

DRAINAGE INFORMATION SHEET

Repaving portion of

PROJECT TITLE: K-Mart Shopping Center ZONE ATLAS/DRN FILE #: K12/D21LEGAL DESCRIPTION: Tract C-1 Milne Addition, and Vacated Isleta Drain ROWCITY ADDRESS: 4208 Central Ave SWENGINEERING FIRM: Lovelady & Associates CONTACT: Frank LoveladyADDRESS: 7408 Morrow Ave. NE 87110 PHONE: 883-7973

OWNER: _____ CONTACT: _____

ADDRESS _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

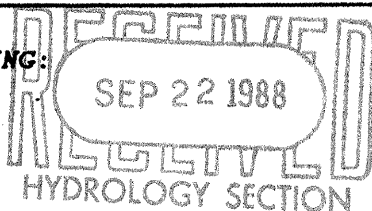
CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

____ YES

____ NO

____ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJECT NO. _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT

____ DRAINAGE PLAN

____ CONCEPTUAL GRADING & DRAIN. PLAN

____ GRADING PLAN

____ EROSION CONTROL PLAN

____ ENGINEER'S CERTIFICATION

☒ Resubmittal of plan with
corrections per Roger Green's
August 22, 1988 letter.

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL

____ PRELIMINARY PLAT APPROVAL

____ SITE DEVELOPMENT PLAN APPROVAL

____ FINAL PLAT APPROVAL

____ BUILDING PERMIT APPROVAL

____ FOUNDATION PERMIT APPROVAL

____ CERTIFICATE OF OCCUPANCY APPROVAL

____ ROUGH GRADING PERMIT APPROVAL

DATE SUBMITTED: September 20, 1988

____ GRADING/PAVING PERMIT APPROVAL

BY: _____

OTHER _____ (SPECIFY)

Frank D. Lovelady, P.E.



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 3, 1988

Frank Lovelady, P.E.
Lovelady and Associates
7408 Morrow, NE
Albuquerque, NM 87110

RE: REVISED GRADING AND DRAINAGE PLAN SUBMITTAL OF K-MART SHOPPING
CENTER, RECEIVED SEPTEMBER 22, 1988, FOR GRADING/PAVING PERMIT
APPROVAL. (K-12/D21)

Dear Mr. Lovelady:

The above referenced submittal dated September 20, 1988, is approved for
Grading and Paving by the contractor in accordance with these plans.
Prior to actual construction, all requirements of the M.R.G.C.D. must
have been met, with the new 60" RCP in place and accepted by M.R.G.C.D.

If you have any questions call me at 768-2650.

Cordially,

Roger A. Green, P.E.
C.E./ Hydrology

RAG/(WP+831)



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FILE COPY



City of Albuquerque

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MAYOR
KEN SCHULTZ

CHIEF
ADMINISTRATIVE OFFICER
GENE ROMO

DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES
LARRY LARRANAGA

DEPUTY CAO
PUBLIC SERVICES
DAN WEAKS

August 22, 1988

Frank Lovelady, P.E.
Lovelady & Associates
7408 Morrow, NE
Albuquerque, New Mexico 87110

RE: GRADING & DRAINAGE PLAN FOR REPAVING ON K-MART SHOPPING CENTER
RECEIVED AUGUST 8, 1988 FOR PAVING PERMIT APPROVAL (K-12/D21)

Dear Mr. Lovelady:

I have reviewed the referenced submittal, dated August 8, 1988 and have the following items to be addressed prior to approval:

1. The existing elevations along Central Avenue and on the existing asphalt near the Isleta Drain are not consistent with those shown on the construction plans previously submitted for the Isleta Drain Extension project. Which plans are correct? *K-12/D21*
2. Is a concrete valley gutter required across Tract C-1 and the Isleta Drain right-of-way? If so, label it as such and provide a typical cross section.
3. Show the required slope of the swale or valley gutter that outlets into the inlet on the 6' diameter manhole.
4. Provide staking dimension to the upstream end of swale, where the spot elevation is shown as elevation 50.12.
5. Label the type of catch basin at the proposed drive pad into Central Avenue.
6. Is the existing concrete slab next to the existing "pond" to be removed? The notes just say existing asphalt to be removed and replaced.

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X.C.
City of Albuquerque

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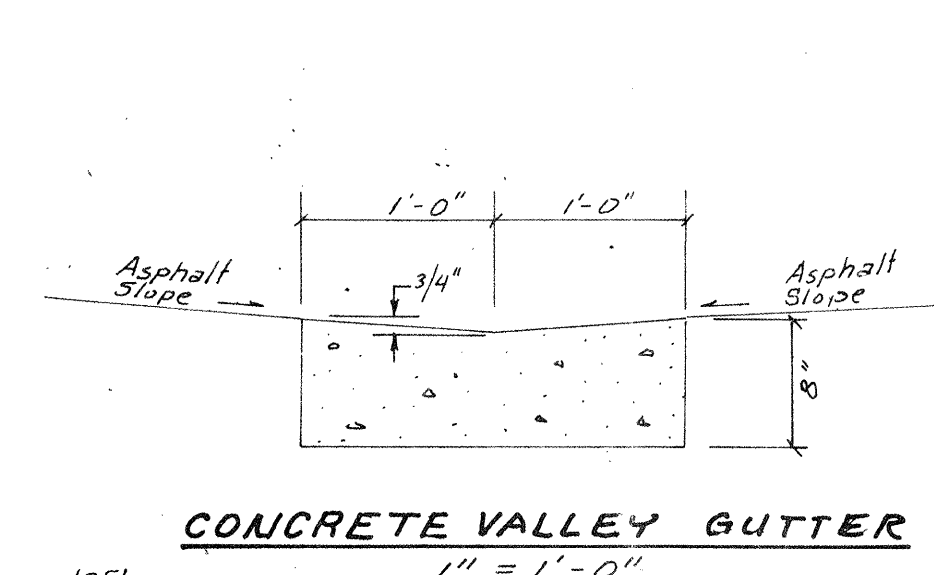
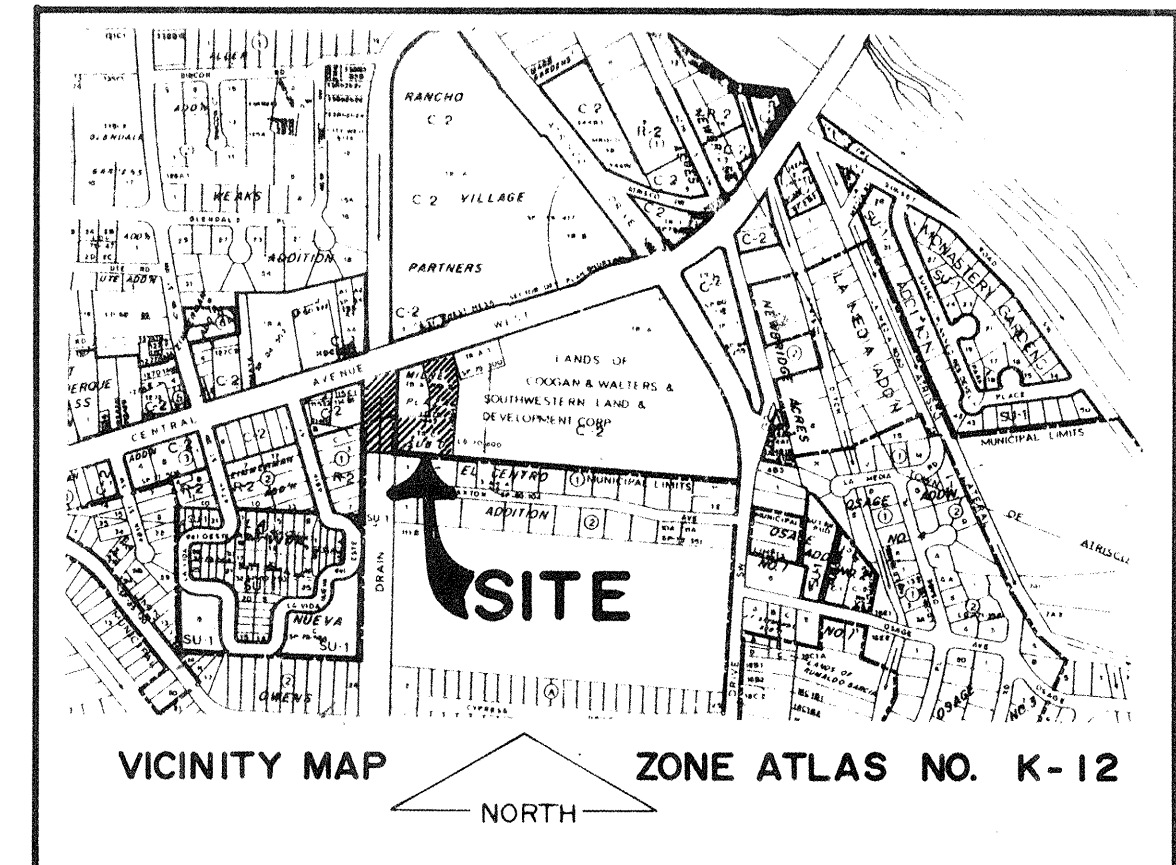
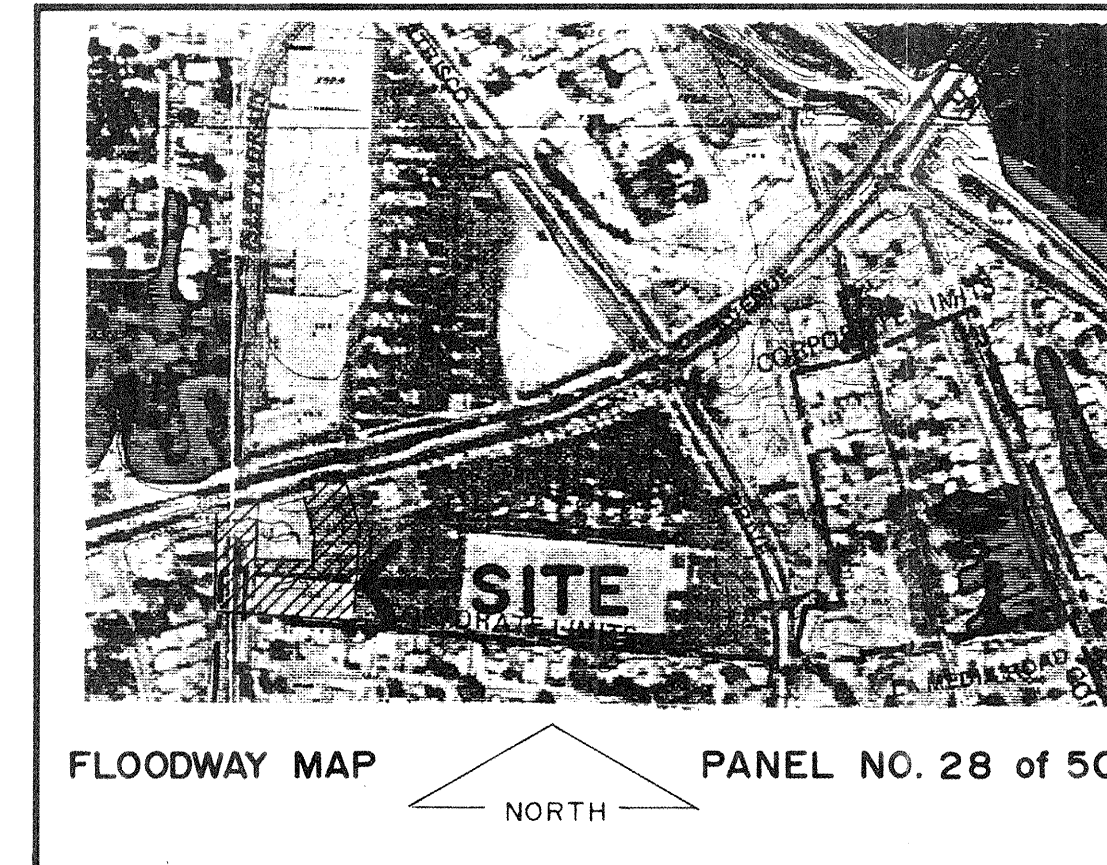
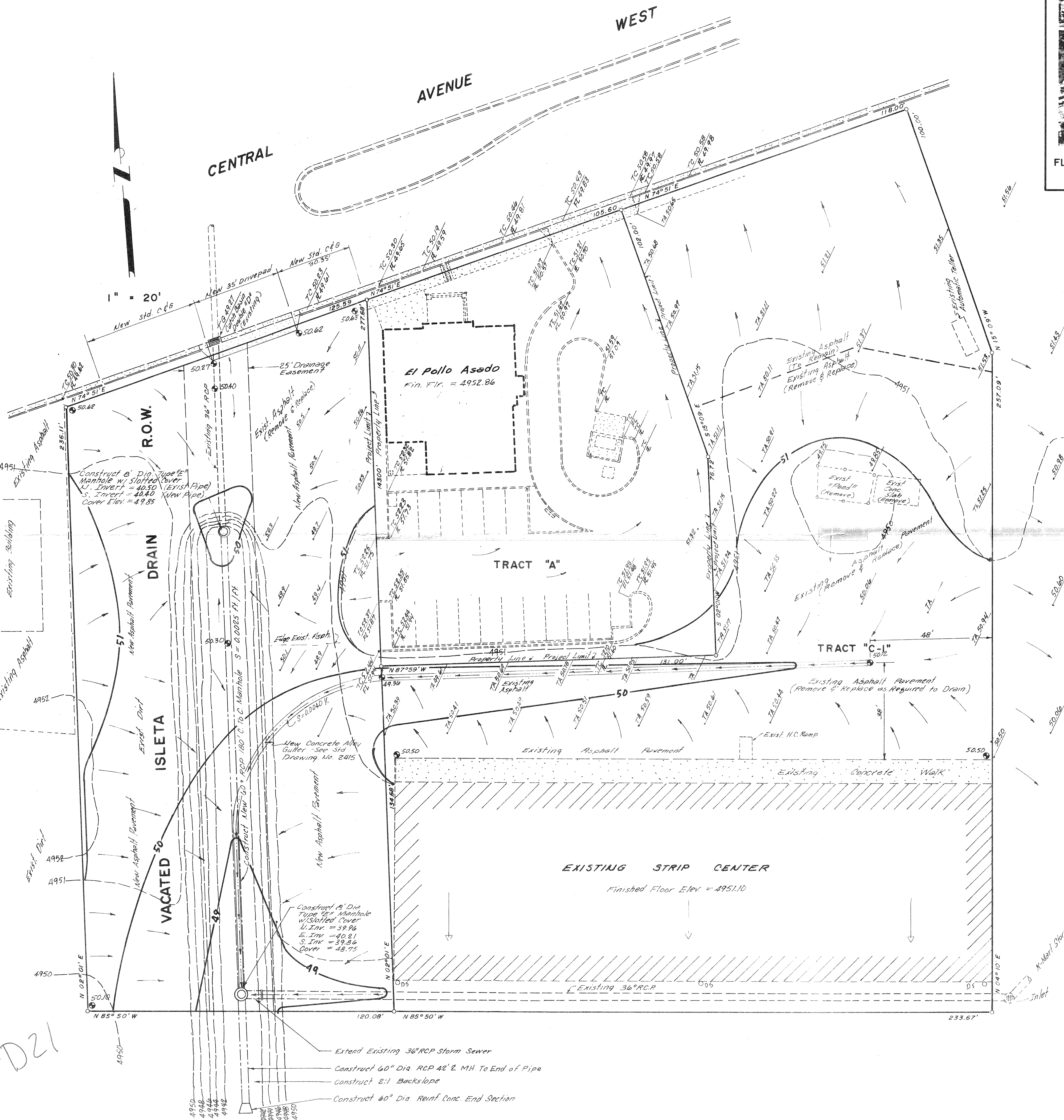
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LEGEND:

EXISTING	NEW	DESCRIPTION
— 4950 —	— 50 —	CONTOUR
•	•	SPOT ELEVATION
—	—	PROPERTY LINE
—	—	SWALE
—	—	SHEET FLOW
—	—	ROOF GUTTER
—	—	DOWNSPOUT
—	—	TC TOP OF CURB/CONCRETE
—	—	TA TOP OF ASPHALT
—	—	FL FLOW LINE

PRE-DESIGN CONFERENCE FINDINGS:

1. AN APPROVED GRADING AND DRAINAGE PLAN IS REQUIRED PRIOR TO APPROVAL OF A PAVING PERMIT FROM THE HYDROLOGY OFFICE.
2. ANY GRADING OR PAVING ON ADJACENT PROPERTY WILL REQUIRE A CONSTRUCTION EASEMENT SIGNED BY PROPERTY OWNER AFFECTED.
3. ANY GRADES LESS THAN 0.5% WILL REQUIRE USE OF A CONCRETE VALLEY GUTTER TO CONTROL GRADES.
4. THE ISLETA DRAIN EXTENSION MUST BE IN PLACE OR ELSE A SIDE INLET RUNOFF DESIGNED AND CONSTRUCTED WITH M.R.G.C.D. APPROVAL.
5. FREE DISCHARGE IS APPROVED TO ISLETA DRAIN AND CENTRAL AVENUE SINCE EXISTING AREA IS ALL PAVED AND DRAINS THERE NOW.

DRAINAGE COMMENTS:

1. THE SITE DOES NOT LIE WITHIN OR ADJACENT TO A DESIGNATED 100-YEAR FLOOD HAZARD ZONE.
2. EL POLLO ASADO ON TRACT "A" IS NOT A PART OF THIS PROJECT. HOWEVER, IT MAY BE NECESSARY TO REGRADE AND REPAVE THE SOUTHEAST CORNER OF TRACT "A" TO OBTAIN A SMOOTH APPROACH FROM THE VALLEY GUTTER INTO TRACT "A". A CONSTRUCTION EASEMENT WILL BE PROVIDED.
3. THERE IS NO OFF-SITE FLOW AFFECTING THIS SITE.
4. THE PORTION OF THE SITE EAST OF TRACT "A" THAT IS ADJACENT TO CENTRAL AVENUE WILL NOT BE DISTURBED. THEREFORE, THE AREA IS NOT INCLUDED IN THE DRAINAGE CALCULATIONS.
5. THE INSTALLATION OF THE 60" RCP AND MANHOLES IN THE ISLETA DRAIN WILL BE DONE AS A CONDITION OF SALE OF THE LAND BY M.R.G.C.D.

DRAINAGE CALCULATIONS

SOIL INFORMATION: (REFER TO SCS SOIL SURVEY OF BERNALILLO COUNTY)
SOIL IS YBA, VINTON SANDY LOAM, HYDROLOGIC SOIL GROUP "B".

RAINFALL, 100-YEAR, 6-HOUR: (REFER TO D.P.M. PLATE 22.2 D-1)
 $R_6 = 2.2$ INCHES.

TIME OF CONCENTRATION: (REFER TO D.P.M. SECTION 22.2, PAGE 3)
TEN (10) MINUTES, MINIMUM TIME OF CONCENTRATION.

RAINFALL INTENSITY: (REFER TO PLATE 22.2 D-2)
 $I = R_6 \times 6.84 \times T_c^{-0.51} = 2.2 \times 6.84 \times (10)^{-0.51} = 4.65$ INCHES PER HOUR.

CURVE NUMBERS: (REFER TO D.P.M. PLATE 22.2 C-2)

CN	EXISTING AREA	NEW AREA
EXISTING PAVEMENT	70	29808
BUILDINGS AND PAVEMENT	98	45581
LANDSCAPING	61	-
UNPAVED GRAVEL	85	-
UNPAVED DIRT	82	-
TOTAL AREAS	75389	1.73 AC.
		75389

WEIGHTED CURVE NUMBER (CN_w):
EXISTING $CN_w = 87$ DEVELOPED $CN_w = 98$

DIRECT RUNOFF: (REFER TO D.P.M. PLATE 22.2 C-4)
EXISTING $Q_0 = 1.2$ DEVELOPED $Q_0 = 2.0$

RUNOFF COEFFICIENTS: (REFER TO "NOTICE OF EMERGENCY RULE", CITY OF ALBUQUERQUE, JANUARY 14, 1986.)

"C"	EXISTING AREA	NEW AREA
UNDEVELOPED	0.40	29808
LAWNS AND LANDSCAPING	0.25	-
ROOFS	0.90	20124
STREETS, DRIVES, WALKS	0.95	25457
TOTAL AREAS	75389	75389

WEIGHTED "C" FACTORS: EXISTING "C" = 72 DEVELOPED "C" = 0.94

EROSION CONTROL PLAN:

THE SITE IS ADJACENT TO THE ISLETA DRAIN. THE GRADING FOR THIS SITE WILL BE DONE AFTER THE MANHOLES ARE IN PLACE. THE PERIOD OF CONSTRUCTION SHOULD BE VERY BRIEF SINCE ONLY GRADING AND PAVING IS INVOLVED. THEREFORE NO EROSION CONTROL MEASURES ARE DEEMED NECESSARY.

DITCH MARK:

A.C.S. STATION 2+128. STATION IS LOCATED 1.8 MILES WEST OF DOWNTOWN ALBUQUERQUE AT THE INTERSECTION OF CENTRAL AVENUE AND ATRISCO DRIVE. STATION IS A 3-1" ALUMINUM TABLET SET IN A DRILL HOLE FLUSH WITH THE TOP OF CURB. STATION IS STAMPED "ACS", 2+128, 1983". STATION IS 61.3' SOUTH OF THE CENTERLINE OF CENTRAL AVENUE WEST AND 44' WEST OF THE CENTERLINE OF ATRISCO DRIVE, S.W. THE STATION ELEVATION IS 4954.92'.

LEGAL DESCRIPTION:

TRACT "C-1", MILNE ADDITION, AND VACATED PORTION OF ISLETA DRAIN R.O.W.

REVISED SEPT. 20, 1988

SEP 22 1988
HYDROLOGY SECTION

GRADING AND DRAINAGE PLAN
FOR REPAVING AND EXPANDING EXISTING PARKING LOT
K-MART SHOPPING CENTER
CENTRAL AVENUE & ATRISCO DRIVE
ALBUQUERQUE, NEW MEXICO

K12-D21