

DRAINAGE INFORMATION

PROJECT TITLE: HOLY FAMILY PARISH GREENHOUSE ZONE ATLAS/DRNG. FILE #: K-12/ 017

DRB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACTS 41A, 42B & 42C AS SHOWN ON M.R.G.C.D. MAP NO. 39

CITY ADDRESS: 562 ATRISCO BLVD., SW

ENGINEERING FIRM: CHAVEZ-GRIEVES CONTACT: VIC CHAVEZ

ADDRESS: 5639 JEFFERSON NE PHONE: 344-4080

OWNER: HOLY FAMILY PARISH CONTACT: CECELIA PORTAL

ADDRESS: 562 ATRISCO BLVD., SW PHONE: 842-5426

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: ALBUQUERQUE SURVEYING CO., INC CONTACT: VLADIMIR JIRIK

ADDRESS: 2119 MENAUL NE PHONE: 884-2036

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PRMT. APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: MAR. 05, 1996

BY: VIC CHAVEZ, P.E.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 14, 1996

Joe P. Kelley
Chavez-Grievies
5639 Jefferson NE
Albuquerque, NM 87109

RE: DRAINAGE PLAN FOR HOLY FAMILY PARISH GREENHOUSE
(K12-D17) ENGINEER'S STAMP DATED 3/5/96.

Dear Mr. Kelley:

Based on the information provided on your March 5, 1996 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

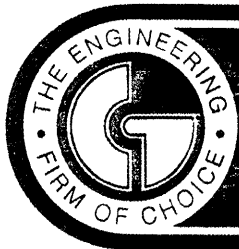
If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File



CHAVEZ • GRIEVES

CONSULTING ENGINEERS, INC.

5639 JEFFERSON STREET NE • ALBUQUERQUE, NEW MEXICO 87109 • PHONE (505) 344-4080 • FAX (505) 343-8759

RUNOFF CALCULATIONS - SIMPLIFIED PROCEDURE

By: ERNIE SALAZAR
Project: HOLY FAMILY PARISH

Date: 3/4/96
Zone Atlas: K-12

This procedure is in accordance with the City of Albuquerque Development Process Manual, Volume 2, Section 22.2, "Hydrology", peak discharge rate for small watersheds less than forty acres in size.

Precipitation Zone from Figure A-1: 1
Land treatment descriptions are in Table A-4.

1. RUNOFF RATE COMPUTATION

Use Equation a-10: $Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$

Values of Q_{pi} are from Table A-9, and are in CFS/acre. Area values are in acres.

BASIN	Q_{PA}	A_A	Q_{PB}	A_B	Q_{PC}	A_C	Q_{PD}	A_D	Q_p
EXISTING BASIN RATE OF RUNOFF (CFS)									
			2.03	0.885			4.37	0.078	2.14
DEVELOPED BASIN RATE OF RUNOFF (CFS)									
			2.03	0.869			4.37	0.094	2.18

2. RUNOFF VOLUME COMPUTATION

Use Equation a-5 to compute weighted excess precipitation:

$$\text{Weighted E} = "E" = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / (A_A + A_B + A_C + A_D) \\ (A_A + A_B + A_C + A_D) = \sum A_i$$

Use Equation a-6 to compute the volume:

$$V_{360} = "E" \times (A_A + A_B + A_C + A_D) \times 3630 \text{ feet}^3/\text{acre} \cdot \text{inch}$$

Values of E_i are from Table A-8, and are in inches. Area values are in acres.

[illegible]

FILE COPY



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 29, 1989

Michael J. Yost, P.E.
Community Sciences Corporation, Inc.
Post Office Box 1328
Corrales, New Mexico 87048

RE: REVISED GRADING PAVING PLAN FOR HOLY FAMILY PARISH
(K-12/D17) REVISION DATED SEPTEMBER 1, 1989

Dear Mr. Yost:

Based on the information provided on your September 6, 1989 resubmittal, the above referenced drainage plan is approved for Grading/Paving.

Please be advised that a field inspection is required upon completion. When calling for inspection, please provide the file number.

If I can be of further assistance, please feel free to contact me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/jc
(WP+1124)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

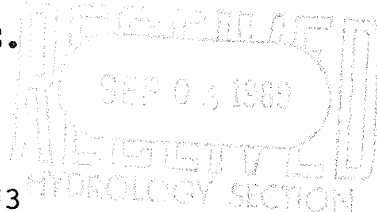
ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

September 5, 1989

Bernie J. Montoya, C.E.
Engineering Assistant
Hydrology Section
City of Albuquerque
P.O. Box 1293
Albuquerque, N.M. 87103



Re: Grading/Drainage Plan for Holy Family Plan for Holy
Family Parish Parking Lot Reconstruction

Dear Bernie:

Please find attached a revised version of the subject grading/drainage plan. The plan has been revised to address the concerns you expressed in your letter of June 29, 1989. I will explain how we addressed your concerns in the same order as your letter:

1. I have widened the typical pond section so the depth is exactly 18 inches. As we discussed, the edge of the pond is about 7 feet from the street curb and gutter in a couple of locations. But because the existing concrete header curb will make a good grade check, this location is desirable.
2. The pond section has been revised to illustrate the pond bottom is not to be flat.
3. The existing valley gutter along Atrisco is to serve as the emergency spillway as we discussed. This is now shown on the plan.
4. The Holy Family Parish wishes to line the Pond with landscape rock for now. However, they do wish to place conduit for future irrigation purposes should they choose to sod the pond in the future. Both of these features are now shown on the plan.
5. This note is now on the lower left-hand corner of the plan.

Mr. Bernie Montoya
September 5, 1989
Page 2

Please review the attached at your earliest convenience.
Thank you for your cooperation in this matter.

Very truly yours,


Michael J. Yost, P.E.

Attachment: Revised Grading/Drainage Plan
Drainage Information Sheet

MJY/jrt

cc: Dave Sprague

CSC#194-02-066 - SEP-001.DOC

190-02-036

R

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Holy Family Parish
Parking Lot ZONE ATLAS/DRNG. FILE#: K-12

LEGAL DESCRIPTION: M.R.G.C.D. Tract 41-A (Map No. 39)

CITY ADDRESS: Atrisco Dr., S.W. @ 5-Points Rd., S.W.

ENGINEERING FIRM: Community Sciences Corporation CONTACT: Michael Yost, P.E.
 ADDRESS: PO Box 1328-Corrales, NM 87048 PHONE: 897-0000

OWNER: Holy Family Parish CONTACT: Dave Sprague
c/o Prairie Star Constructors
 ADDRESS: PO Box 1466-Corrales, NM 87048 PHONE: 898-6225

ARCHITECT: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____

SURVEYOR: Same as Engineer CONTACT: L.A. Carleton, Jr., L.S.
 ADDRESS: _____ PHONE: _____

CONTRACTOR: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES☐ NO☒ COPY OF CONFERENCE RECAP

SHEET PROVIDED

DRB NO. N/AEPC NO. N/APROJ. NO. N/A

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☒ GRADING/PAVING PERMIT APPROVAL☐ OTHER _____ (SPECIFY)DATE SUBMITTED: 9/5/89BY: Michael J. Yost

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

RAY R. BACA
DEPUTY CAO
PUBLIC SAFETY

June 29, 1989

Michael J. Yost, P.E.
Community Sciences Corporation, Inc.
Post Office Box 1328
Corrales, New Mexico 87048

RE: GRADING/PAVING PLAN FOR HOLY FAMILY PARISH
(K-12/D17) RECEIVED JUNE 19, 1989

Dear Mr. Yost:

Based on the information provided on your submittal of June 19, 1989, listed are some concerns that will need to be addressed prior to final approval.

1. For ponds deeper than 18", water shall not pond closer than 15' to the street pavement or curb and gutter.
2. Recommend that you do not use a flat bottom pond. You may want to slope the ponds toward each other.
3. Please indicate where your emergency spillway will be located.
4. What type of vegetation is proposed on the ponding area.
5. Note on plan indicating that it will be the responsibility of the owner to make provisions to eliminate or tie the ponds into a facility whenever it becomes available in the future.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1124)

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
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CLARENCE V. LITHGOW
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PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

RAY R. BACA
DEPUTY CAO
PUBLIC SAFETY

June 27, 1989

Michael J. Yost, P.E.
Community Sciences Corporation, Inc.
Post Office Box 1328
Corrales, New Mexico 87048

RE: GRADING/PAVING PLAN FOR HOLY FAMILY PARISH
(K-12/D17) RECEIVED JUNE 19, 1989

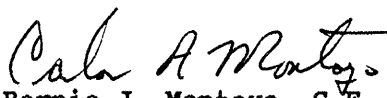
Dear Mr. Yost:

Based on the information provided on your submittal of June 19, 1989, listed are some concerns that will need to be addressed prior to final approval.

1. Drainage Ordinance requires that all ponds be drained within a 24 Hour period.
2. Retention ponds are allowed only if a future outfall is programmed for the near future.
3. Discharge into the Isleta Drain will require concurrence from the M.R.G.C.D.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

for 
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1124)

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Holy Family Parish
Parking Lot ZONE ATLAS/DRNG. FILE#: K-12
 LEGAL DESCRIPTION: M.R.G.C.D. Tract 41-A (Map No. 39)
 CITY ADDRESS: Atrisco Dr., S.W. @ 5-Points Rd., S.W.
 ENGINEERING FIRM: Community Sciences Corporation CONTACT: Michael Yost, P.E.
 ADDRESS: PO Box 1328-Corrales, NM 87048 PHONE: 897-0000
 OWNER: Holy Family Parish CONTACT: Dave Sprague
c/o Prairie Star Constructors
 ADDRESS: PO Box 1466-Corrales, NM 87048 PHONE: 898-6225
 ARCHITECT: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____
 SURVEYOR: Same as Engineer CONTACT: L.A. Carleton, Jr., L.S.
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____

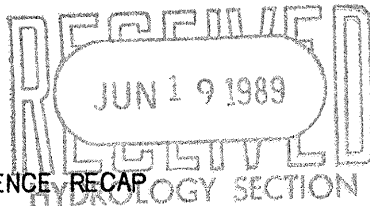
PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECAP

SHEET PROVIDED



DRB NO. N/A

EPC NO. N/A

PROJ. NO. N/A

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

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☐ ENGINEER'S CERTIFICATION

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☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☒ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 6/19/89

BY: Michael J. Yost

LEGAL DESCRIPTION

TRACT 41A, TRACT 42B, AND TRACT 42C, AS SHOWN AND DESIGNATED ON THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT PROPERTY MAP NO. 39

SURVEY DATA

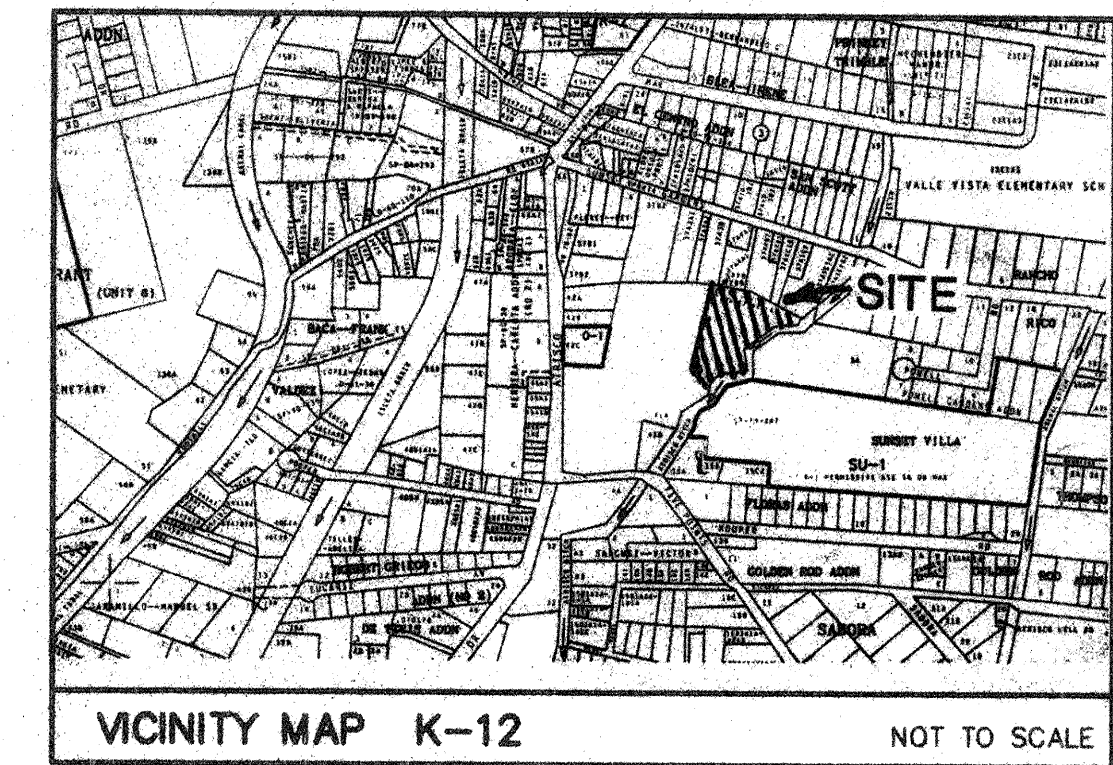
SURVEY INFORMATION WAS PROVIDED BY ALBUQUERQUE SURVEYING CO., INC., ALBUQUERQUE NM. SURVEY WAS PERFORMED IN NOVEMBER 1992.

PROJECT BENCHMARK

SOUTHWEST CORNER OF THE CONCRETE PAD ON THE EXISTING BUILDING. ELEVATION=4945.18

SURVEY BENCHMARK

ACS 3/4" ALUMINUM CAP STAMPED "17-L12" LOCATED ON THE TRAFFIC ISLAND IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF BRIDGE BOULEVARD SW AND GOFF BOULEVARD SW. THE CAP IS SET FLUSH WITH THE CURB. ELEVATION=4942.697



EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.

THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS, OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

SEEDING OF DISTURBED AREAS SHALL BE DONE IN ACCORDANCE WITH C.O.A. STANDARD SPECIFICATION #1012, "NATIVE GRASS SEEDING."

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL REMOVED ASPHALT BY HAULING TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

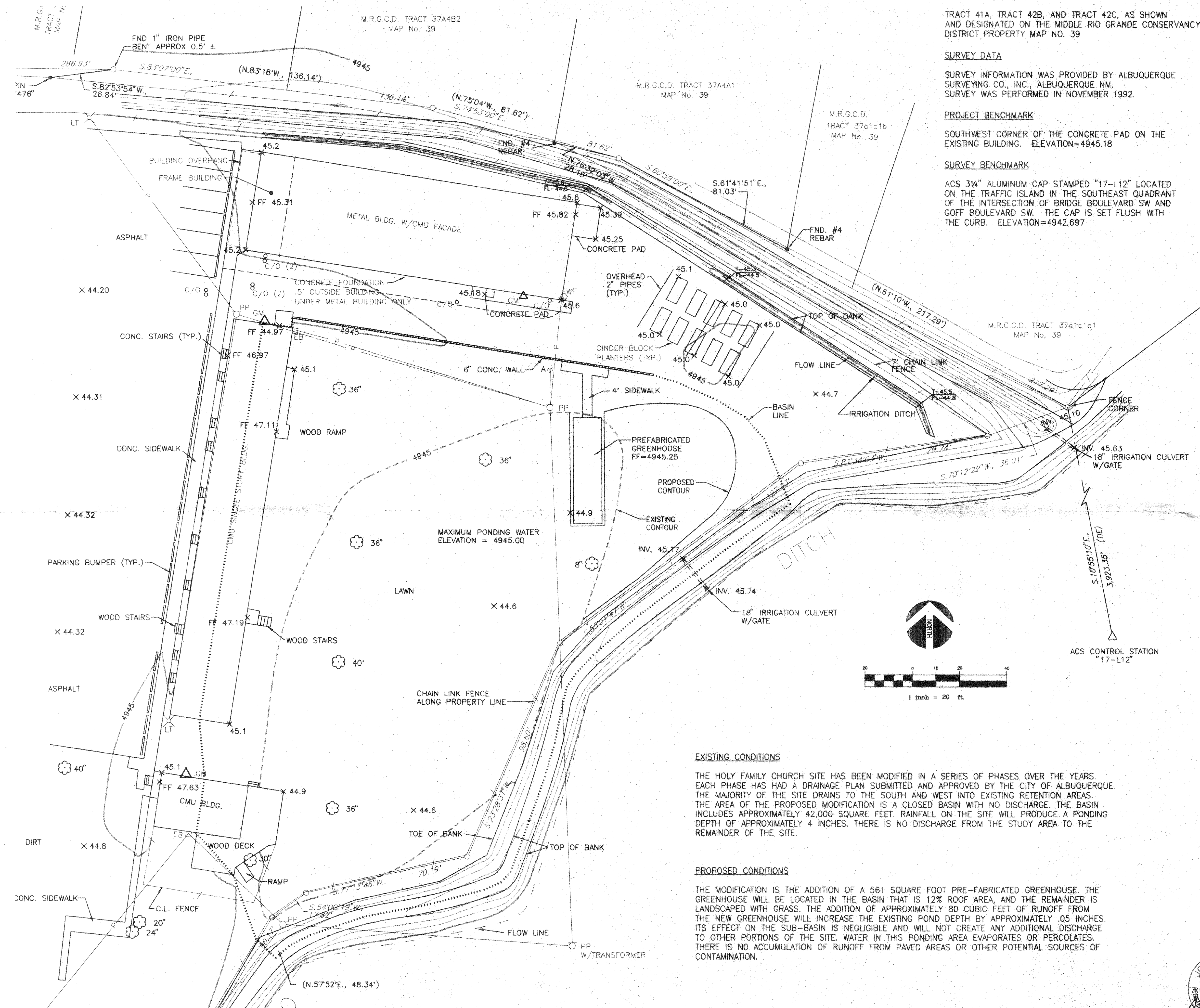
ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL APPROPRIATELY BE DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN-UP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-505-822-1558 OR 1-800-219-6157.

THE CONTRACTOR SHALL TAKE DUE PRECAUTIONS TO PREVENT THE POLLUTION OF SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELLING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE AIR POLLUTION CONTROL REGULATIONS OF THE ALBUQUERQUE/BERNALILLO COUNTY AIR QUALITY CONTROL BOARD (1-505-768-2638) LIMIT THE EMISSION OF PARTICULATES AND THE USE OF CUTBACK ASPHALT. THE CONTRACTOR SHALL APPRISE HIMSELF OF THESE REGULATIONS PRIOR TO BIDDING AND PERFORMING THE WORK.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING NOISE AND HOURS OF OPERATIONS.



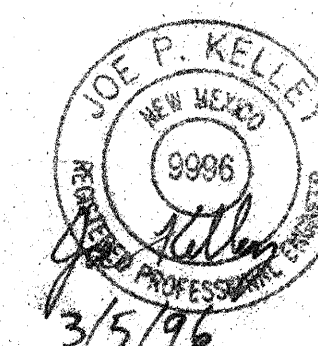
EXISTING CONDITIONS

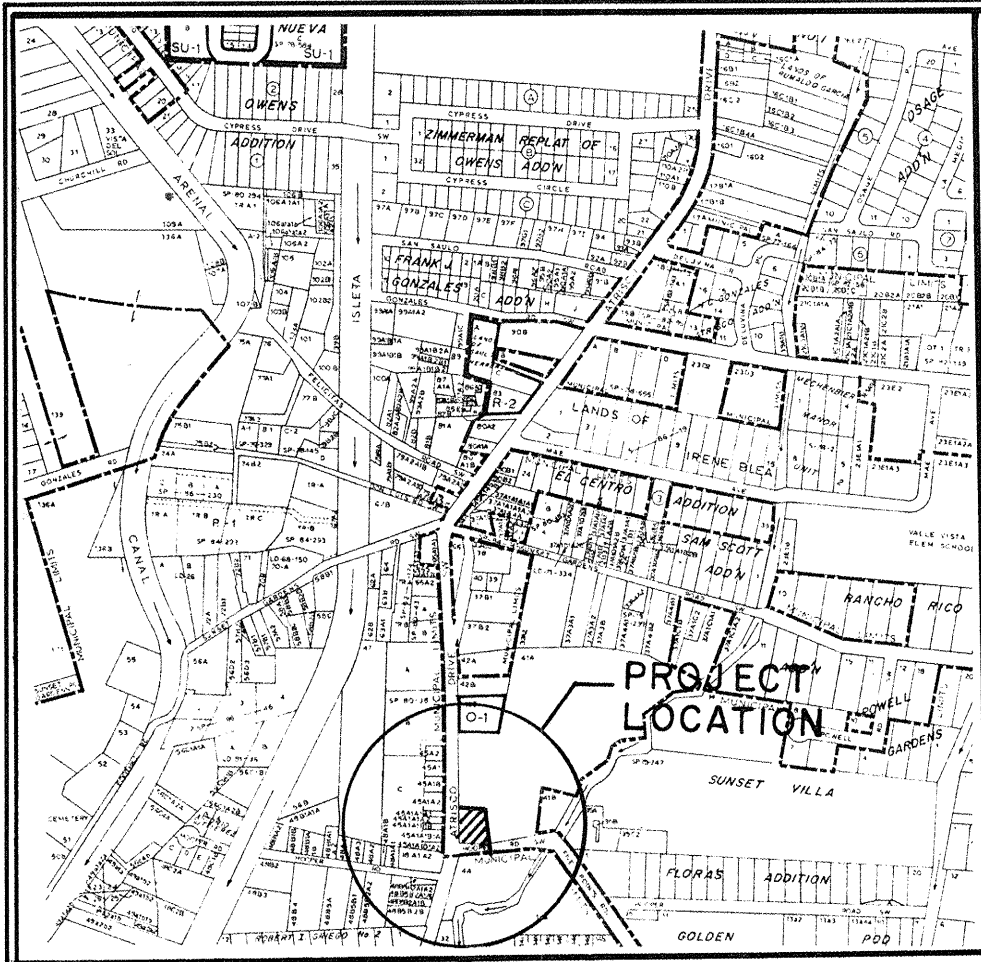
THE HOLY FAMILY CHURCH SITE HAS BEEN MODIFIED IN A SERIES OF PHASES OVER THE YEARS. EACH PHASE HAS HAD A DRAINAGE PLAN SUBMITTED AND APPROVED BY THE CITY OF ALBUQUERQUE. THE MAJORITY OF THE SITE DRAINS TO THE SOUTH AND WEST INTO EXISTING RETENTION AREAS. THE AREA OF THE PROPOSED MODIFICATION IS A CLOSED BASIN WITH NO DISCHARGE. THE BASIN INCLUDES APPROXIMATELY 42,000 SQUARE FEET. RAINFALL ON THE SITE WILL PRODUCE A PONDING DEPTH OF APPROXIMATELY 4 INCHES. THERE IS NO DISCHARGE FROM THE STUDY AREA TO THE REMAINDER OF THE SITE.

PROPOSED CONDITIONS

THE MODIFICATION IS THE ADDITION OF A 561 SQUARE FOOT PRE-FABRICATED GREENHOUSE. THE GREENHOUSE WILL BE LOCATED IN THE BASIN THAT IS 12% ROOF AREA, AND THE REMAINDER IS LANDSCAPED WITH GRASS. THE ADDITION OF APPROXIMATELY 80 CUBIC FEET OF RUNOFF FROM THE NEW GREENHOUSE WILL INCREASE THE EXISTING POND DEPTH BY APPROXIMATELY .05 INCHES. ITS EFFECT ON THE SUB-BASIN IS NEGLIGIBLE AND WILL NOT CREATE ANY ADDITIONAL DISCHARGE TO OTHER PORTIONS OF THE SITE. WATER IN THIS PONDING AREA EVAPORATES OR PERCOLATES. THERE IS NO ACCUMULATION OF RUNOFF FROM PAVED AREAS OR OTHER POTENTIAL SOURCES OF CONTAMINATION.

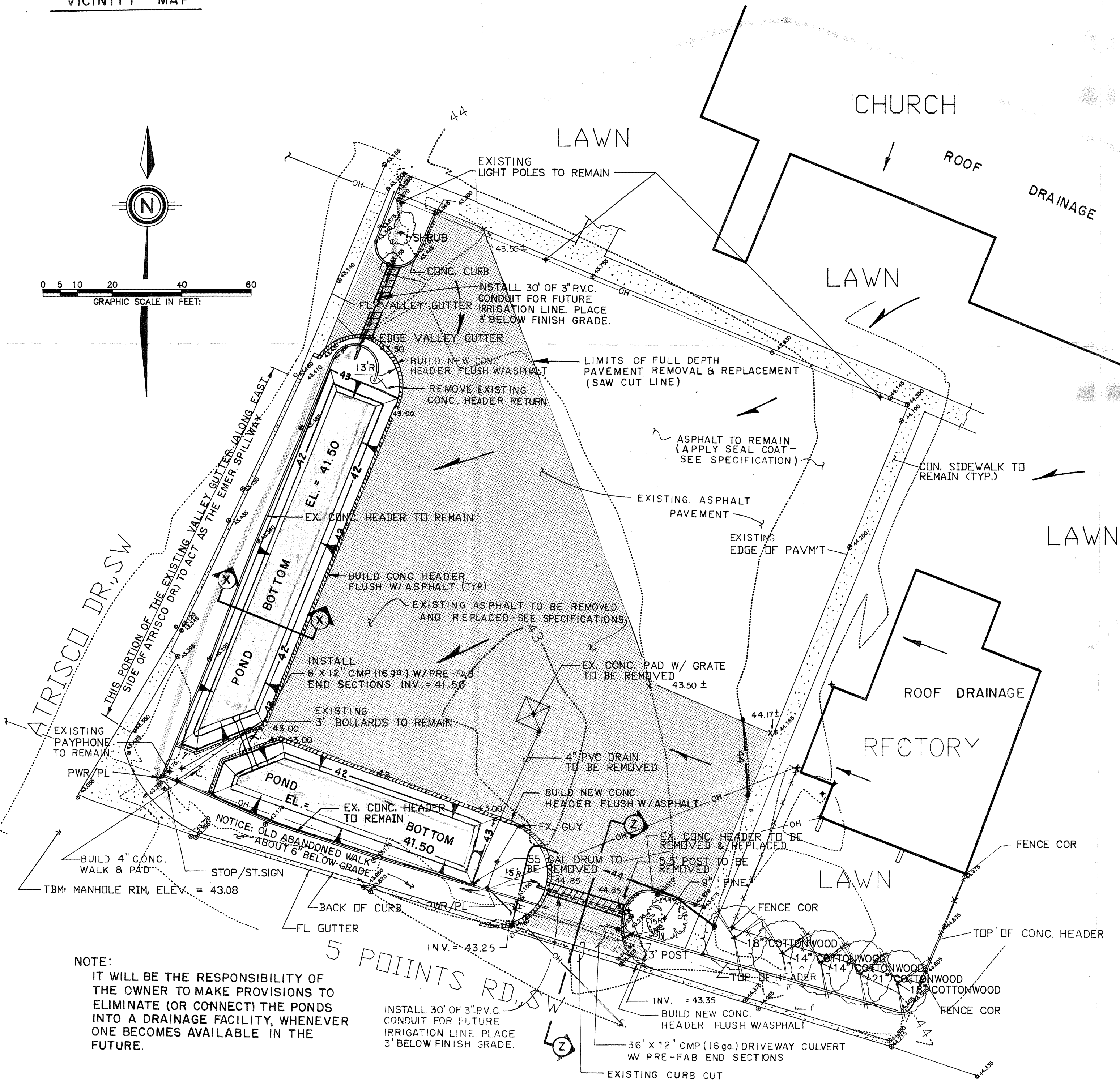
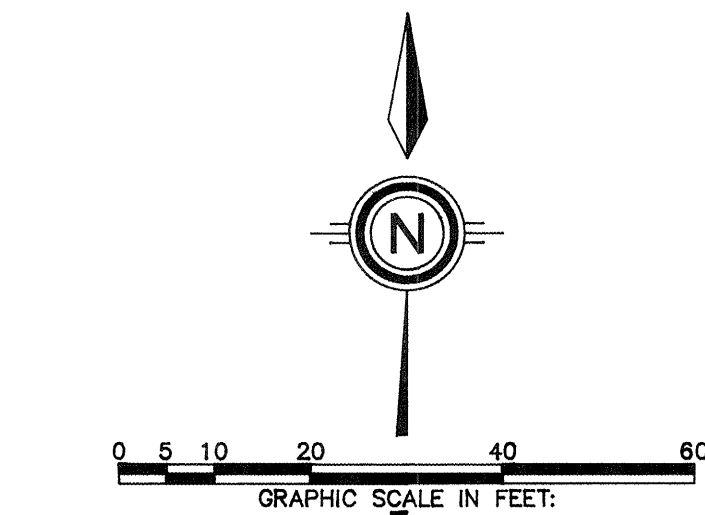
REV.	DATE	DESCRIPTION	DRAWN	APPR'D.
<div style="text-align: center;"> <p>CHAVEZ • GRIEVES CONSULTING ENGINEERS, INC.</p> <p>5639 JEFFERSON STREET N.E. • ALBUQUERQUE, NEW MEXICO 87109 PHONE (505) 344-4080 • FAX (505) 343-8759</p> </div>				
<p>HOLY FAMILY PARISH</p> <p>ALBUQUERQUE, NM</p>				
<p>GRADING & DRAINAGE PLAN</p>				
DESIGNED BY:	VJC	SCALE:	1"=20'	<div style="font-size: 2em; font-weight: bold;">1</div> <div>of 1</div>
DRAWN BY:	WMT	JOB NUMBER:	DONATION	
REVIEWED BY:	JPK	DATE:	3/04/98	





VICINITY MAP

ZONE ATLAS PAGE K-12
SCALE 1" = 800' ±



NOTE:
IT WILL BE THE RESPONSIBILITY OF THE OWNER TO MAKE PROVISIONS TO ELIMINATE (OR CONNECT) THE PONDS INTO A DRAINAGE FACILITY, WHENEVER ONE BECOMES AVAILABLE IN THE FUTURE.

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.

CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 765-1234, FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

DRAINAGE REPORT

A. PURPOSE

THE PURPOSE OF THIS PLAN IS TO ADDRESS THE DRAINAGE PROBLEM AT THE EXISTING PARKING LOT AT THE NORTHEAST CORNER OF ATRISCO DR., S.W. AND FIVE POINTS RD., S.W. PRESENTLY, THERE IS A LOW SPOT AT THE CENTER OF PARKING LOT WHERE RUNOFF IS COLLECTED INTO A 4" PVC DRAIN AND DISCHARGED INTO A 55 GALLON DRUM THAT IS PUMPED DRY PERIODICALLY. THIS PLAN IS TO ADDRESS THIS PROBLEM BY PROVIDING ADEQUATE DRAINAGE RETENTION VOLUME FOR UP TO AND INCLUDING THE 100-YEAR FREQUENCY EVENT. A "PRE-DESIGN" MEETING WITH THE CITY OF ALBUQUERQUE HYDROLOGY SECTION INDICATED THAT FREE DISCHARGE WOULD BE ALLOWED ONTO THE ADJACENT STREET GUTTERS. HOWEVER, BECAUSE OF THE LACK OF VERTICAL RELIEF ACROSS THE SITE, THIS ALTERNATIVE IS NOT BEING PROPOSED BY THIS PLAN.

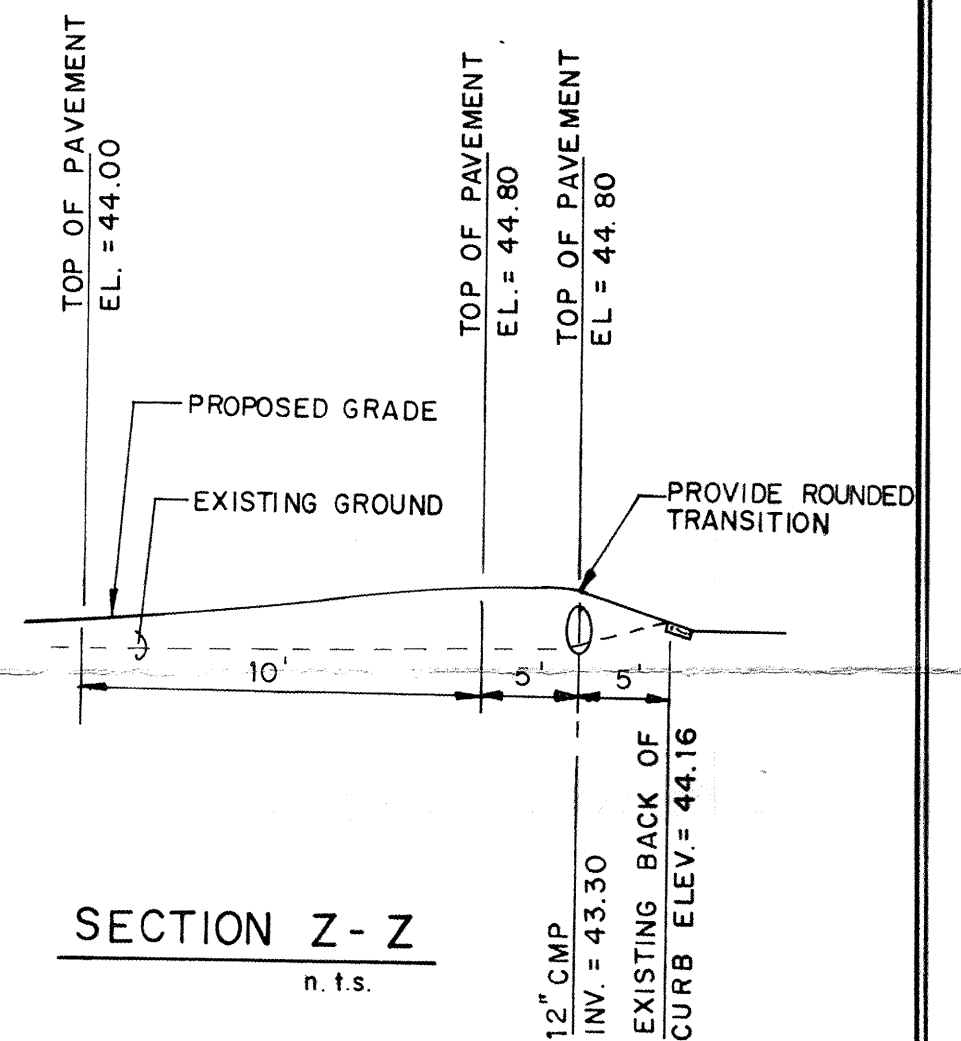
B. SITE CHARACTERISTICS

THE TOPOGRAPHY PLOTTED ON THIS SHEET IS THE RESULT OF A FIELD SURVEY CONDUCTED BY COMMUNITY SCIENCES CORPORATION DURING APRIL, 1989. THE IMPROVEMENTS SHOWN ON THE PLAN DO NOT CHANGE THE SIZE AND SHAPE OF THE EXISTING DRAINAGE BASIN, NOR DO THEY MATERIALLY AFFECT THE RUN-OFF CHARACTERISTICS. THE SOILS ON THE SITE ARE OF THE VINTON SANDY LOAM SERIES WHICH FALLS UNDER THE U.S. SOIL CONSERVATION SERVICE HYDROLOGICAL GROUP "D". THIS SITE DOES NOT LIE WITHIN A 100-YEAR FLOOD BOUNDARY AS SHOWN ON THE FEMA-1 FLOOD BOUNDARY AND FLOODWAY MAP FOR THE CITY OF ALBUQUERQUE (PANEL NO. 35002-028, DATED OCTOBER 14, 1983). THE 100-YEAR, 6-HOUR RAINFALL FOR THE SITE IS 2.2 INCHES PER THE NOAA ATLAS.

C. HYDROLOGIC COMPUTATIONS

ALL HYDROLOGIC ANALYSIS FOR THIS PLAN IS BASED ON CRITERIA PRESENTED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, VOLUME II, CHAPTER 22. A SUMMARY OF THE ANALYSIS IS PRESENTED BELOW

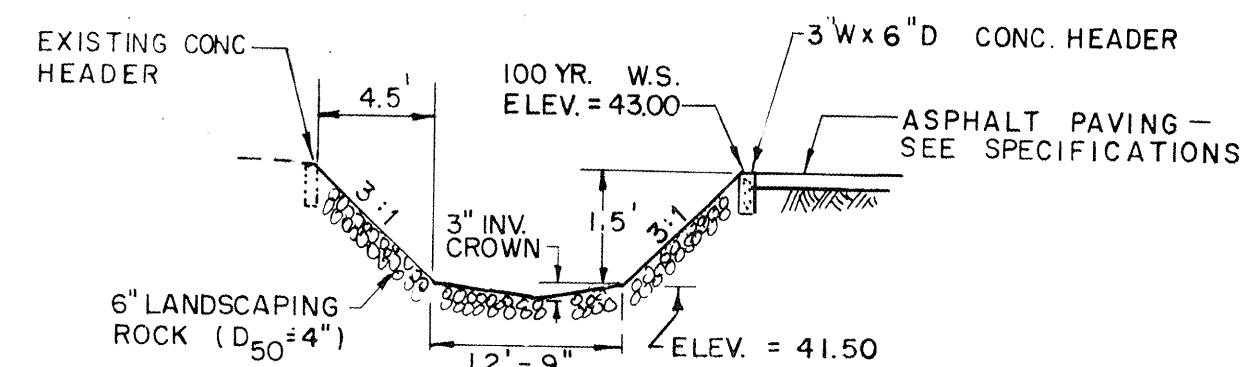
- DRAINAGE AREA = 57,080 SF (1.31 AC.)
- % IMPERVIOUS = 70
- CN (PERVIOUS) = 61
- CN (COMPOSITE) = 87
- TIME OF CONCENTRATION = 10 MIN.
- COMPOSITE C = $\frac{.95(31,136) + .90(9,096) + .25(16,848)}{57,080}$
- $C = 0.74$
- DIRECT RUN OFF = 1.1"
- INTENSITY = 4.65"/HR.
- $Q_{100} = 0.74 (4.65) 1.31 = 4.3$ CFS
- $V_{100} = 3630 (1.1) 1.31 = 5,230$ CF



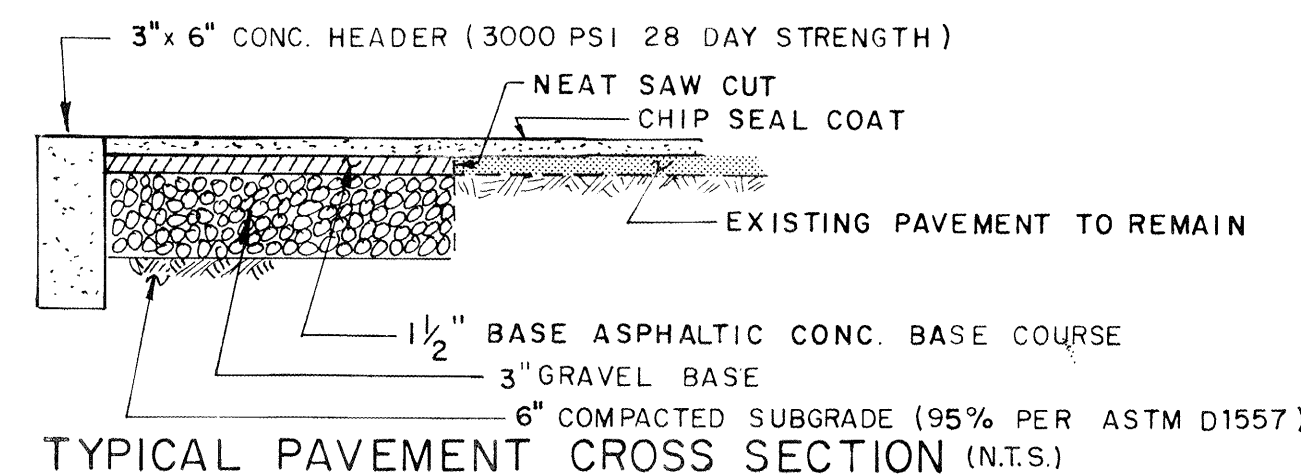
SECTION Z-Z
n.i.s.

LEGEND

- DRAINAGE BASIN BOUNDARY
- EXISTING ELEVATION ELEVATION CONTOUR
- EXISTING SPOT ELEVATIONS
- FLOW LEADER
- 44 — FINISHED CONTOUR
- x 43.67 PROPOSED SPOT ELEVATIONS
- ▨ WATER BLOCK



SECTION X-X
TYPICAL POND CROSS SECTION
n.i.s.



TYPICAL PAVEMENT CROSS SECTION (N.T.S.)

HOLY FAMILY PARISH, ALBUQUERQUE, NM MRGCD TRACT 41A (MAP NO. 39) GRADING & DRAINAGE PLAN	
DATE JUNE, 1989	DESIGNED MJY
SCALE 1" = 20'	DRAWN WJW
JOB NO. 190-02-036	LAND PLANNING P.O. Box 1328
ENGINEERING Corrales, NM 87048	SURVEYING Corrales, NM 87048
SHEET 1 OF 1	