

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

July 15, 2021

Jeffrey T. Wooten, P.E.
Wooten Engineering
PO Box 15814
Rio Rancho, NM 87174

RE: Starbucks
4201 Central Ave. NW
Revised Grading and Drainage Plan
Engineer's Stamp Date: 07/12/21
Hydrology File: K12D005

Dear Mr. Wooten:

PO Box 1293

Based upon the information provided in your submittal received 07/08/2021, the Revised Grading and Drainage Plan is approved for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

Please provide Drainage Covenant for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit an electronic file of the Covenant and Exhibit for completeness to Marion G. Velasquez at mgvelasquez@cabq.gov.

Once the electronic file is approved for completeness, please submit the original copies along with the **\$ 25.00** recording fee check made payable to **Bernalillo County** to Marion on the 4th floor of Plaza de Sol. Please note that **Hydrology will need a pdf copy of the recorded Drainage Covenant prior to Hydrology's approval of Permanent Release of Occupancy.**

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

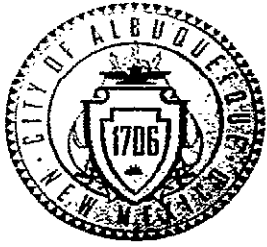
Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

Project Title: Starbucks Building Permit #: _____ Hydrology File #: K12-D005
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract A, Land of Rancho Village Partners
City Address: 4201 Central Ave NW

Applicant: Wooten Engineering Contact: Jeffrey T. Wooten, P.E.
Address: PO Box 15814, Rio Rancho, NM 87174
Phone#: 505-980-3560 Fax#: N/A E-mail: jeffwooten.pe@gmail.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

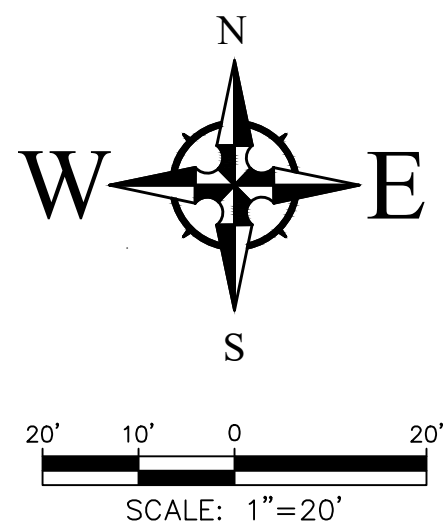
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: July 8, 2021 By: Jeffrey T. Wooten, P.E.

COA STAFF:

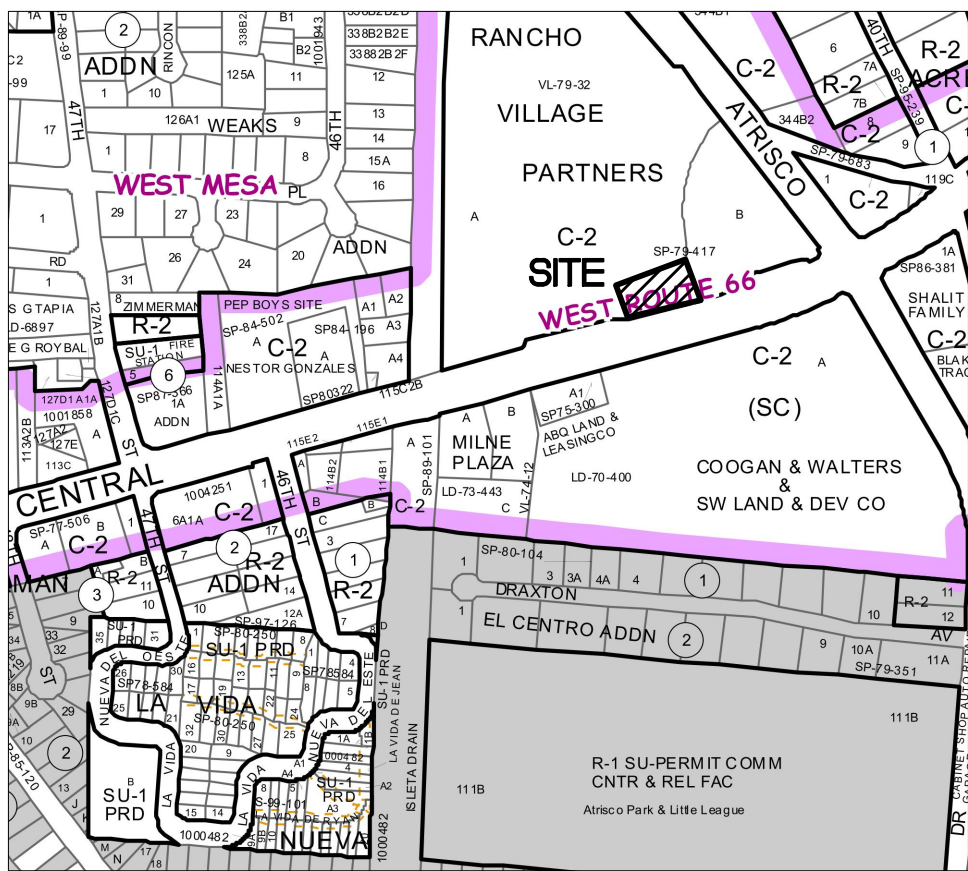
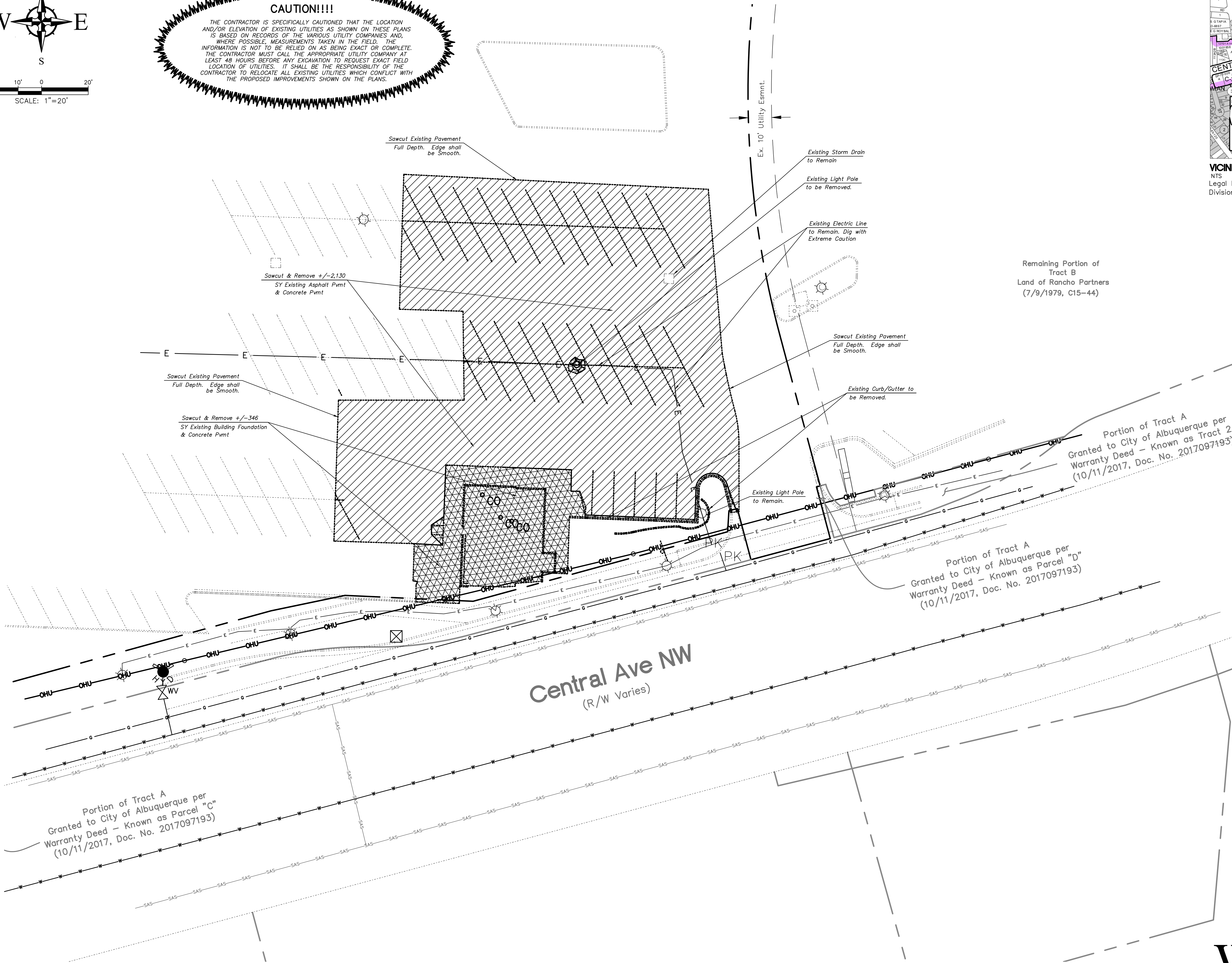
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



CAUTION!!!!

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



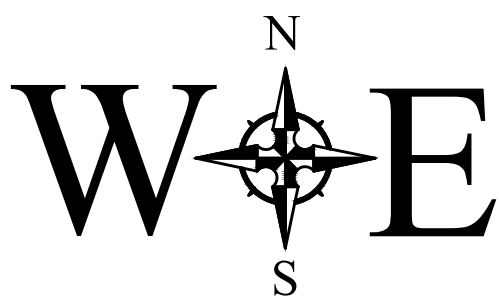
VICINITY MAP - Zone Atlas Page K-12-Z
NTS
Legal Description: A Portion of Tract A of the Plat A & B, a Division of Land of Rancho Village Partners, Albuquerque, NM.

REV	DATE	BY	REVISION
1	02/10/2021	ROLAND GATTI	ISSUED FOR PERMIT
2	02/10/2021	ROLAND GATTI	REVISED
3	02/10/2021	ROLAND GATTI	REVISED
4	02/10/2021	ROLAND GATTI	REVISED
5	02/10/2021	ROLAND GATTI	REVISED

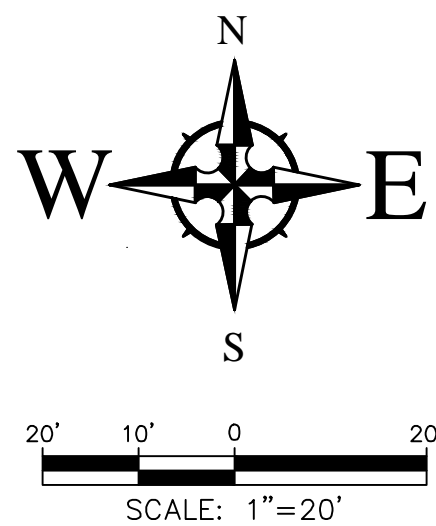
MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

JEFFREY TODD WOOTEN
NEW MEXICO
16892
PROFESSIONAL ENGINEER
7/12/2021

PROJECT TITLE STARBUCKS CENTRAL AVE NW ALBUQUERQUE, NEW MEXICO 87105	DRAWN BY: ROLAND GATTI
PROJECT MANAGER JEFF WOOTEN	JOB NO. 2020026
SHEET TITLE Demolition Plan	
DATE: 02/10/2021	Sheet: C1.1
SCALE: AS NOTED	of: 3



Wooten Engineering
PO Box 15814
Rio Rancho, N.M. 87174
Phone: (505) 980-3560



Existing Drainage Calculations

This table is based on the COA DPM Chapter 6.2, Zone: 1										
BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) ₃₆₀ (CF)
SITE AREA	18560	0.43	0.0%	0.0%	15.0%	85.0%	4.15	1.77	1.82	2820
TOTAL	18560	0.43						1.77		3345

Proposed Drainage Calculations

Ultimate Development Conditions Basin Data Table

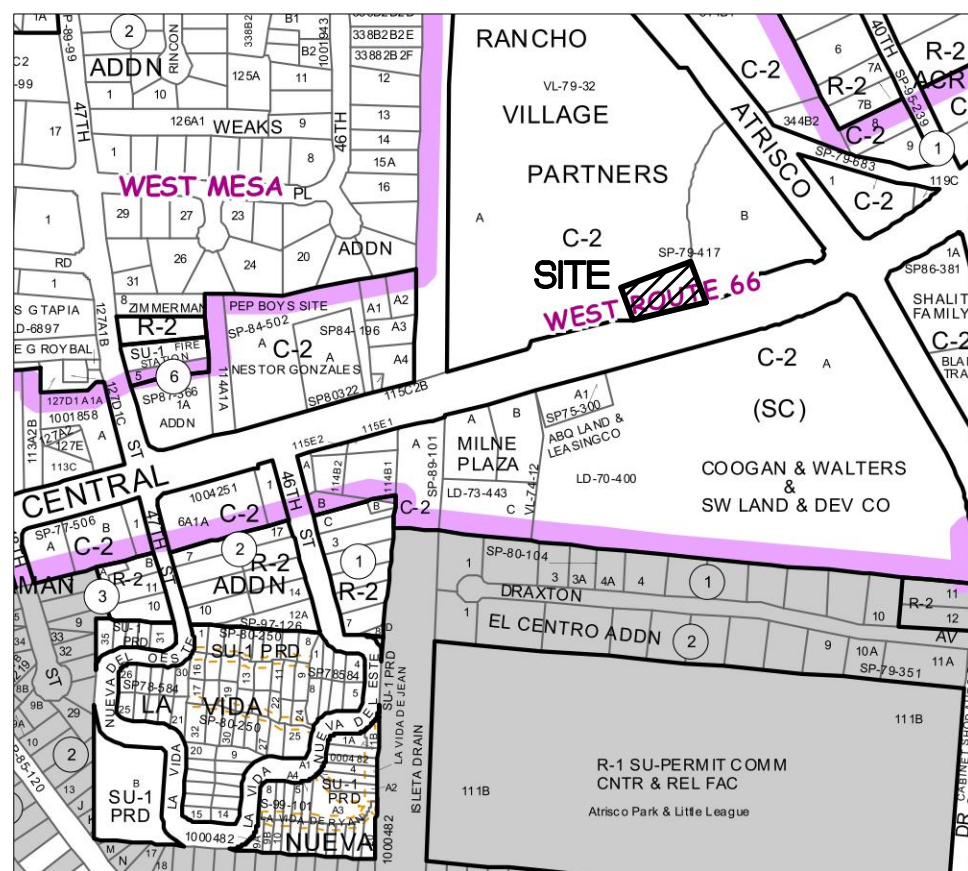
This table is based on the COA DPM Chapter 6.2, Zone: 1										
BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) ₃₆₀ (CF)
SITE AREA	18560	0.43	0.0%	0.0%	40.0%	60.0%	3.77	1.61	1.58	2441
TOTAL	18560	0.43						1.61		2812

IMPERVIOUS AREA CALCULATIONS

SITE AREA
TOTAL SITE AREA: 23,784 SF
PERVIOUS AREA (29.9%): 7,108 SF
IMPERVIOUS AREA (70.1%): 16,676 SF
WATER QUALITY POND CALCULATION
TOTAL IMPERVIOUS AREA = 16,676 SF
FIRST FLUSH = 16,676 * 0.26" / 12 = 361 CF
TOTAL VOLUME PROVIDED = 1,465 CF

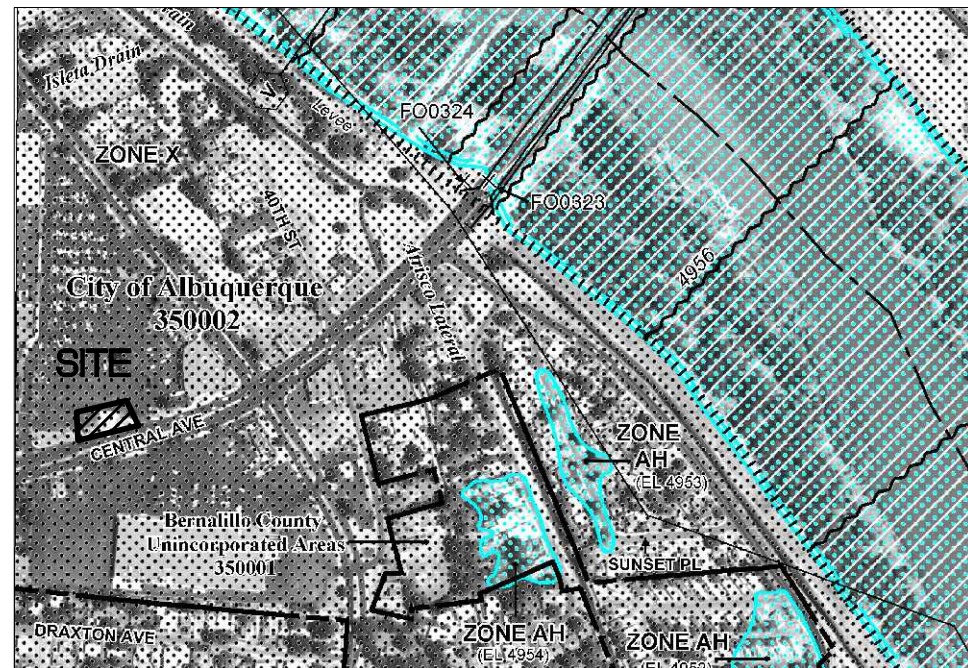
LEGEND

- 27.8' PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8' PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8' PROPOSED TOP OF CURB ELEVATIONS
- TS27.8' PROPOSED TOP OF SIDEWALK ELEVATIONS
- 24"C.O. PROPOSED 24" CURB OPENING
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE



VICINITY MAP - Zone Atlas Page K-12-Z

Legal Description: A Portion of Tract A of the Plat A & B, a Division of Land of Rancho Village Partners, Albuquerque, NM.



FIRM MAP 35001C0333H

Per FIRM Map 35001C0333H, dated August 16, 2012, the site is located inside of the 0.2% Annual Chance Floodplain.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND METTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

CAUTION!!!!

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Wooten Engineering
PO Box 15814
Rio Rancho, N.M. 87114
Phone: (505) 980-3560

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a grading plan and drainage management plan for the development of a new Starbucks located within the Atrisco Plaza Shopping Center at the NWC of Central Ave and Atrisco in Albuquerque, NM. The Starbucks Site contains approximately 0.43 acres. The proposed development consists of a new Retail Building containing a Starbucks with a Drive-Thru window with associated parking lot and landscaping. The City Drainage File Number of the prior approved Drainage Report is K12/D005. The files we found on AGIS are vague and the Engineer of Record for the original report is unknown.

EXISTING HYDROLOGIC CONDITIONS

The site proposed for the new Starbucks splits drainage and is captured by three existing storm drain inlets located within the Atrisco Plaza Shopping Center parking lot. This storm drain then flows west and discharges into existing public storm drain mains located within the MRGDD Isleta Drain Easement per the K12/D005 drainage files.

PROPOSED HYDROLOGIC CONDITIONS

The site will continue to drain to the existing inlets located within the Atrisco Plaza Shopping Center. Per the Drainage Calculations Table sheet this, the proposed runoff will decrease due to a decrease of the Impervious Area. In addition, we have designed Water Quality Ponds to capture the First Flush of 0.26" of Rainfall per the DPM.

CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meets city requirements. The proposed improvements for the site should will reduce both the runoff rate and volume from this area of the site. With this submittal, we are requesting Building Permit approval.



Portion of Tr
Granted to City of Al
Warranty Deed - Kno
(10/11/2017, Doc.

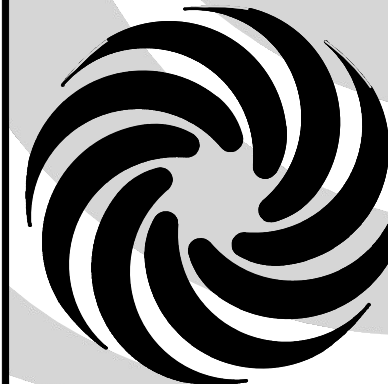
Central Ave NW
(R/W Varies)

Portion of Tract A
Granted to City of Albuquerque per
Warranty Deed - Known as Parcel "C"
(10/11/2017, Doc. No. 2017097193)

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			

MODULUS ARCHITECTS

100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE STARBUCKS CENTRAL AVE. NW ALBUQUERQUE, NEW MEXICO 87105		PROJECT MANAGER JEFF WOOTEN	JOB NO. 2020026	DRAWN BY: ROLAND GATTI
DATE: 02/10/2021		SHEET TITLE Grading Plan		
SCALE: AS NOTED		Sheet- C2.1 of 3		