

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 6, 2022

Stephen Dunbar, RA
Modulus Architect
100 Sun Ave. Suite 600
Albuquerque, NM 87109

Re: Starbucks
4201 Central Ave. NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 01-06-22 (K12-D005A)
Certification dated 11-28-22

Dear Mr. Dunbar,

Based upon the information provided in your submittal received 12-02-22, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please remove construction equipment and debris from site.
- Tripping hazard (key note 2): please fix the installation of the Truncated Domes at the City Right of Way ramp for a smooth transition.
- All disturbed area must be stabilized, prior to final CO.

Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Starbucks **Building Permit #** _____ **Hydrology File #** _____
DRB# _____ **EPC#** _____
Legal Description: _____ **City Address OR Parcel** 4201 Cental Ave. N.W

Applicant/Agent: Modulus Architects **Contact:** Stephen Dunbar
Address: 100 Sun Ave. Ste 600 **Phone:** 505-417-4164
Email: sdunbar@modulusarchitects.com

Applicant/Owner: _____ **Contact:** _____
Address: _____ **Phone:** _____
Email: _____

TYPE OF DEVELOPMENT: ___ PLAT (#of lots) ___ RESIDENCE ___ DRB SITE ___ ADMIN SITE: ___ x ___
RE-SUBMITTAL: ___ YES ___ x ___ NO

DEPARTMENT: ___ x ___ TRANSPORTATION ___ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____

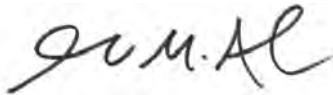
ADMINISTRATIVE AMENDMENT

FILE #: SI-2021-00084

PROJECT #: PR-2021-004972

Addition of 918 sq ft restaurant/coffee shop with drive through on existing pad site;

Addition of (3) required parking spaces and (1) ADA parking space; Provision of
required landscaping.

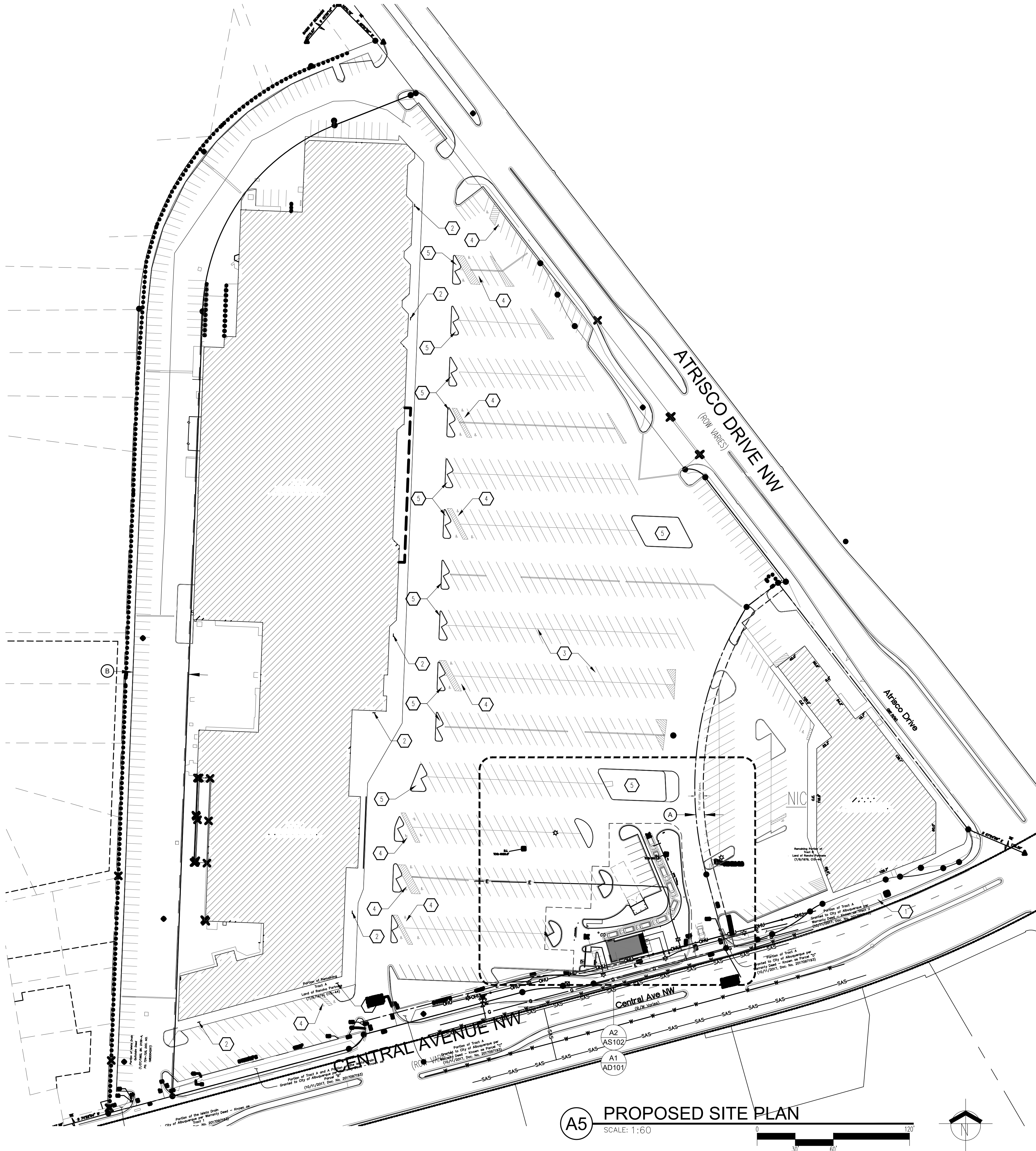


Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of Albuquerque,
ou=Planning Department, email=jmaranda@cabq.gov, c=US
Date: 2022.01.06 09:53:55 -07'00'

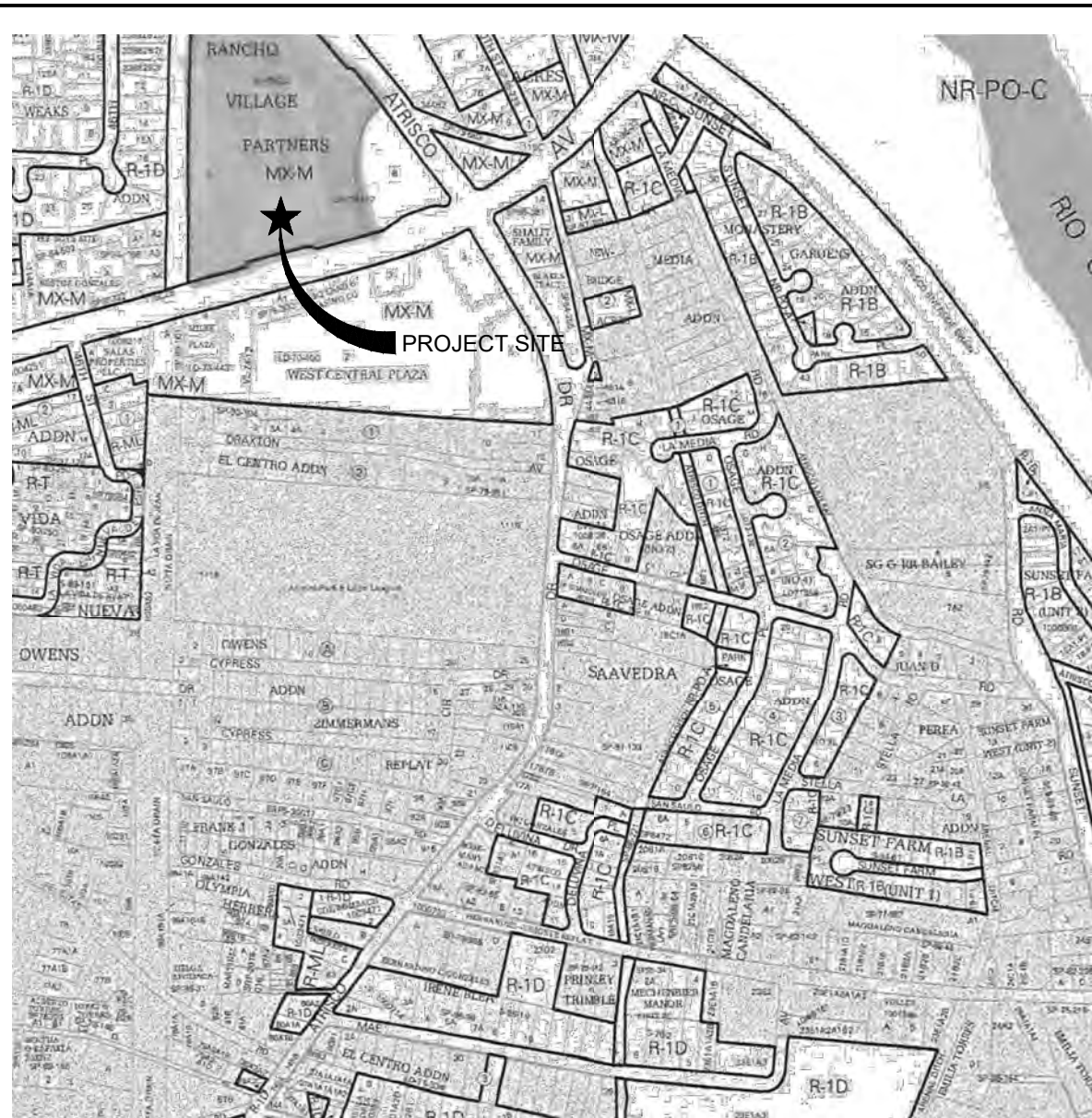
1/6/2022

APPROVED BY

DATE



A5 PROPOSED SITE PLAN
SCALE: 1"=60'



VICINITY MAP
Zone Atlas Map K-12-Z

LEGAL DESCRIPTION: TRACTS LETTERED "A" AND "B", A DIVISION OF LAND OF RANCHO VILLAGE PARTNERS, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 9, 1979, IN PLAT BOOK C15, FOLIO 44, TOGETHER WITH THE ADJACENT LAND AREA FORMERLY KNOWN AS A PORTION OF THE ISLETA DRAIN, MORE PARTICULARLY DESCRIBED BY SURVEY OF ELDER COMPANY IN NOVEMBER, 1979, AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER, WHICH IS THE SOUTHWEST CORNER OF THE LAND OF RANCHO VILLAGE PARTNERS ABOVE MENTIONED AND RUNNING:
THENCE S 74°52'10" W, ALONG THE NORTHERLY LINE OF CENTRAL AVENUE WEST, 78.50 FEET TO THE SOUTHWEST CORNER;
THENCE N 02°02'40" E, ALONG THE WESTERLY LINE OF THE FORMER RIGHT-OF-WAY OF THE ISLETA DRAIN, 950.77 FEET TO A POINT OF CURVE;
THENCE NORTHEASTERLY AND TO THE RIGHT, FOLLOWING A CURVE IN SAID FORMER RIGHT-OF-WAY HAVING A RADIUS OF 321.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING 35°09'50" E, 351.30 FEET) A DISTANCE ALONG THE ARC 371.66 FEET TO A POINT OF TANGENCY;
THENCE N 68°17' E, 81.46 FEET TO THE NORTHERMOST CORNER, A POINT ON THE WESTERLY LINE OF ATRISCO DRIVE SW;
THENCE S 37°46'30" E, ALONG SAID ATRISCO DRIVE LINE, 78.05 FEET;
THENCE S 68°17' W, LEAVING SAID LINE, 103.05 FEET TO A POINT OF CURVE;
THENCE SOUTHWESTERLY AND TO THE LEFT, FOLLOWING A CURVE HAVING A RADIUS OF 246.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING S 35°09'50" W, 269.35 FEET) A DISTANCE ALONG THE ARC OF 265.07 FEET TO A POINT OF TANGENCY;
THENCE S 02°02'40" W, 927.59 FEET TO THE POINT OF BEGINNING.

GENERAL NOTES

A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
B. PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3.7.2.
C. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

KEYED NOTES

1. EXISTING COVERED BUS STOP.
2. EXISTING BIKE RACK TO REMAIN.
3. EXISTING PARKING TO REMAIN.
4. EXISTING ACCESSIBLE PARKING STALL TO REMAIN, TYPICAL.
5. PARKING ISLAND TO REMAIN.

EASEMENTS

A. EXISTING 10' UTILITY EASEMENT (07/09, 1979, C15-44).
B. SUBJECT TO EASEMENT OF RECORD RESERVED BY M.R.G.C.D. IN INSTRUMENT NO. 82-4297 (01/27/1982, BK. D-156-A, PGS. 724-725).

GRAPHIC LEGEND

--- PROPERTY LINE

PARKING CALCULATION		
BUILDING AREA	EXISTING	AREA (GROSS SQUARE FEET)
EXISTING MAIN MASS AREA	189,210 SF	189,210 SF
EXISTING CORNER BUILDING	24,999 SF	24,999 SF
PROPOSED PAD	3,000 SF	1,052 SF
TOTAL		215,117 SF
PARKING REQUIREMENTS		REQUIRED
60,000-217,000 SF @ 1/300		524 SPACES
15,000-60,000 SF		180 SPACES
RESTAURANT = 5/1,000 SF		4 SPACES
TOTAL REQUIRED # PARKING SPACES		708 SPACES
LESS 15% (BUS STOP W/ SHELTER)		(-107 SPACES)
TOTAL # PARKING SPACES REQUIRED		601 SPACES
TOTAL # PARKING SPACES PROVIDED		835 SPACES

	REQUIRED	PROVIDED
ACCESSIBLE PARKING SPACE	16 SPACES	26 SPACES
BIKE PARKING SPACE (1 BIKE RACK PER 20 SPACES)	6 RACKS *	6 RACK *
* 5 BIKE SPACE PER 1 BIKE RACK		

REVISION

BY

DATE

REV

MODULUS ARCHITECTS

100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO

STEPHEN A. DUNBAR

No. 4218

REGISTERED ARCHITECT

12 JULY 2021

PROJECT TITLE

STARBUCKS

4201 CENTRAL AVE. NW

ALBUQUERQUE, NEW MEXICO 87105

PROJECT MANAGER

DEVIN NGUYEN

DRAWN BY

DIN

SHEET TITLE

OVERALL SITE PLAN

DATE

16 FEB 2021

SCALE

AS NOTED

sheet-

AS101

of



Planning Department – Transportation & Hydrology

City of Albuquerque
600 2nd Street NW, Suite 201
Albuquerque, NM 87102
925.965.4475

November 28, 2022

RE: Traffic Certification for Starbucks Coffee at 4201 Central Ave. NW

To whom it may concern,

I, Stephen Dunbar, NMRA #4218, of the firm Modulus Architects, hereby certify that the above referenced project is in substantial compliance and in accordance with the design intent of the Architectural Site Plan, dated 2-16-21. I further certify that I, personally visited the site on 11-17-22 and have determined by visual inspection that the improvements installed to date are representative of actual site conditions with minor modification and is true and correct to the best of his knowledge and belief. This certification is submitted in support of a request for a permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

Stephen A. Dunbar

Stephen Dunbar, AIA

Principal in Charge

Modulus Architects, Inc.

110 Sun Avenue NE, Suite 600

Albuquerque, NM 87109

(O) 505.338.1499, Ext. 1001