3/A1.3.
- LIGHT DUTY ASPHALT: SEE A5/A1.3.
- 6" THICK NORMAL WEIGHT REINFORCED CONCRETE PAVING.

6'-0" WIDE ADA PATHWAY TO/FROM BUILDING TO ADA PARKING SPACE.

REV	DATE	BY	REVISION
1	10 OCT 2021	DTN	COA COMMENTS

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
REGISTERED ARCHITECT
STEPHEN A. DUNBAR
No. 4218
12 JULY 2021

PROJECT TITLE
STARBUCKS
4201 CENTRAL AVE NW
ALBUQUERQUE, NEW MEXICO 87105
PROJECT MANAGER
DEVIN NGUYEN

DRAWN BY:
DTN

JOB NO.
ABO

SHEET TITLE
ENLARGED SITE PLAN

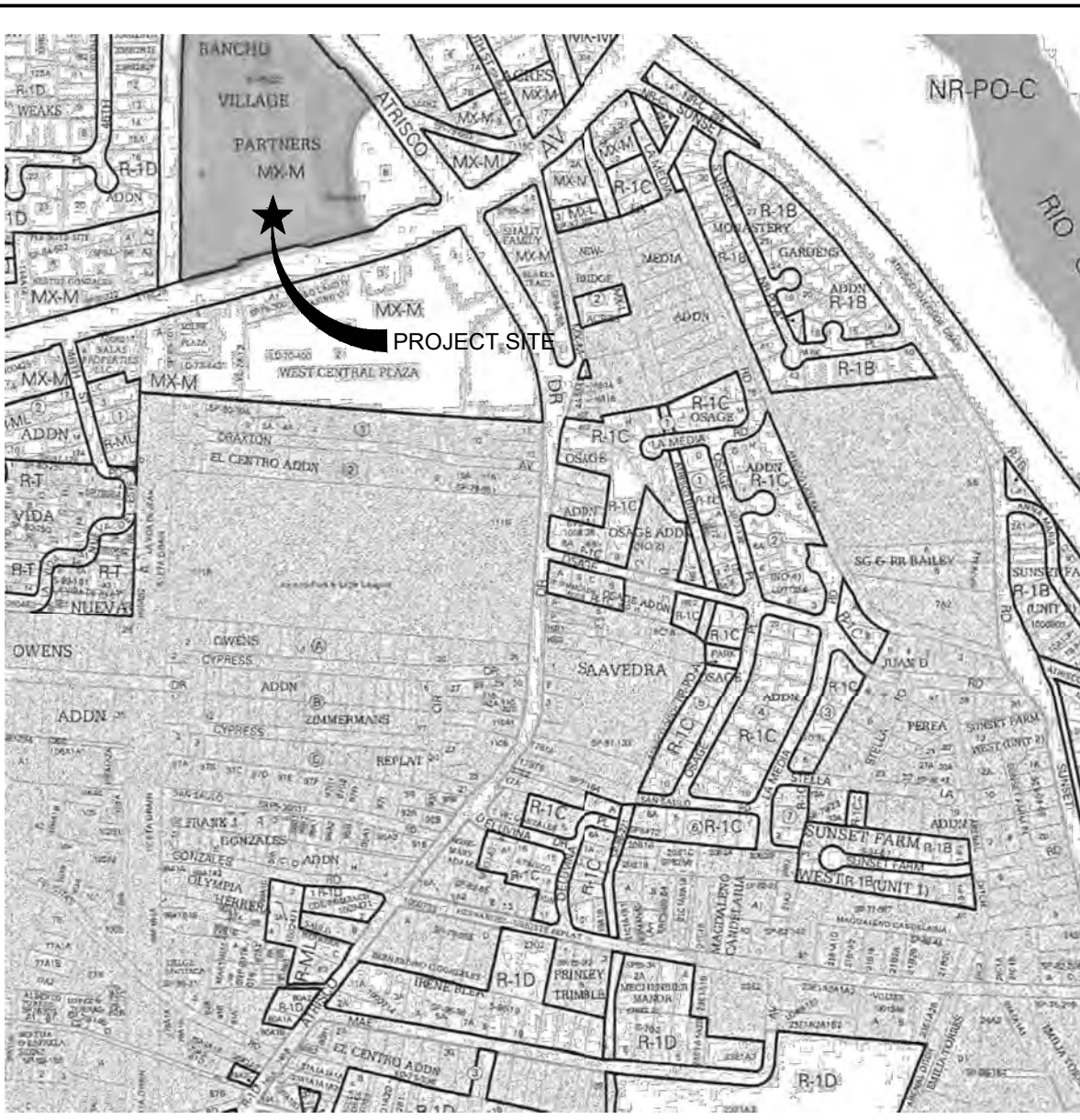
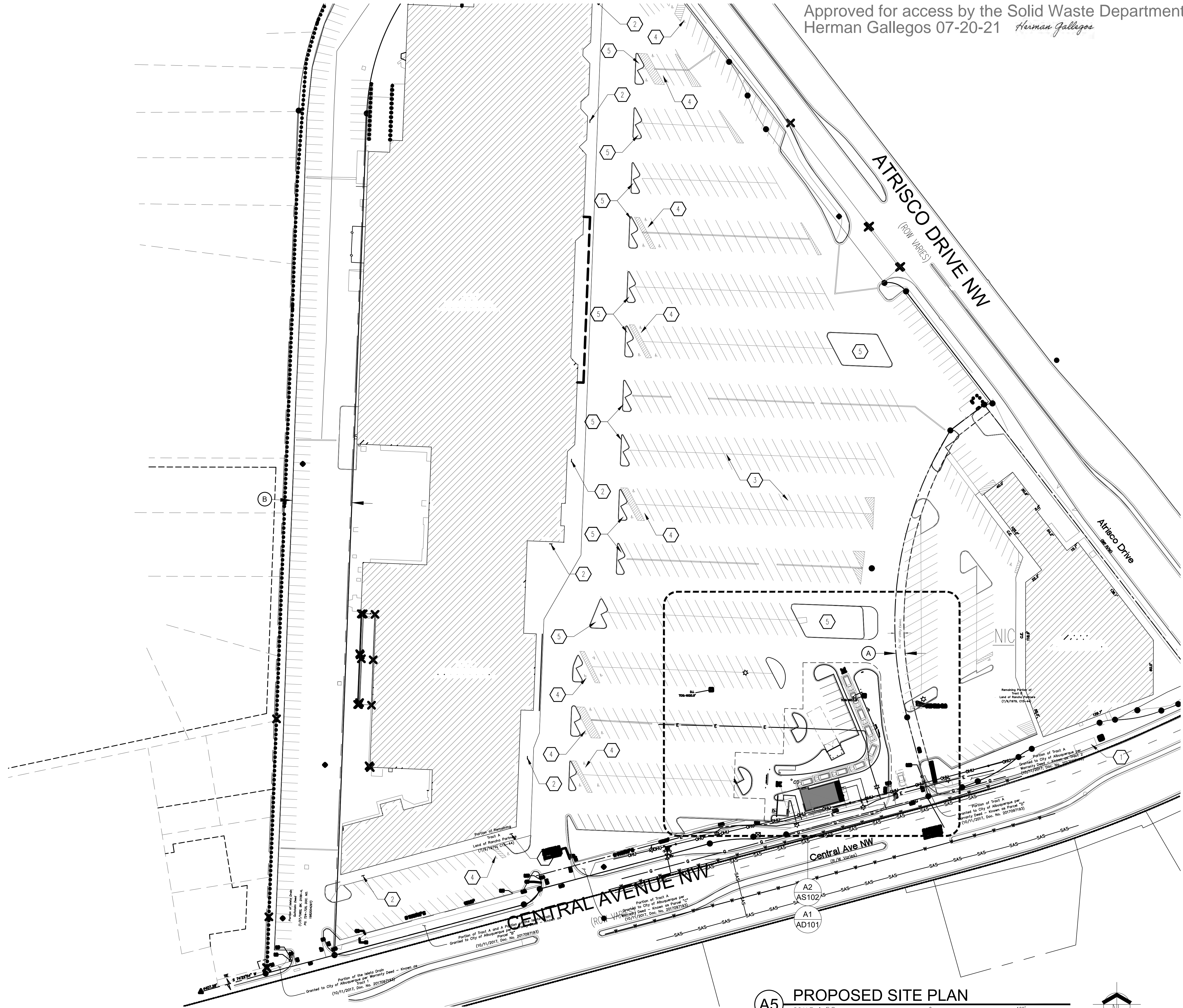
DATE:
16 FEB 2021

SCALE:
AS NOTED

sheet:
AS102

of:

Approved for access by the Solid Waste Department
Herman Gallegos 07-20-21 *Herman Gallegos*



VICINITY MAP

Zone Atlas Map K-12-Z

LEGAL DESCRIPTION: TRACTS LETTERED "A" AND "B", A DIVISION OF LAND OF RANCHO VILLAGE PARTNERS, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 9, 1979, IN PLAT BOOK C15, FOLIO 44, TOGETHER WITH THE ADJACENT LAND AREA FORMERLY KNOWN AS A PORTION OF THE ISLETA DRAIN, MORE PARTICULARLY DESCRIBED BY SURVEY OF ELDER COMPANY IN NOVEMBER, 1979, AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER, WHICH IS THE SOUTHWEST CORNER OF THE LAND OF RANCHO VILLAGE PARTNERS ABOVE MENTIONED AND RUNNING:
THENCE S 74°52'10" W, ALONG THE NORTHERLY LINE OF CENTRAL AVENUE WEST, 78.50 FEET TO THE SOUTHWEST CORNER;
THENCE N 02°02'40" E, ALONG THE WESTERLY LINE OF THE FORMER RIGHT-OF-WAY OF THE ISLETA DRAIN, 950.77 FEET TO A POINT OF CURVE;
THENCE NORTHEASTERLY AND TO THE RIGHT, FOLLOWING A CURVE IN SAID FORMER RIGHT-OF-WAY HAVING A RADIUS OF 321.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING 35°09'50" E, 351.30 FEET) A DISTANCE ALONG THE ARC 371.66 FEET TO A POINT OF TANGENCY;
THENCE N 68°11' E, 81.46 FEET TO THE NORTHERMOST CORNER, A POINT ON THE WESTERLY LINE OF ATRISCO DRIVE SW;
THENCE S 37°46'30" E, ALONG SAID ATRISCO DRIVE LINE, 78.05 FEET;
THENCE S 68°11' W, LEAVING SAID LINE, 103.05 FEET TO A POINT OF CURVE;
THENCE SOUTHWESTERLY AND TO THE LEFT, FOLLOWING A CURVE HAVING A RADIUS OF 246.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING S 35°09'50" W, 269.35 FEET) A DISTANCE ALONG THE ARC OF 265.07 FEET TO A POINT OF TANGENCY;
THENCE S 02°02'40" W, 927.59 FEET TO THE POINT OF BEGINNING.

GENERAL NOTES

A. 10" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
B. PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #7.2.
C. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

KEYED NOTES

1. EXISTING COVERED BUS STOP.
2. EXISTING BIKE RACK TO REMAIN.
3. EXISTING PARKING TO REMAIN.
4. EXISTING ACCESSIBLE PARKING STALL TO REMAIN, TYPICAL.
5. PARKING ISLAND TO REMAIN.

EASEMENTS

A. EXISTING 10' UTILITY EASEMENT (07/09, 1979, C15-44).
B. SUBJECT TO EASEMENT OF RECORD RESERVED BY M.R.G.C.D. IN INSTRUMENT NO. 82-4297 (01/27/1982, BK. D-156-A, PGS. 724-725).

GRAPHIC LEGEND

--- PROPERTY LINE

PARKING CALCULATION		
BUILDING AREA	EXISTING	AREA (GROSS SQUARE FEET)
EXISTING MAIN MASS AREA	189,210 SF	189,210 SF
EXISTING CORNER BUILDING	24,999 SF	24,999 SF
PROPOSED PAD	3,000 SF	1,052 SF
TOTAL		215,117 SF
PARKING REQUIREMENTS		REQUIRED
60,000-217,000 SF @ 1/300		524 SPACES
15,000-60,000 SF		180 SPACES
RESTAURANT = 5/1,000 SF		4 SPACES
TOTAL REQUIRED # PARKING SPACES		708 SPACES
LESS 15% (BUS STOP w/ SHELTER)		(-107 SPACES)
TOTAL # PARKING SPACES REQUIRED		601 SPACES
TOTAL # PARKING SPACES PROVIDED		835 SPACES
ACCESSIBLE PARKING SPACE		REQUIRED PROVIDED
BIKE PARKING SPACE (1 BIKE RACK PER 20 SPACES)		16 SPACES 26 SPACES
		6 RACKS * 6 RACK *
* 5 BIKE SPACE PER 1 BIKE RACK		

REVISION

BY

DATE

REV

DATE

BY

DATE

REV

DATE

BY

DATE

MODULUS ARCHITECTS

100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
STEPHEN A. DUNBAR
No. 4218
REGISTERED ARCHITECT
12 JULY 2021

PROJECT TITLE
STARBUCKS
4201 CENTRAL AVE. NW
ALBUQUERQUE, NEW MEXICO 87105

DRAWN BY:
DIN

JOB NO.
ABO

PROJECT MANAGER
DEVIN NGUYEN

SHEET TITLE
OVERALL SITE PLAN

DATE:
16 FEB 2021

SCALE:
AS NOTED

sheet:
AS101

of:



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: Drive Through QSR

Building Permit #: _____ Hydrology File #: _____

Zone Atlas Page: K-12-Z DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT A A DIVISION OF LAND OF RANCHO VILLAGE PARTNERS CONT 13.1683 AC

Development Street Address: 4201 CENTRAL AVE NW ALBUQUERQUE 87105 1630

Applicant: Modulus Architects Contact: Regina Okoye

Address: 100 Sun Ave Suite 600, Albuquerque NM 87109

Phone#: 505-338-1499 Fax#: _____

E-mail: rokoye@modulusarchitects.com

Development Information

Build out/Implementation Year: 2020 Current/Proposed Zoning: MX-M

Project Type: New: ☒ Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()

Proposed Use (mark all that apply): Residential: () Office: () Retail: () Mixed-Use: () **Restaurant**

Describe development and Uses:

Develop pad site from an existing Site Plan for Subdivision approved by the EPC to construct a 908 sq. ft. Drive Through QSR.

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): 908 sq. ft.

Number of Residential Units: N/A

Number of Commercial Units: 1

Traffic Considerations

ITE Trip Generation Land Use Code #937 Coffee/Donut Shop with Drive-Through Window

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* AM 80 vph, PM 40 vph

Driveway(s) Located on: Street Name Central Ave W, Atrisco Dr W

Adjacent Roadway(s) Posted Speed: Street Name Central Ave W Posted Speed 35 MPH
Street Name Atrisco Dr W Posted Speed 35 MPH

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Atrisco Dr W - Urban Major Collector
Central Ave W - Urban Principal Arterial
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: Activity Center
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 21300 (2018) Volume-to-Capacity Ratio (v/c): 0.75-1.0
(if applicable)

Adjacent Transit Service(s): Bus Route 66, 766, 92, 94 Nearest Transit Stop(s): Rapid Ride 766 Stop, Bus Route 66, 766

Is site within 660 feet of Premium Transit?: Yes

Current/Proposed Bicycle Infrastructure: Bike lanes on Central
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Has sidewalks

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [☐] No [☒]

Thresholds Met? Yes [☐] No [☒]

Mitigating Reasons for Not Requiring TIS: Previously Studied: [☐]

Notes:

 M. P. E.

918/2020

TRAFFIC ENGINEER

DATE

.....

Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer mgrush@cabq.gov. Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) (*check MRCOG Bikeways and Trails in the 2040 MTP map*)
4. Location of nearby multi-use trails, if applicable (*check MRCOG Bikeways and Trails in the 2040 MTP map*)
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.