

City of Albuquerque Stormwater Construction Site Inspection Report

General Information			
Project Name:	Sunset Farms		
Location:	Atrisco & Central		
Site Contact Name & Agency	Michelle Gallegos	ESC File No.	K12E025
	home owner	NPDES Id. No.	
Inspection Date:	02/21/19	Start/End Time:	1050/1100hrs
CoA Stormwater Inspector:	Timothy Sims, Stormwater Inspector		
Present Phase of Construction:	stabilized		
Type of Inspection:	<input checked="" type="checkbox"/> Regular	<input type="checkbox"/> Storm Event	<input type="checkbox"/> Post Storm Event >0.25" <input type="checkbox"/> 311/Complaint <input type="checkbox"/> Follow Up

Weather at time of inspection? Clear	Temperature: ~ 37*
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Has there been a storm event since site was Permitted?

Clarify amount: (i.e.. <1/4" to >3/4"):	Yes, >3/4"
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Inspection			
CGP Section	BMP / Activity	Maintenance or Corrective Action Required	Location and Notes
1.5	Post a Notice		
2.2.1	Provide and maintain Natural buffer when Waters of the US <50ft		
2.2.3	Sediment control along any perimeter		
2.2.3	Sediment control along any perimeter		
2.2.3	Sediment control along any perimeter		
2.2.3	Sediment control along any perimeter		
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2.2.3	Sediment control along any perimeter		
2.2.3	Sediment control along any perimeter		
2.2.3	Sediment control along any perimeter		
2.2.3	Sediment control along any perimeter		
2.2.4	Minimize sediment track out		

2.2.5	Manage stock piles		
2.2.6	minimize dust		
2.2.10	Protect storm drain inlets		
2.2.10	Protect storm drain inlets		
2.2.11	Minimize erosion of conveyance channels		
2.2.12	Sediment Basins		
2.2.14	Stabilize exposed portions of the site		
2.2.14	Stabilize exposed portions of the site		
2.2.14	Stabilize exposed portions of the site		
2.2.14	Stabilize exposed portions of the site		
2.3.1	Equipment and vehicle fueling		
2.3.2	Equipment and vehicle washing		
2.3.3	Building material storage		
2.3.3	Fuel, oil, hydraulic fluid, petroleum products and chemical storage		
2.3.3	Construction and domestic wastes		
2.3.3	Construction and domestic wastes		
2.3.4	Washing applicators used for paint, stucco, concrete, etc.		
2.3.4	Washing applicators used for paint, stucco, concrete, etc.		
2.3.4	Washing applicators used for paint, stucco, concrete, etc.		
2.4	Dewatering		
2.1	Discharge off site? (Y/N)	No	
4	Self Inspection Reports		Latest report Date:

Notes: (City Inspector Use) Items in compliance can be left blank.

¹ Construction General Permit (CGP)

Maintenance or corrective actions are to be completed within seven (7) days.

Notes:	

City of Albuquerque Stormwater Inspector Signature and date:
Contact information: Timothy Sims, 505-803-6155 or

Timothy
E. Sims

Digitally signed by Timothy E. Sims
DN: cn=Timothy E. Sims,
o=Stormwater Inspections,
ou=Planning,
email=tims@cabq.gov, c=US
Date: 2019.02.21 12:11:01 -0700



City of Albuquerque

Planning Department

Stormwater Control Permit for Erosion and Sediment Control

Project Title Residential

Project Location (Major Cross Streets/Arroyo
or address) Central & Atrisco 336 Luis Sanchez Pl

Property Owner: (Note: If applying for a Building Permit, the "Company" or "Owner" name on this form must match the "Owner" name on the Building Permit.)

Company Name or Owner Name: Michelle Gallegos

Responsible Person: (Note: Name below may be the same as Owner Name above if there is no Company Name)

Name: Same As Above

Phone Number: 505-927-2609

E-mail: michellegallegosa27@gmail.com

Site Contact: (if different than Property Owner info above.)

Name: SAME AS ABOVE

Phone: _____

e-mail: _____

For City personnel use only: 1612525

Check boxes if plans/permit are approved:

☒ ESC Plan ☒ Grading Plan ☒ Flood Plain Permit (strike if not required)

City Personnel Signature: Ante C. Chavez



City of Albuquerque

Planning Department

Stormwater Control Permit for Erosion and Sediment Control

Project Title Sunset Farms /Puesta Del Sol lot 1/-319 Manuel Sanchez pl.

Project Location (Major Cross Streets/Arroyo or address)

Sunset rd. & Sunset Farm rd.

Property Owner: (or authorized agent provided in writing)

eNOI Number: NMR12BH12

Attach 2012 Construction General Permit eNOI Detail sheet.

Property Owner: LGI Homes-NM construction LLC

Site Contact Name Ron Rieger

Site Contact Phone 505-934-3116

Site Contact e-mail rrieger@lgihomes.com

Applicant: Print Name Ron Rieger

Date 11-14-16

For City personnel use only:

K12E025

Check boxes if plans/permit are approved:

☒ ESC Plan ☒ Grading Plan ☒ Flood Plain Permit (strike if not required) X-levee

on B.P.

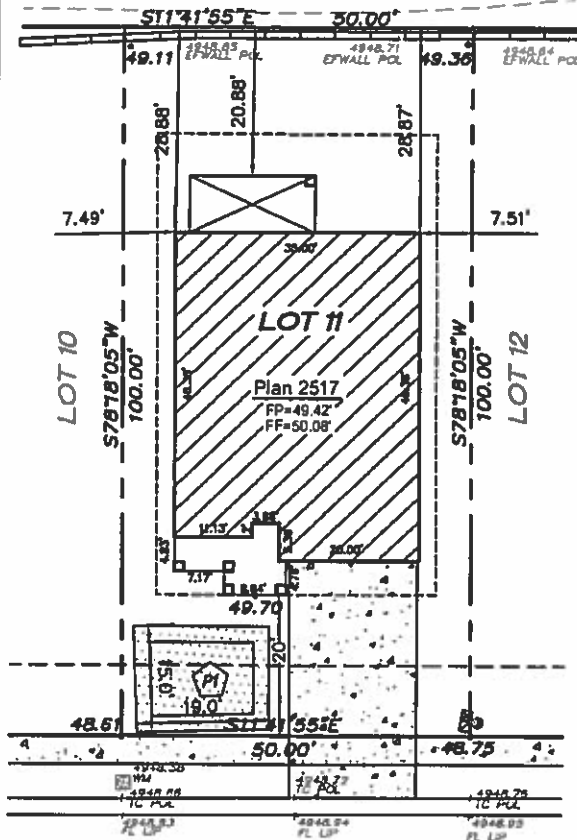
The Project is approved for grading (enter date): _____

City Personnel Printed Name: _____

SUNSET ROAD S.W.

PLOT PLAN

LOT 11
SUNSET FARM SUBDIVISION
319 MANUEL SANCHEZ PLACE SW
AREA=5000 SF

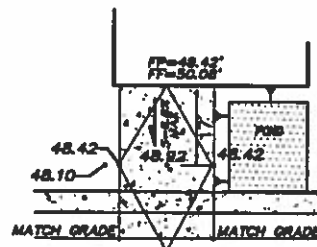


- NOTE:
1. THERE SHALL BE A DISTANCE OF NOT LESS THAN TEN (10) FEET BETWEEN RESIDENTIAL BUILDINGS.
 2. PROVIDE 18' WIDE DRIVEWAY.
 3. 4' SIDEWALK TO BE CONSTRUCTED WITH THIS PERMIT.
 4. NO PART OF THIS STRUCTURE WILL BE CLOSER THAN 20' FROM FRONT OF PROPERTY LINE.
 5. POND AS REQUIRED BY THE CITY OF ALBUQUERQUE
 6. NO CURBS OR CURB CUTS IN SUBDIVISION

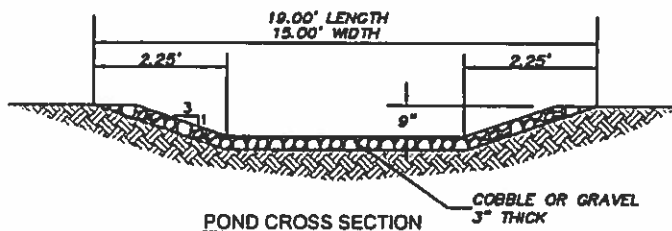


SCALE: 1" = 20'

MANUEL SANCHEZ



DRIVEPAD ELEVATIONS



POND CROSS SECTION

P1 VOLUME REQUIRED= 185 cf
DEPTH = 9" SIDE SLOPES 3:1
POND BOTTOM: AREA = 151.0 SF @ ELEVATION=47.86'
POND TOP: AREA = 284 SF @ ELEVATION=48.61'
VOLUME PROVIDED = 179 CF

LEGEND

- CABLE TV
- TELEPHONE
- TRANSFORMER
- RETAINING WALL
- BUILDING SETBACK
- NEW SPOT ELEVATIONS
- EXISTING ELEVATIONS

LGI HOMES

9150 E. DEL CAMINO DRIVE, SUITE 118
SCOTTSDALE, AZ 85258



MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90806
ALBUQUERQUE, NEW MEXICO 87189
OFFICE (505) 828-2200, FAX (505) 797-8530



City of Albuquerque

Planning Department

Stormwater Control Permit for Erosion and Sediment Control

Project Title Sunset Farms /Puesta Del Sol lot 21-314 Manuel Sanchez Pl.

Project Location (Major Cross Streets/Arroyo or address)

Sunset rd. & Sunset Farm rd.

Property Owner: (or authorized agent provided in writing)

eNOI Number: NMR12BH12

Attach 2012 Construction General Permit eNOI Detail sheet.

Property Owner: LGI Homes-NM construction LLC

Site Contact Name Ron Rieger

Site Contact Phone 505-934-3116

Site Contact e-mail rrieger@lgihomes.com

Applicant: Print Name Ron Rieger

Date 11-14-16

For City personnel use only:

Check boxes if plans/permit are approved:

☒ ESC Plan ☒ Grading Plan ☒ Flood Plain Permit (strike if not required) X-levee
on B.P.

The Project is approved for grading (enter date): _____

City Personnel Printed Name: _____

PLOT PLAN

LOT 21

SUNSET FARM SUBDIVISION

314 MANUEL SANCHEZ PLACE SW

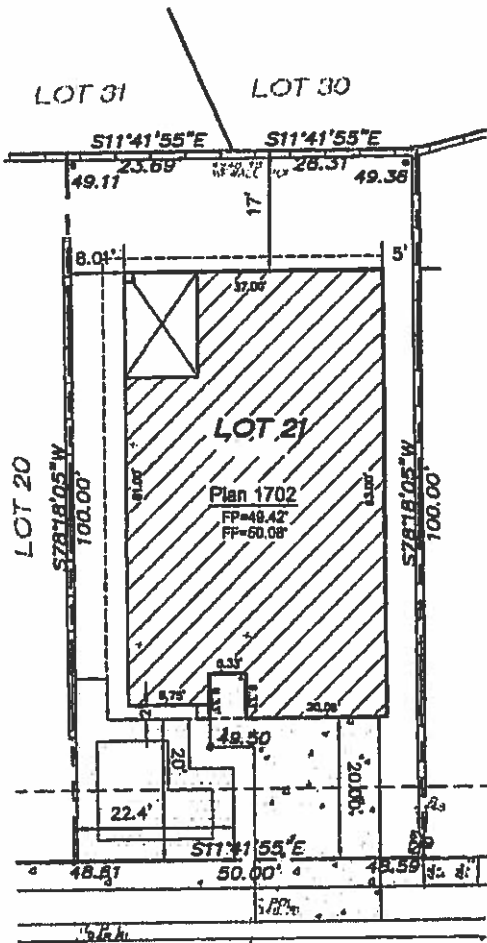
AREA=5000 SF

NOTE:

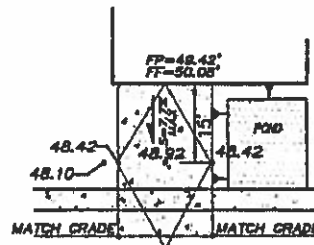
1. THERE SHALL BE A DISTANCE OF NOT LESS THAN TEN (10) FEET BETWEEN RESIDENTIAL BUILDINGS.
2. PROVIDE 18' WIDE DRIVEWAY.
3. 4' SIDEWALK TO BE CONSTRUCTED WITH THIS PERMIT.
4. NO PART OF THIS STRUCTURE WILL BE CLOSER THAN 20' FROM FRONT OF PROPERTY LINE.
5. POND AS REQUIRED BY THE CITY OF ALBUQUERQUE
6. NO CURBS OR CURB CUTS IN SUBDIVISION



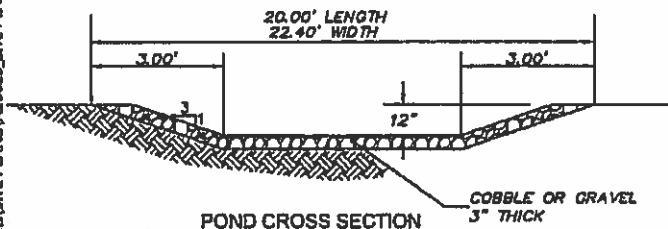
SCALE: 1" = 20'



MANUEL SANCHEZ



DRIVEPAD ELEVATIONS



POND CROSS SECTION

PI VOLUME REQUIRED= 299 cf
DEPTH = 12" SIDE SLOPES 3:1
POND BOTTOM: AREA = 185.30 SF @ ELEVATION=47.67'
POND TOP: AREA = 429.5 SF @ ELEVATION=48.67'
VOLUME PROVIDED = 299 CF

LEGEND

- CABLE TV
- TELEPHONE
- TRANSFORMER
- RETAINING WALL
- BUILDING SETBACK
- 48.78 NEW SPOT ELEVATIONS
- EXISTING ELEVATIONS

LGI HOMES

8150 E. DEL CAMINO DRIVE, SUITE 118
SCOTTSDALE, AZ 85258

dmg

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CONSULTING ENGINEERS
P.O. BOX 80808
ALBUQUERQUE, NEW MEXICO 87198
OFFICE (505) 825-2200, FAX (505) 797-9538



City of Albuquerque

Planning Department

Stormwater Control Permit for Erosion and Sediment Control

Project Title Sunset Farms /Puesta Del Sol lot 19-310 Manuel Sanchez Pl.

Project Location (Major Cross Streets/Arroyo or address)

Sunset rd. & Sunset Farm rd.

Property Owner: (or authorized agent provided in writing)

eNOI Number: NMR12BH12

Attach 2012 Construction General Permit eNOI Detail sheet.

Property Owner: LGI Homes-NM construction LLC

Site Contact Name Ron Rieger

Site Contact Phone 505-934-3116

Site Contact e-mail rrieger@lgihomes.com

Applicant: Print Name Ron Rieger

Date 11-14-16

For City personnel use only:

Check boxes if plans/permit are approved:

☒ ESC Plan ☒ Grading Plan ☒ Flood Plain Permit (strike if not required)

The Project is approved for grading (enter date): 11/16/16

City Personnel Printed Name: Abiel Carrillo

PLOT PLAN

LOT 19

SUNSET FARM SUBDIVISION

310 MANUEL SANCHEZ PLACE SW

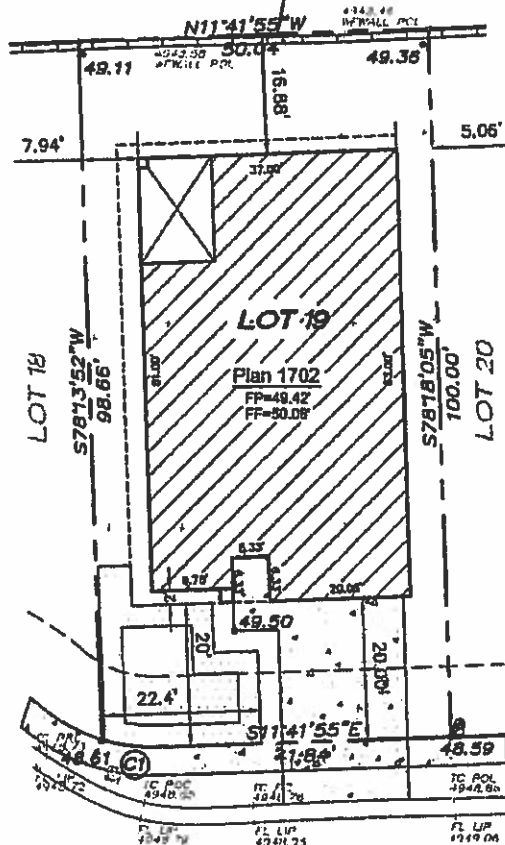
AREA=4994.03 SF

NOTE:

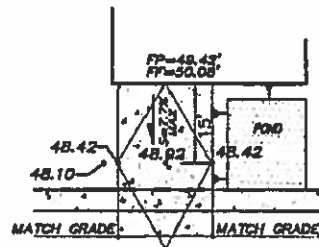
1. THERE SHALL BE A DISTANCE OF NOT LESS THAN TEN (10) FEET BETWEEN RESIDENTIAL BUILDINGS.
2. PROVIDE 18' WIDE DRIVEWAY.
3. 4' SIDEWALK TO BE CONSTRUCTED WITH THIS PERMIT.
4. NO PART OF THIS STRUCTURE WILL BE CLOSER THAN 20' FROM FRONT OF PROPERTY LINE.
5. POND AS REQUIRED BY THE CITY OF ALBUQUERQUE
6. NO CURBS OR CURB CUTS IN SUBDIVISION



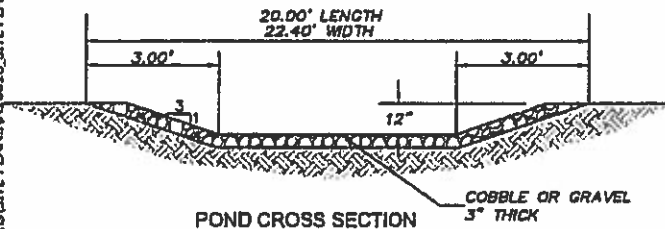
SCALE: 1" = 20'



(C) $\Delta=18'50'55''$
 $L=8.18$
 $R=24.88$
 $\tan=4.13$



DRIVEPAD ELEVATIONS



POND CROSS SECTION

PI VOLUME REQUIRED= 299 cf
 DEPTH = 12" SIDE SLOPES 3:1
 POND BOTTOM: AREA = 185.30 SF @ ELEVATION=47.87'
 POND TOP: AREA = 429.5 SF @ ELEVATION=48.87'
 VOLUME PROVIDED = 299 CF

LEGEND

- CABLE TV
- TELEPHONE
- TRANSFORMER
- RETAINING WALL
- BUILDING SETBACK
- NEW SPOT ELEVATIONS
- EXISTING ELEVATIONS

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dmg

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City of Albuquerque

Planning Department

Stormwater Control Permit for Erosion and Sediment Control

Project Title Sunset Farms /Puesta Del Sol lot 20-312 Manuel Sanchez Jr.

Project Location (Major Cross Streets/Arroyo or address)

Sunset rd. & Sunset Farm rd.

Property Owner: (or authorized agent provided in writing)

eNOI Number: NMR12BH12

Attach 2012 Construction General Permit eNOI Detail sheet.

Property Owner: LGI Homes-NM construction LLC

Site Contact Name Ron Rieger

Site Contact Phone 505-934-3116

Site Contact e-mail rrieger@lgihomes.com

Applicant: Print Name Ron Rieger

Date 11-14-16

For City personnel use only:

Check boxes if plans/permit are approved:

☒ ESC Plan ☒ Grading Plan ☐ Flood Plain Permit (strike if not required)

The Project is approved for grading (enter date):

City Personnel Printed Name:

(Rev January 2016)

LOT 31

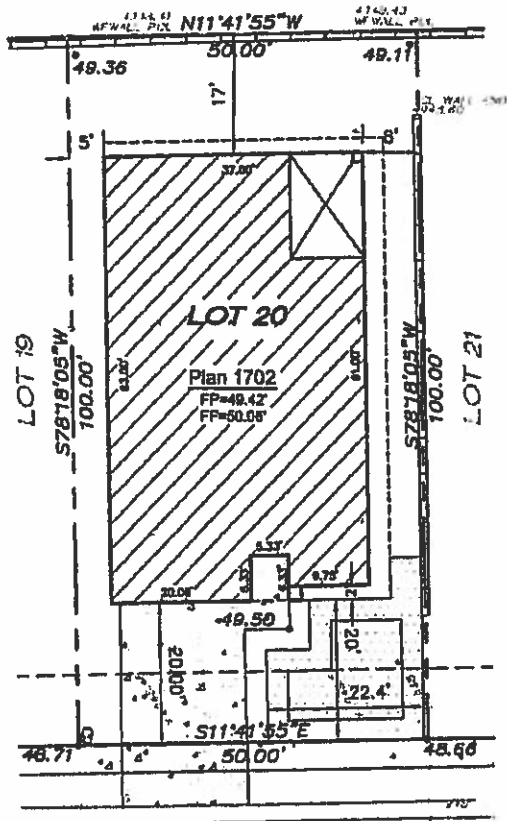
PLOT PLAN

LOT 20

SUNSET FARM SUBDIVISION

312 MANUEL SANCHEZ PLACE SW

AREA=5000 SF



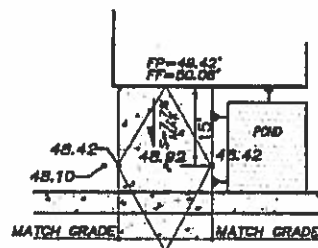
NOTE:

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2. PROVIDE 18' WIDE DRIVEWAY.
3. 4' SIDEWALK TO BE CONSTRUCTED WITH THIS PERMIT.
4. NO PART OF THIS STRUCTURE WILL BE CLOSER THAN 20' FROM FRONT OF PROPERTY LINE.
5. POND AS REQUIRED BY THE CITY OF ALBUQUERQUE
6. NO CURBS OR CURB CUTS IN SUBDIVISION

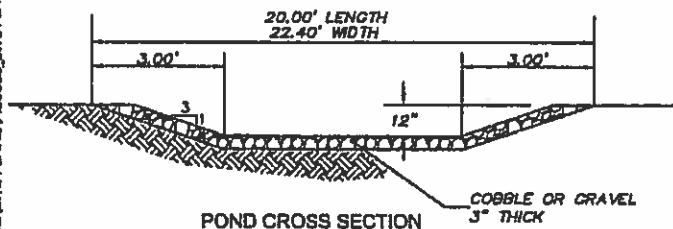


SCALE: 1" = 20'

MANUEL SANCHEZ



DRIVEPAD ELEVATIONS



POND CROSS SECTION

P1 VOLUME REQUIRED= 299 cf
DEPTH = 12" SIDE SLOPES 3:1
POND BOTTOM: AREA = 185.30 SF @ ELEVATION=47.87'
POND TOP: AREA = 429.5 SF @ ELEVATION=48.67'
VOLUME PROVIDED = 299 CF

LEGEND

- CABLE TV
- TELEPHONE
- TRANSFORMER
- RETAINING WALL
- BUILDING SETBACK
- 48.78 NEW SPOT ELEVATIONS
- EXISTING ELEVATIONS

LGI HOMES

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dmg

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City of Albuquerque

Planning Department

Stormwater Control Permit for Erosion and Sediment Control

Project Title Sunset Farms /Puesta Del Sol lo 8 327 Manuel Sanchez pl. SWt

Project Location (Major Cross Streets/Arroyo or address)

Sunset rd. & Sunset Farm rd.

Property Owner: (or authorized agent provided in writing)

eNOI Number: NMR12BH12

Attach 2012 Construction General Permit eNOI Detail sheet.

Property Owner: LGI Homes-NM construction LLC

Site Contact Name Ron Rieger

Site Contact Phone 505-934-3116

Site Contact e-mail rrieger@lgihomes.com

Applicant: Print Name Ron Rieger Date 8/31/2016

For City personnel use only:

Check boxes if plans/permit are approved:

☒ ESC Plan ☒ Grading Plan ☒ ~~Flood Plain Permit (strike if not required)~~

The Project is approved for grading (enter date): 10/7/16

City Personnel Printed Name: Abnel Carrillo

(Rev January 2016)



City of Albuquerque

Planning Department

Stormwater Control Permit for Erosion and Sediment Control

Project Title Sunset Farms /Puesta Del Sol Lot 10 323 Manuel Sanchez PL NW

Project Location (Major Cross Streets/Arroyo or address)

Sunset rd. & Sunset Farm rd.

Property Owner: (or authorized agent provided in writing)

eNOI Number: NMR12BH12

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Property Owner: LGI Homes-NM construction LLC

Site Contact Name Ron Rieger

Site Contact Phone 505-934-3116

Site Contact e-mail rrieger@lgihomes.com

Applicant: Print Name Ron Rieger Date 8/31/2016

For City personnel use only:

Check boxes if plans/permit are approved:

☒ ESC Plan ☒ Grading Plan ☒ ~~Flood Plain Permit (strike if not required)~~

The Project is approved for grading (enter date): 10/2/16

City Personnel Printed Name: Abnel Carrillo

(Rev January 2016)



City of Albuquerque Stormwater Construction Site Inspection Report

General Information

Project Name and Location	Sunset Farms - LGI Homes Sunset Farms and Manuel Sanchez		
Site Contact Name & Agency	Ron Rieger LGI Homes	Contact Phone #/ E-mail	rrieger@lgihomes.com
Date of Inspection	9-27-16	Start/End Time	12:16 / 12:22
Inspector Name, COA Dept.	Curtis Cherne, Stormwater Quality		
Inspector Phone / E-mail	505-924-3420/ccherne@cabq.gov		
Inspector Qualifications	Qualified Compliance Inspector of Stormwater- Stormwater One		
Describe Present Phase of Construction	Street built, and the built out		

Type of Inspection:

☒ Regular • During storm event • Post-storm event (> 0.5 inch) • 311 / Complaint Response • Follow-Up

Weather Information

Weather at time of this inspection? Temperature: ~ 75 F°
☒ Clear • Cloudy • Rain • Sleet • Fog • Snowing • Windy

Has there been a storm event since the site was Permitted? • ☒ Yes • No
 Amount: • < 1/4" • ☒ 1/4" to 3/4" • > 3/4" • Snow _____"

Erosion & Sediment Control Inspection

- Entrance / Track-Out N/A
- Sediment Controls / Silt Fence, Check Dams, Waddles, etc. OK
- Erosion Controls / Mulch, Seed, lots on flat, some - erosion
- Housekeeping/Pollutant Controls good
- Debris/Pollutants/Sediment in MS4 NO
- Notes _____

Is site being maintained in compliance with the Drainage Ordinance? • ☒ Yes • No

Curtis Cherne 9-27-16
 Signature Date

Cherne, Curtis

From: Cherne, Curtis
Sent: Wednesday, September 28, 2016 4:13 PM
To: rrieger@lgihomes.com
Subject: Construciotn site inspection Sunset Farms-looked good

Ron,

Good afternoon.

I went out to Sunset Farms yesterday for a construction site inspection and lots 8 or 9 and 34 or 35 looked good.

Thanks,

Curtis Cherne, PE, QCIS
Stormwater Quality Engineer
COA
505-924-3420

"Cement (concrete, stucco, mortar...) pollution is preventable.....Let's prevent it. Thank you."



City of Albuquerque

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Property Owner: LGI Homes-NM construction LLC

Site Contact Name Ron Rieger

Site Contact Phone 505-934-3116

Site Contact e-mail rrieger@lgihomes.com

Applicant: Print Name Ron Rieger Date 8/31/2016

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The Project is approved for grading (enter date): 9/26/16

City Personnel Printed Name: Abiel Carrillo

(Rev January 2016)

SUNSET ROAD S.W.

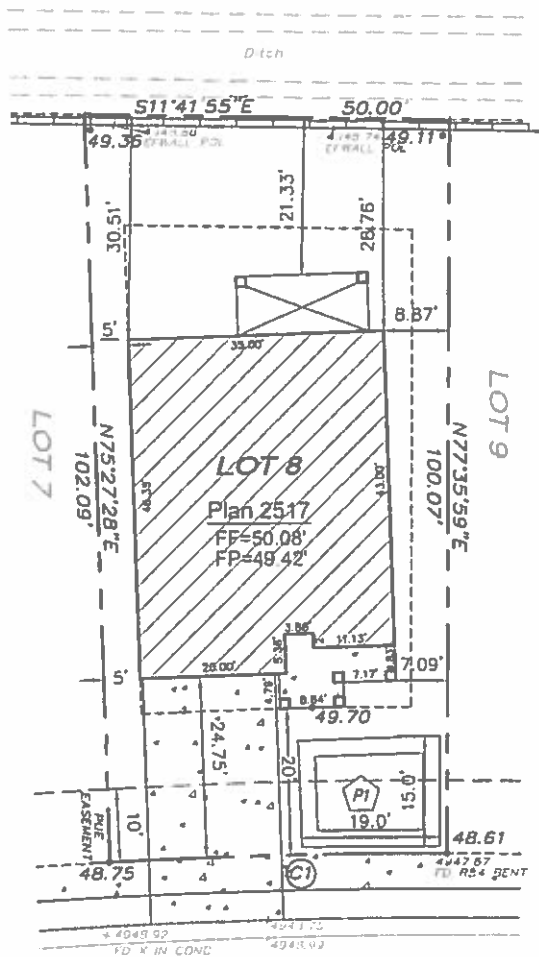
PLOT PLAN

LOT 8

SUNSET FARM SUBDIVISION

327 MANUEL SANCHEZ PLACE SW

AREA=4849.32 SF

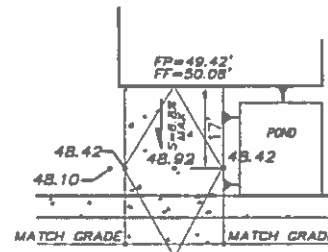


- NOTE:
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 2. PROVIDE 18' WIDE DRIVEWAY.
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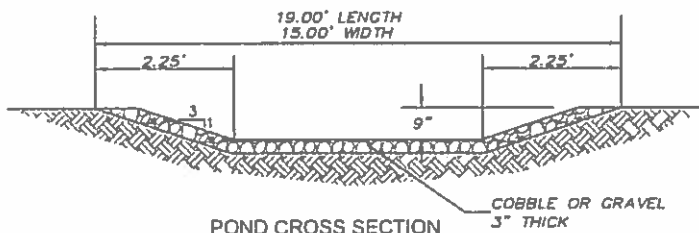
SCALE: 1" = 20'

(C1) $A=03^{\circ}18'34''$
 CHORD $S14^{\circ}03'18''E$
 $R=799.99'$
 $L=46.21'$
 CHORD LENGTH 46.20'



DRIVEPAD ELEVATIONS

MANUEL SANCHEZ



POND CROSS SECTION

P1 VOLUME REQUIRED= 175 cf
 DEPTH = 9' SIDE SLOPES 3:1
 POND BOTTOM: AREA = 151.0 SF @ ELEVATION=47.86'
 POND TOP: AREA = 284 SF @ ELEVATION=48.61'
 VOLUME PROVIDED = 179 CF

LEGEND

- CABLE TV
- TELEPHONE
- TRANSFORMER
- RETAINING WALL
- BUILDING SETBACK
- 48.78 NEW SPOT ELEVATIONS
- 48.78 EXISTING ELEVATIONS

LGI HOMES

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City of Albuquerque

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Stormwater Control Permit for Erosion and Sediment Control

Project Title Sunset Farms /Puesta Del Sol Lot 9 325 Manuel Sanchez Pl SW

Project Location (Major Cross Streets/Arroyo or address)

Sunset rd. & Sunset Farm rd.

Property Owner: (or authorized agent provided in writing)

eNOI Number: NMR12BH12

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Property Owner: LGI Homes-NM construction LLC

Site Contact Name Ron Rieger

Site Contact Phone 505-934-3116

Site Contact e-mail rrieger@lgihomes.com

Applicant: Print Name Ron Rieger

Date 8/31/2016

For City personnel use only:

K12D025

ZONE X

Check boxes if plans/permit are approved:



ESC Plan



Grading Plan



~~Flood Plain Permit (strike if not required)~~

The Project is approved for grading (enter date):

9/26/16

City Personnel Printed Name:

Abiel Carrillo

(Rev January 2016)

SUNSET ROAD S.W.

PLOT PLAN

LOT 9

SUNSET FARM SUBDIVISION

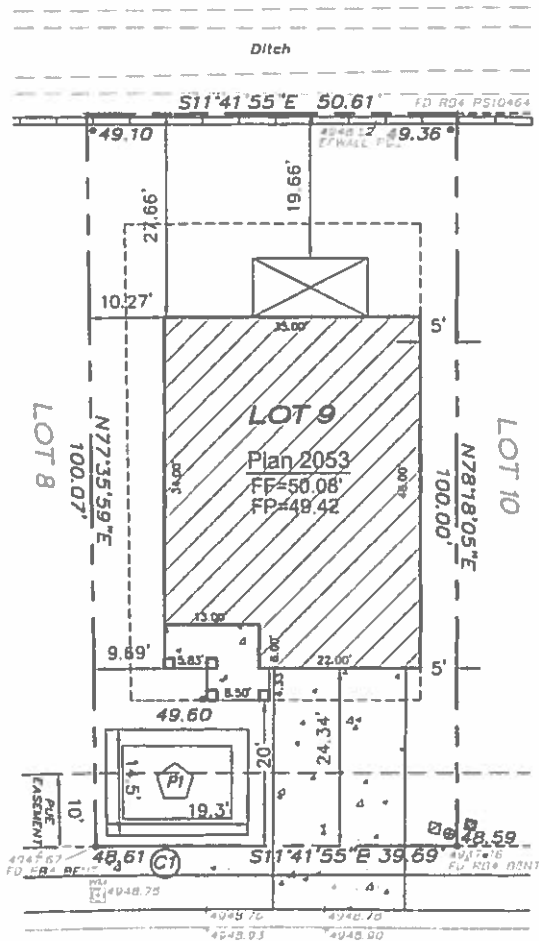
325 MANUEL SANCHEZ PLACE SW

AREA=5000.27 SF

- NOTE:
1. THERE SHALL BE A DISTANCE OF NOT LESS THAN TEN (10) FEET BETWEEN RESIDENTIAL BUILDINGS.
 2. PROVIDE 18' WIDE DRIVEWAY.
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 4. NO PART OF THIS STRUCTURE WILL BE CLOSER THAN 20' FROM FRONT OF PROPERTY LINE.
 5. POND AS REQUIRED BY THE CITY OF ALBUQUERQUE
 6. NO CURBS OR CURB CUTS IN SUBDIVISION



SCALE: 1" = 20'



MANUEL SANCHEZ

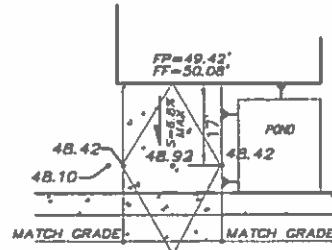
~ 4949.03
CL MON 10464

① 4=00°42'06"
CHORD S12°02'58"E
R=799.99'
L=9.80'
CHORD LENGTH 9.80'

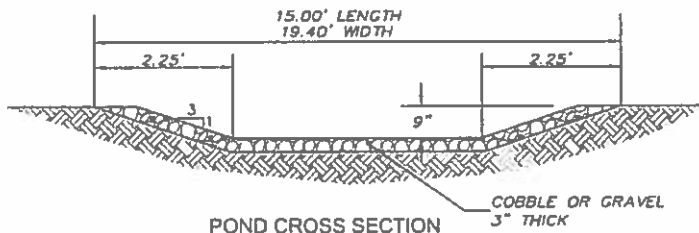
4948.75

4948.75

8



DRIVEPAD ELEVATIONS



POND CROSS SECTION

① VOLUME REQUIRED= 168 cf
DEPTH = 9" SIDE SLOPES 3:1
POND BOTTOM: AREA=150 SF @ ELEVATION=47.86'
POND TOP: AREA 292 SF @ ELEVATION=48.61'
VOLUME PROVIDED = 181 CF

LEGEND

- ⊕ CABLE TV
- ⊞ TELEPHONE
- ⊞ TRANSFORMER
- ▬ RETAINING WALL
- BUILDING SETBACK
- 48.78 NEW SPOT ELEVATIONS
- * 4948.75 EXISTING ELEVATIONS

LGI HOMES

9150 E. DEL CAMINO DRIVE, SUITE 118
SCOTTSDALE, AZ 85258



MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

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2012 Construction General Permit eNOI Detail

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F](#)

Details for NMR12BH12

General Information

Project / Site Name:	Sunset Farms/Puesta Del Sol
Current Status:	Active
Tracking Number:	NMR12BH12
Permit Type:	NOI

Interview Page Answers

Is your project/site located in Indian Country Lands?	No
Are you requesting coverage under this NOI as a 'federal operator' as defined in Appendix A?	No

Operator Information

Operator's Name:	LGI Homes-NM Construction, LLC
Street:	900 Pinetree SE
City:	Rio Ranchoo
State:	New Mexico
Zip Code:	87124
Point of Contact Name:	Ron Rieger
Phone Number:	505-934-3116
Operator Email:	rrieger@lgihomes.com
Fax:	N/A
IRS Employer Identification Number (EIN):	N/A

Project / Facility Information

Project / Site Name:	Sunset Farms/Puesta Del Sol
Street:	1304 Sunset Farm Rd
City:	Albuquerque
State:	New Mexico
Zip Code:	87105
Project / Facility on Indian Land?	No

Reservation Name: N/A

Additional Project Information

Is your project an 'emergency-related project' as defined in Appendix A? N/A

Have stormwater discharges from your project/site been covered previously under an NPDES permit? No

Estimated Project Start Date: 04/21/2016

Estimated Project End Date: 12/15/2016

Have earth-disturbing activities commenced on your project/site? No

County or Similar government subdivision: Bernalillo

Latitude and Longitude Information

Longitude: 106.6773

Longitude Unit: (degrees, decimals)

Latitude: 35.0796

Latitude Unit: (degrees, decimals)

Latitude / Longitude Data Source: GPS

Horizontal Reference Datum: Unknown

Estimated Area to be Disturbed (to the nearest quarter acre): 2

Chemical Treatment Information

Will you use polymers, flocculants, or other treatment chemicals at your construction site? No

ESA

Under which criterion listed in Appendix D are you eligible for coverage under this permit?

C. Federally-listed threatened or endangered species or designated critical habitat(s) are likely to occur in or near site's "action area," and your site's discharges and discharge-related activities are not likely to adversely affect listed threatened or endangered species or critical habitat. This determination may include consideration of any stormwater controls and/or management practices you will adopt to ensure that your discharges and discharge-related activities are not likely to adversely affect listed species and critical habitat. To make this certification, you must include the following information in your NOI: 1) any federally listed species and/or designated critical habitat located in your "action area"; and 2) the distance between your site and the listed species or designated critical habitat. You must also include a copy of your site map with your NOI. NMED and FWS Website

Provide the basis for criterion selection selected:

1) Any federal listed species and/or designated habitat located in your area: Rio Grande River

2) The distance between your site and the listed species or designated critical habitat (in miles): ~10.8 Miles to the South

SWPPP Point of Contact

Name: Ron Rieger
 Organization Name: LGI Homes NM Construction
 Phone: 505-934-3116
 Fax: N/A
 Email: rrieger@lgihomes.com

Discharge Information

Does your project/site discharge stormwater into a Municipal Separate Storm Sewer System (MS4)? Yes

Are there any surface waters within 50 feet of your project's earth disturbances? No

If a TMDL has been approved or established, identify the title or reference of the TMDL document: N/A

Impaired Surface Waters to Which you Discharge

Surface water(s) to which you discharge	Impaired Water	Listed Water Pollutant(s)	Tier 2, 2.5 or 3	Source	TMDL
Atrisco Riverside Drain	No		No	NMED Website	
Rio Grande River	Yes	POLYCHLORINATED BIPH	Yes	NMED Website	E.

Historic Preservation

Is your project/site located on a property of religious or cultural significance to an Indian tribe? No

If yes, provide the name of the Indian tribe associated with the property: N/A

Are you installing any stormwater controls as described in Appendix E that require? (Appendix E, Step 1): Yes

If yes, have prior surveys or evaluations conducted on the site have already determined historic properties do not exist, or that prior disturbances have precluded the existence of historic properties? (Appendix E, Step 2): Yes

If no, have you determined that your installation of subsurface earth-disturbing stormwater controls will have no effect on historic properties? (Appendix E, Step 3): N/A

If no, did the SHPO, THPO, or other tribal representative (whichever applies) respond to you within the 15 calendar days to indicate whether the subsurface earth disturbances caused by the installation of stormwater controls affect historic properties? (Appendix E, Step 4): N/A

If yes, describe the nature of their response: N/A

Certifier Information

Name:	Ron Rieger
Title:	N/A
Email:	rrieger@lgihomes.com
Certified Date:	04/14/2016

Preparer Information

Name:	Tim Slatunas
Phone:	(505) 353-2558
Fax:	N/A
Organization:	SUPERIOR STORMWATER SERVICES LLC
Email:	tim@superiorstormwater.com

Corresponding Documents

File Name	File Size	File Section	Date Uploaded
doc20160414143222.pdf	1469248	ESA Section	14-APR-16

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City of Albuquerque

Planning Department

Stormwater Control Permit for Erosion and Sediment Control

Project Title Sunset Farms/Puesta Del Sol Lot 34 - 1304 Sunset Farm rd.

Project Location (Major Cross Streets/Arroyo or address)

Sunset rd. & Sunset Farm rd

Property Owner: (or authorized agent provided in writing)

eNOI Number: NMR12BH12

Attach 2012 Construction General Permit eNOI Detail sheet.

Property Owner: LGI Homes-NM Construction LLC

Site Contact Name Ron Rieger

Site Contact Phone 505-934-3116

Site Contact e-mail rrieger@lgihomes.com

Applicant: Print Name Ron Rieger Date 9/1/16

For City personnel use only:

K120025

Check boxes if plans/permit are approved:

☒ ESC Plan ☒ exhibit Grading Plan ☒ X-lence Flood Plain Permit (strike if not required)

The Project is approved for grading (enter date): 9/13/16

City Personnel Printed Name: Abrel Corvillo



City of Albuquerque

Planning Department

Stormwater Control Permit for Erosion and Sediment Control

Project Title Sunset Farms /Puesta Del Sol Lot 10 323 Manuel Sanchez PL NW

Project Location (Major Cross Streets/Arroyo or address)

Sunset rd. & Sunset Farm rd.

Property Owner: (or authorized agent provided in writing)

eNOI Number: NMR12BH12

Attach 2012 Construction General Permit eNOI Detail sheet.

Property Owner: LGI Homes-NM construction LLC

Site Contact Name Ron Rieger

Site Contact Phone 505-934-3116

Site Contact e-mail rrieger@lgihomes.com

Applicant: Print Name Ron Rieger Date 8/31/2016

For City personnel use only: K12D02S

Check boxes if plans/permit are approved:

☒ ESC Plan ☒ AC Exhibit Grading Plan ☒ 70NE X 1 level Flood Plain Permit (strike if not required)

The Project is approved for grading (enter date): 9/13/16

City Personnel Printed Name: Abiel Carrillo

(Rev January 2016)

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2012 Construction General Permit eNOI Detail

[Quick J
F](#)

Details for NMR12BH12

General Information

Project / Site Name:	Sunset Farms/Puesta Del Sol
Current Status:	Active
Tracking Number:	NMR12BH12
Permit Type:	NOI

Interview Page Answers

Is your project/site located in Indian Country Lands?	No
Are you requesting coverage under this NOI as a 'federal operator' as defined in Appendix A?	No

Operator Information

Operator's Name:	LGI Homes-NM Construction, LLC
Street:	900 Pinetree SE
City:	Rio Ranchoo
State:	New Mexico
Zip Code:	87124
Point of Contact Name:	Ron Rieger
Phone Number:	505-934-3116
Operator Email:	rrieger@lgihomes.com
Fax:	N/A
IRS Employer Identification Number (EIN):	N/A

Project / Facility Information

Project / Site Name:	Sunset Farms/Puesta Del Sol
Street:	1304 Sunset Farm Rd
City:	Albuquerque
State:	New Mexico
Zip Code:	87105
Project / Facility on Indian Land?	No

Reservation Name: N/A

Additional Project Information

Is your project an 'emergency-related project' as defined in Appendix A? N/A

Have stormwater discharges from your project/site been covered previously under an NPDES permit? No

Estimated Project Start Date: 04/21/2016

Estimated Project End Date: 12/15/2016

Have earth-disturbing activities commenced on your project/site? No

County or Similar government subdivision: Bernalillo

Latitude and Longitude Information

Longitude: 106.6773

Longitude Unit: (degrees, decimals)

Latitude: 35.0796

Latitude Unit: (degrees, decimals)

Latitude / Longitude Data Source: GPS

Horizontal Reference Datum: Unknown

Estimated Area to be Disturbed (to the nearest quarter acre): 2

Chemical Treatment Information

Will you use polymers, flocculants, or other treatment chemicals at your construction site? No

ESA

Under which criterion listed in Appendix D are you eligible for coverage under this permit?

Provide the basis for criterion selection selected:

1) Any federal listed species and/or designated habitat located in your area:

C. Federally-listed threatened or endangered species or designated critical habitat(s) are likely to occur in or near site's "action area," and your site's discharges and discharge-related activities are not likely to adversely affect listed threatened or endangered species or critical habitat. This determination may include consideration of any stormwater controls and/or management practices you will adopt to that your discharges and discharge-related activities are likely to adversely affect listed species and critical habitat. make this certification, you must include the following information: 1) any federally listed species and/or designated habitat located in your "action area"; and 2) the distance between site and the listed species or designated critical habitat. You must also include a copy of your site map with your NMED and FWS Website

Rio Grande River

2) The distance between your site and the listed species or designated critical habitat (in miles): ~10.8 Miles to the South

SWPPP Point of Contact

Name: Ron Rieger
 Organization Name: LGI Homes NM Construction
 Phone: 505-934-3116
 Fax: N/A
 Email: rrieger@lgihomes.com

Discharge Information

Does your project/site discharge stormwater into a Municipal Separate Storm Sewer System (MS4)? Yes

Are there any surface waters within 50 feet of your project's earth disturbances? No

If a TMDL has been approved or established, identify the title or reference of the TMDL document: N/A

Impaired Surface Waters to Which you Discharge

Surface water(s) to which you discharge	Impaired Water	Listed Water Pollutant(s)	Tier 2, 2.5 or 3	Source	TMDL
Atrisco Riverside Drain	No		No	NMED Website	
Rio Grande River	Yes	POLYCHLORINATED BIPH	Yes	NMED Website	E.

Historic Preservation

Is your project/site located on a property of religious or cultural significance to an Indian tribe? No

If yes, provide the name of the Indian tribe associated with the property: N/A

Are you installing any stormwater controls as described in Appendix E that require? (Appendix E, Step 1): Yes

If yes, have prior surveys or evaluations conducted on the site have already determined historic properties do not exist, or that prior disturbances have precluded the existence of historic properties? (Appendix E, Step 2): Yes

If no, have you determined that your installation of subsurface earth-disturbing stormwater controls will have no effect on historic properties? (Appendix E, Step 3): N/A

If no, did the SHPO, THPO, or other tribal representative (whichever applies) respond to you within the 15 calendar days to indicate whether the subsurface earth disturbances caused by the installation of stormwater controls affect historic properties? (Appendix E, Step 4) N/A

If yes, describe the nature of their response: N/A

Certifier Information

Name: Ron Rieger
Title: N/A
Email: rrieger@lgihomes.com
Certified Date: 04/14/2016

Preparer Information

Name: Tim Slatunas
Phone: (505) 353-2558
Fax: N/A
Organization: SUPERIOR STORMWATER SERVICES LLC
Email: tim@superiorstormwater.com

Corresponding Documents

File Name	File Size	File Section	Date Uploaded
doc20160414143222.pdf	1469248	ESA Section	14-APR-16

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